

**SECTION 35, TOWNSHIP 115N, RANGE 20W
APPLE VALLEY, DAKOTA COUNTY, MN**

2024 KIMLEY-HORN AND ASSOCIATES, INC.
767 EUSTIS STREET, SUITE 100, ST. PAUL, MN 55114
PHONE: 651-645-4197
WWW.KIMLEY-HORN.COM

[illegible]

To: Rockport, LLC
Kimley - Horn and Associates, Inc.:
First American Title Insurance Company:

This is to certify that this map or plat and the survey on which it is based is a correct representation of the land platted and has been performed in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5, 6(a), 7(a), 8, 11 (b), 13, 16, and 17 of Table A thereof.

The field work was completed on January 13, 2025.

Dated this 27TH day of January, 2025.

Russell P. Damlo

Russell P. Damlo RLS
Minnesota License No. 19086
Probe Engineering Company, Inc.

PROPERTY DESCRIPTION:
Parcel 1:
OUTLOT D
ORCHARD PLACE 2ND ADDITION
Located in the County of Dakota,
State of Minnesota.
Recorded as Doc. No. 3476763

Parcel 2:
Utility Line Easements, Drainage easements, Ingress and Egress and Parking Easement, and Driveway Access Easements as set forth in Reciprocal Easement Agreement and Declaration of Covenants, Conditions and Restrictions (Orchard Place 2nd Addition) dated June 22, 2021, recorded July 13, 2021, as Document No. 3476766, as amended by First Amendment to Reciprocal Easement Agreement and Declaration of Covenants, Conditions and Restrictions, dated September 17, 2024, recorded September 19, 2024, as Document No. 3646253.

SITE ADDRESS: Vacant Lot
Apple Valley, MN 55124

TOTAL SITE LAND AREA: 706,720 Sq. Ft. = 16.22 Acres

CURRENT ZONING: Sand and Gravel (SG)
(Per City Zoning Map dated 7-17-2024)

FLOOD ZONE CLASSIFICATION: Zone X, Flood Insurance Map No. 27037 C0210E, Dated 12-02-2011.

UTILITIES SHOWN ARE PER FIELD LOCATIONS AS MARKED AND OBSERVED.

ALTA/ACSM LAND TITLE SURVEY REQUIREMENTS (additional Table A Items):

- No. 16: Proposed buildings for this site not shown.
No. 17: There has been no current street construction at the time of this survey.

Current Title Commitment referenced for this survey is from First American Title Insurance Company, File No. NCS-1167148-MPLS, dated 12-27-2024.

The items listed in Schedule B, Part 2, Numbers 9-19 are either shown on survey, labeled as not affecting this property or labeled as not plottable on survey.

Per First American Title Insurance Company, Title Commitment File Number, NCS-1167148-MPLS, dated 12-27-2024, Schedule B, Part 2 exceptions affecting this property are listed below:

Item No. 9 are Pipeline Easements, Partial Releases and Grant of Right of Way and Encroachment Agreement is shown on this survey.

Item No. 10 is an easement for trail and underpass purposes and is shown on this survey.

Item No. 11 is an easement for right of way, sidewalk, trail, drainage and utility purposes and is shown on this survey.

Item No. 12 is a Waiver of Objection to Special Assessments and is not plottable on this survey.

Item No. 13 is a Waiver of Objection to Special Assessments and is not plottable on this survey.

Item No. 14 is a Waiver of Objection to Special Assessments and is not plottable on this survey.

Item No. 15 are drainage and utility easements per final plat recorded as Doc. No. 3476763 and are shown on this survey.

Item No. 16 are terms and conditions of the Development Agreement and is not plottable on this survey.

Item No. 16 are terms of a Reciprocal Easement, Covenants and other Restrictions and are not plottable on this survey.

Item No. 17 are terms as contained in a Reciprocal Easement Agreement and amendment and are not plottable on this survey.

Items No. 18 is an Access Restriction Easement and amendment and is shown on this survey.

Item No. 19 is a Drainage and Utility Easement and is shown on this survey.

CONTACT CITY OF APPLE VALLEY FOR SANITARY SEWER, WATERMAIN, STORMWATER MANAGEMENT AND STREET MAINTENANCE.
952-432-2500

CONTACT DAKOTA ELECTRIC ASSN. FOR ELECTRIC POWER MANAGEMENT.
651-463-6212

CONTACT FRONTIER COMMUNICATIONS FOR TELEPHONE MANAGEMENT.
800-778-9140

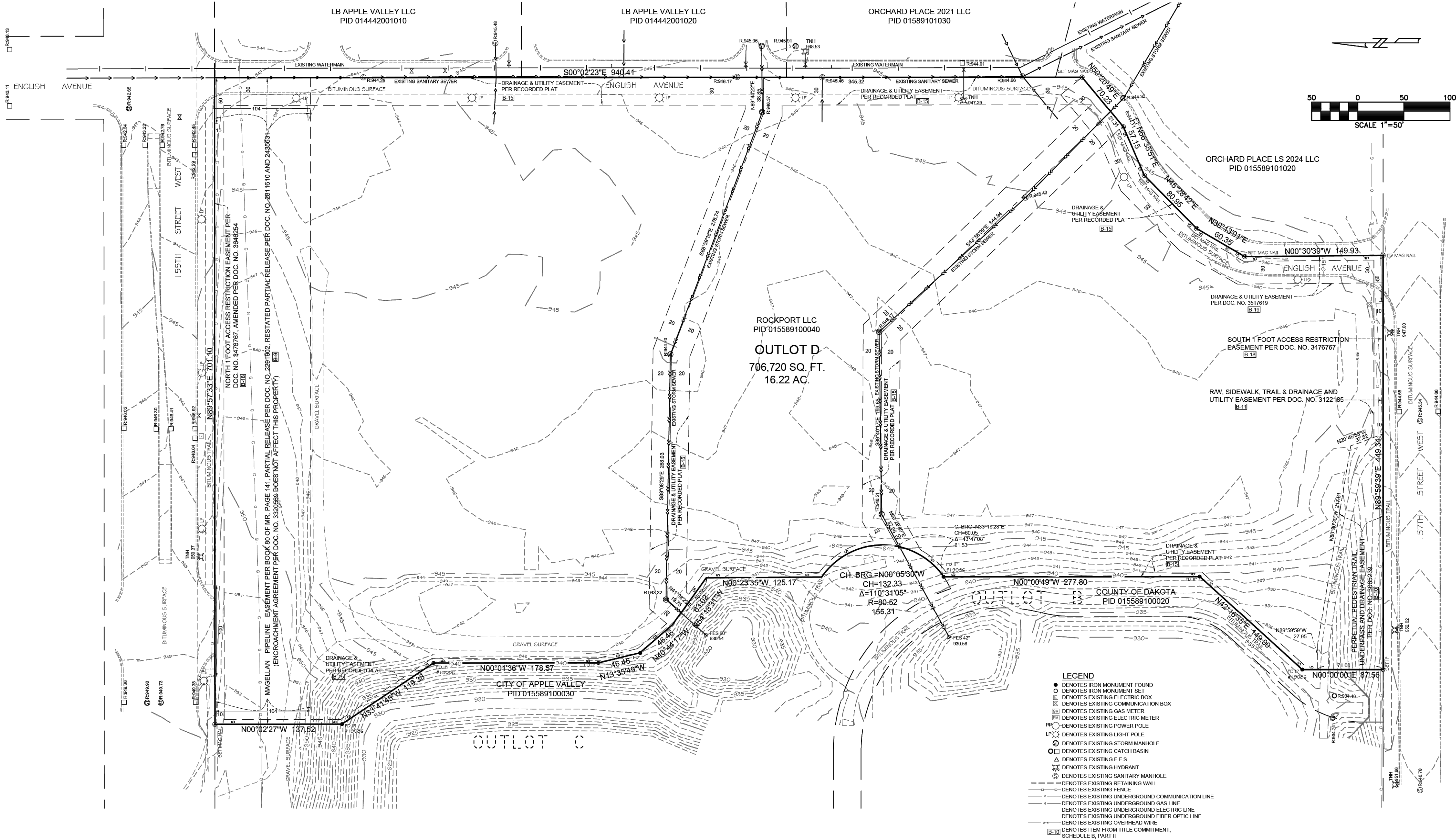
CONTACT CENTER POINT ENERGY FOR GAS SERVICE MANAGEMENT.
608-223-2014

REVISIONS		

PREPARED FOR:
KIMLEY-HORN

14800 GALAXIE AVE. STE 200
APPLE VALLEY, MN 55124

DESIGNED	CHECKED
DRAWN	DATE
PM	1/17/2024
SCALE	
AS SHOWN	
JOB NO.	
18710.30	

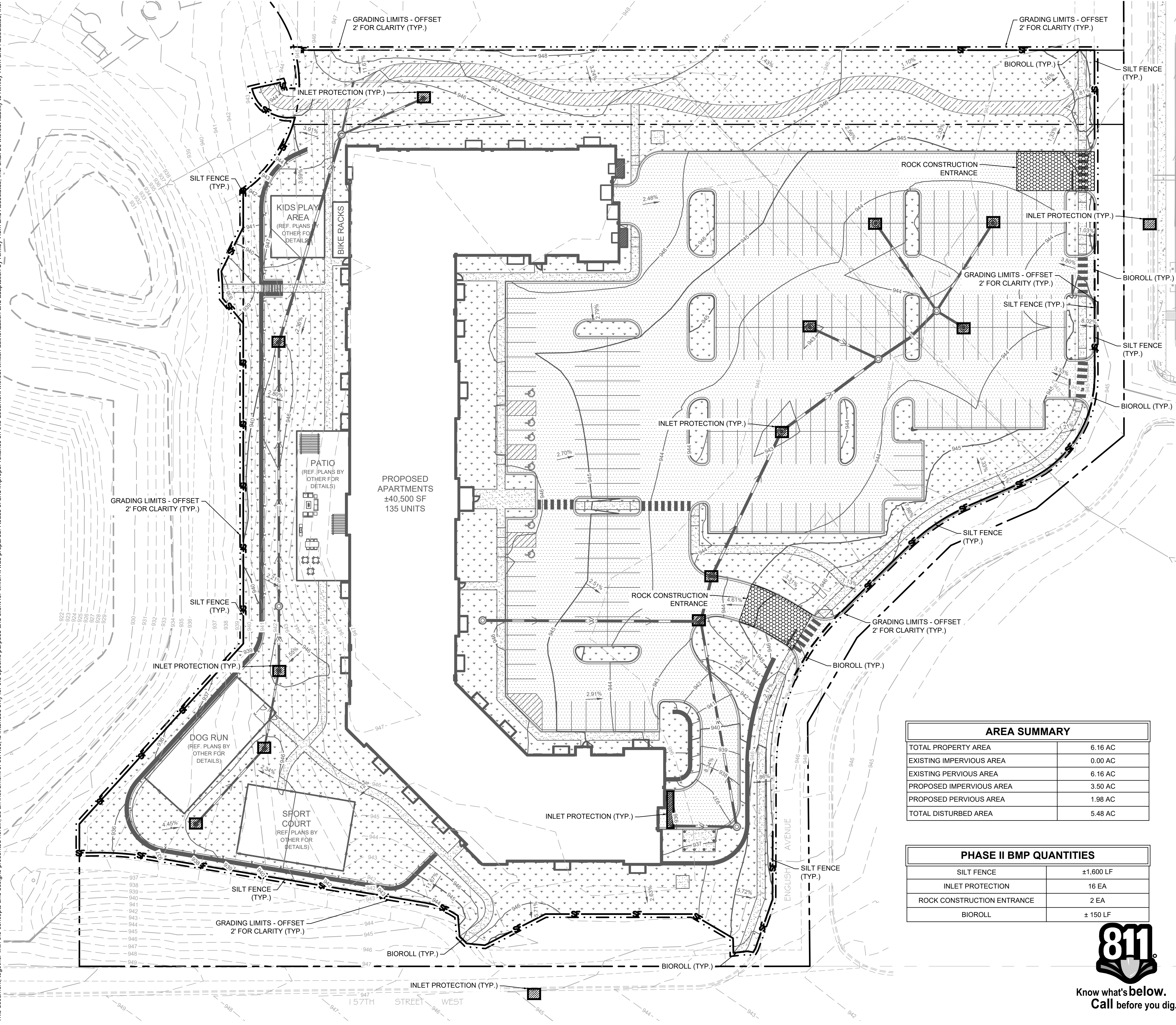


REVISIONS	

PREPARED FOR:
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14800 GALAXIE AVE. STE 200
APPLE VALLEY, MN 55124

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PM	1/17/2024
SCALE	AS SHOWN
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LEGEND

ROCK ENTRANCE

EROSION CONTROL BLANKET

INLET PROTECTION

SILT FENCE

LIMITS OF DISTURBANCE

SAFETY FENCE

BIOROLL

- EROSION CONTROL PLAN NOTES**
1. THE STORM WATER POLLUTION PREVENTION PLAN ("SWPPP") IS COMPRISED OF THE EROSION CONTROL PLAN, THE STANDARD DETAILS, THE PLAN NARRATIVE, ATTACHMENTS INCLUDED IN THE SPECIFICATIONS OF THE SWPPP, PLUS THE PERMIT AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.

2. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH LAND DISTURBING ACTIVITIES SHALL OBTAIN A COPY OF THE SWPPP AND NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) GENERAL PERMIT, AND BECOME FAMILIAR WITH THEIR CONTENTS.

3. BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE AND LOCAL REQUIREMENTS, AS APPLICABLE. THE CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY THE PERMITTING AGENCY, ENGINEER OR OWNER.

4. SITE ENTRY AND EXIT LOCATIONS SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT THE TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC ROADWAYS. SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO A PUBLIC ROADWAY FROM THE CONSTRUCTION SITE MUST BE REMOVED AS SOON AS PRACTICABLE. WHEN WASHING IS REQUIRED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO A PUBLIC ROADWAY, IT SHALL BE DONE IN AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT BASIN. ANY FINES IMPOSED FOR DISCHARGING SEDIMENT ONTO A PUBLIC RIGHT OF WAY SHALL BE PAID BY THE CONTRACTOR.

5. TEMPORARY SEEDING OR OTHER APPROVED METHODS OF STABILIZATION SHALL BE INITIATED WITHIN 7 DAYS OF THE LAST DISTURBANCE ON ANY AREA OF THE SITE.

6. THE CONTRACTOR SHALL MINIMIZE LAND DISTURBANCE AND CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.

7. CONTRACTOR SHALL DENOTE ON THE PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES.

8. ALL WASH WATER FROM THE CONSTRUCTION SITE (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED BEFORE DISPOSAL.

9. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.

10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL ON SITE. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.

11. RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORM WATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.

12. STAGING AREAS, STOCKPILES, SPOILS, ETC. SHALL BE LOCATED OUTSIDE OF DRAINAGE WAYS SUCH THAT STORM WATER RUNOFF WILL NOT BE ADVERSELY AFFECTED. PROVIDE STABILIZATION MEASURES SUCH AS PERIMETER EROSION CONTROL, BMP'S, SEEDING, OR OTHER COVERING AS NECESSARY TO PREVENT EROSION.

13. CONTRACTOR SHALL BE RESPONSIBLE FOR RE-ESTABLISHING ANY EROSION CONTROL BMP DISTURBED DURING CONSTRUCTION OPERATIONS. NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DEFICIENCIES IN THE ESTABLISHED EROSION CONTROL MEASURES THAT MAY LEAD TO UNAUTHORIZED DISCHARGE OF STORM WATER POLLUTANTS. UNAUTHORIZED POLLUTANTS INCLUDE (BUT ARE NOT LIMITED TO) EXCESS CONCRETE, DUMPING, CONCRETE RESIDUE, PAINTS, SOLVENTS, GREASES, FUELS, LUBRICANT OILS, PESTICIDES, AND SOLID WASTE MATERIALS.

14. EROSION CONTROL BMP'S SHOWN ON THESE PLANS SHALL BE INSTALLED PRIOR TO THE START OF LAND-DISTURBING ACTIVITIES ON THE PROJECT, AND INITIATED AS SOON AS PRACTICABLE.

15. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR COMPLYING WITH THE REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION, AND SHALL MAINTAIN COMPLIANCE WITH APPLICABLE LAWS AND REGULATIONS FOR THE DURATION OF CONSTRUCTION.

16. THE CONTRACTOR SHALL FIELD ADJUST AND/OR PROVIDE ADDITIONAL EROSION CONTROL BMP'S AS NEEDED TO PREVENT EROSION AND OFF-SITE SEDIMENT DISCHARGE FROM THE CONSTRUCTION SITE. LOG AND RECORD ANY ADJUSTMENTS AND DEVIATIONS FROM THE APPROVED EROSION CONTROL PLANS WITHIN THE SWPPP DOCUMENTS STORED IN THE JOB SITE TRAILER.

SWPPP UPDATES & AMENDMENTS

THE CONTRACTOR MUST UPDATE THE SWPPP BY NOTING ON THE SITE MAPS IN THE JOB SITE BINDER TO REFLECT THE PROGRESS OF CONSTRUCTION ACTIVITIES AND GENERAL CHANGES TO THE PROJECT SITE FOR THE DURATION OF LAND DISTURBING ACTIVITIES. AT A MINIMUM, UPDATES SHALL BE MADE DAILY TO TRACK CONSTRUCTION PROGRESS DESCRIBED IN THE SEQUENCE OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR NOTING THE LOCATION OF THE JOB SITE TRAILER, TEMPORARY PARKING & LAYDOWN AREAS, PORTA-POTTY, WHEEL WASH, CONCRETE WASHOUT, FUEL & MATERIAL STORAGE, SOLID WASTE CONTAINERS, AND OTHER CONSTRUCTION RELATED FACILITIES THAT MAY IMPACT STORMWATER RUNOFF.

PHASE 2 SEQUENCE OF CONSTRUCTION

1. TEMPORARILY SEED, THROUGHOUT CONSTRUCTION, DENUDED AREAS THAT WILL BE INACTIVE FOR 14 DAYS OR MORE.

2. CONSTRUCT UNDERGROUND SITE UTILITIES AND STORM SEWER, INCLUDING UNDERGROUND STORMWATER MANAGEMENT SYSTEM.

3. INSTALL APPROPRIATE INLET PROTECTION AT ANY NEW STORM SEWER STRUCTURES AS EACH STRUCTURE IS CONSTRUCTED.

4. COMPLETE SITE GRADING AND PERMANENTLY STABILIZE AREAS TO BE VEGETATED AS THEY ARE BROUGHT TO FINAL GRADE.

5. PLACE PAVEMENT BASE MATERIAL AND INSTALL SUBDRAINAGE SYSTEM.

6. CONSTRUCT PAVEMENTS, CURB & GUTTER, AND SIDEWALKS.

7. AS APPROPRIATE, REPLACE & MAINTAIN INLET PROTECTION DEVICES WITHIN PAVED AREAS AS WORK PROGRESSES.

8. COMPLETE FINAL GRADING AND INSTALL OF PERMANENT STABILIZATION (SEEDING, SOODING, ETC.) WITHIN LANDSCAPED AREA.

9. WHEN THE SITE HAS ACHIEVED FINAL STABILIZATION AS DEFINED BY THE APPLICABLE EROSION CONTROL PERMITS, REMOVE ALL REMAINING TEMPORARY EROSION & SEDIMENT CONTROL BMP'S AND RE-STABILIZE ANY AREAS DISTURBED BY THE REMOVAL.

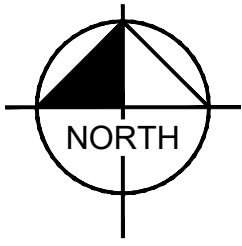
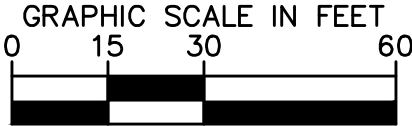
NOTE: THE SEQUENCE OF CONSTRUCTION IS INTENDED TO CONVEY THE GENERAL CONCEPTS OF THE EROSION CONTROL DESIGN AND SHOULD NOT BE RELIED UPON FOR CONSTRUCTION PURPOSES. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETAILED PHASING AND CONSTRUCTION SEQUENCING NECESSARY TO CONSTRUCT THE PROPOSED IMPROVEMENTS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING IMMEDIATELY, PRIOR TO AND/OR DURING CONSTRUCTION IF ANY ADDITIONAL INFORMATION ON THE CONSTRUCTION SEQUENCE IS NECESSARY.

AREA SUMMARY	
TOTAL PROPERTY AREA	6.16 AC
EXISTING IMPERVIOUS AREA	0.00 AC
EXISTING PERVIOUS AREA	6.16 AC
PROPOSED IMPERVIOUS AREA	3.50 AC
PROPOSED PERVIOUS AREA	1.98 AC
TOTAL DISTURBED AREA	5.48 AC

PHASE II BMP QUANTITIES	
SILT FENCE	±1,600 LF
INLET PROTECTION	16 EA
ROCK CONSTRUCTION ENTRANCE	2 EA
BIOROLL	± 150 LF



Know what's below.
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PRELIMINARY - NOT FOR CONSTRUCTION

ORCHARD PLACE APARTMENTS

PREPARED FOR TRIDENT DEVELOPMENT

APPLE VALLEY

EROSION AND SEDIMENT CONTROL PLAN - PHASE 2

MM

PRELIMINARY

KHA PROJECT 161306000

DATE 01/29/2025

SCALE #####

DESIGNED BY ACJ

DRAWN BY MJB

CHECKED BY ACJ

Kimley»Horn

2024 KIMLEY-HORN AND ASSOCIATES, INC.

767 EUSTIS STREET, SUITE 100, ST. PAUL, MN 55114

PHONE: 651-454-1197

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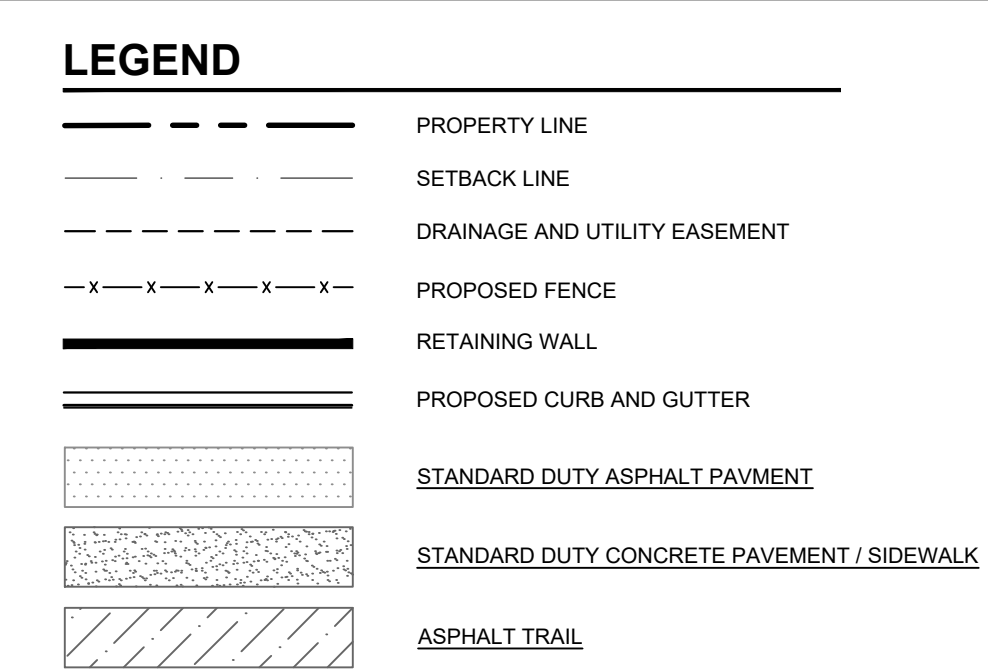
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REVISIONS

No.

DATE

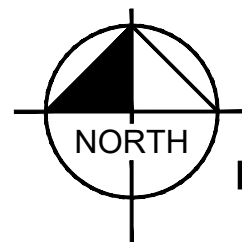
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1. REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF STOOPS, TRUCK DOCKS, TRASH ENCLOSURES & PRECISE BUILDING DIMENSIONS. REFER TO THE SITE ELECTRICAL PLAN FOR LOCATIONS OF PROPOSED LIGHT POLES, CONDUITS, AND ELECTRICAL EQUIPMENT.
2. REFER TO CERTIFIED SITE SURVEY OR PLAT FOR EXACT LOCATION OF EXISTING EASEMENTS, PROPERTY BOUNDARY DIMENSIONS, AND ADJACENT RIGHT-OF-WAY & PARCEL INFORMATION.
3. DIMENSIONS AND RADII ARE DRAWN TO THE FACE OF CURB, UNLESS OTHERWISE NOTED. DIMENSIONS ARE ROUNDED TO THE NEAREST TENTH FOOT, AND AREAS ARE ROUNDED TO THE NEAREST SQUARE FOOT.
4. UNLESS OTHERWISE NOTED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR RELOCATING EXISTING SITE IMPROVEMENTS THAT CONFLICT WITH THE PROPOSED WORK INCLUDING BUT NOT LIMITED TO TRAFFIC SIGNS, LIGHT POLES, ABOVEGROUND UTILITIES, ETC. PERFORM WORK IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SITE WORK SPECIFICATIONS. COST SHALL BE INCLUDED IN BASE BID.
5. TYPICAL PARKING STALL DIMENSIONS SHALL BE 9.0-FEET IN WIDTH AND 20-FEET IN LENGTH UNLESS OTHERWISE INDICATED.
6. MONUMENT SIGN(S) ARE DETAILED ON THE ARCHITECTURAL PLANS AND ARE SHOWN FOR GRAPHICAL & INFORMATIONAL PURPOSES ONLY. CONTRACTOR TO VERIFY SIGN DIMENSIONS, LOCATION AND REQUIRED PERMITS WITH THE OWNER.

SITE DATA SUMMARY	
PROPERTY AREA (EXCLUDING OUTLOT B)	5.62 AC
PROPOSED IMPERVIOUS AREA	3.77 AC
PROPOSED PERVIOUS AREA	1.85 AC
PROPOSED ZONING	PD (PLANNED DEVELOPMENT)
PROPOSED SURFACE PARKING	205 STALLS
PROPOSED GARAGE PARKING	135 STALLS
PROPOSED TOTAL PARKING	340 STALLS
PROPOSED BUILDING AREA (5 STORIES)	211,580 SF
PROPOSED F.A.R.	0.86
PROPOSED BUILDING HEIGHT	55.0'
BUILDING SETBACKS	NORTH = 12' EAST = 85' SOUTH = 57' WEST = 65'

- (A) CONCRETE SIDEWALK
- (B) ACCESSIBLE PARKING STALL
- (C) MATCH EXISTING EDGE OF PAVEMENT/ CURB & GUTTER
- (D) ACCESSIBLE CURB RAMP
- (E) ACCESSIBLE PARKING SIGN
- (F) STOP SIGN AND STOP BAR
- (G) AREA STRIPED WITH 4" SYSL @ 45° 2' O.C.
- (H) STANDARD DUTY ASPHALT PAVEMENT
- (I) LANDSCAPE AREA - SEE LANDSCAPE PLANS
- (J) COMMERCIAL DRIVEWAY APRON
- (K) HEAVY DUTY ASPHALT PAVEMENT
- (L) B612 CURB & GUTTER (TYP.)
- (M) FLAT CURB
- (N) TRANSITION CURB
- (O) COSSWALK MARKING



Know what's **below**.
Call before you dig.

	ORCHARD PLACI
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APARTMENTS

ET NUMBER
C400

0
MBER
RIDENI
DEVELOPMENT

DEVELOPMENT I
APPLE VALLEY

Kimley»»Horn

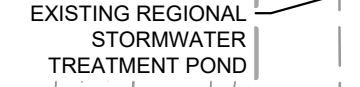
© 2024 KIMLEY-HORN AND ASSOCIATES, INC.
767 EUSTIS STREET, SUITE 100, ST. PAUL, MN 55114
PHONE: 651-645-4197
WWW.KIMLEY-HORN.COM

PRELIMINARY

SITE PLAN

KHA PROJECT 161306000	DATE 01/29/2025	SCALE AS SHOWN	DESIGNED BY ACL	DRAWN BY MJB	CHECKED BY ACI
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MAN[illegible]



PROPOSED
APARTMENTS
±40,500 SF
135 UNITS
FFE: 947.00
GARAGE LFE: 936.00

<u>G:0.00</u> ✕	PROPOSED GUTTER ELEVATION
<u>T:0.00</u> ✕	PROPOSED TOP OF CURB ELEVATION
<u>TI:G:0.0</u> ✕	PROPOSED FLUSH PAVEMENT ELEVATION
<u>ME:0.0</u> ✕	MATCH EXISTING ELEVATION
<u>TW:0.0</u> ✕	PROPOSED TOP/BOTTOM OF WALL ELEVATION
<u>BW:0.0</u>	PROPOSED DRAINAGE DIRECTION
<u>0.0%</u>	PROPOSED GRADE BETWEEN POINTS
<u>0.00%</u>	

1. RETAINING WALLS SHALL BE DESIGNED BY OTHERS.
2. PLANS SHOW THE HORIZONTAL LOCATION OF THE TOP OF THE WALL AND PROVIDES FINISHED SURFACE ELEVATIONS AT THE TOP AND BOTTOM FACE OF THE WALL ONLY.
3. RETAINING WALL DESIGN PLANS SHALL BE CERTIFIED BY A LICENSED PROFESSIONAL ENGINEER AND SUBMITTED TO THE REVIEWING AUTHORITY AND KIMLEY-HORN ENGINEER OF RECORD FOR APPROVAL.
4. RETAINING WALL DESIGNER MUST ACCOUNT FOR DRAINAGE AROUND THE WALL AS SHOWN ON THE GRADING PLAN. SURFACE RUNOFF SHALL NOT BE ALLOWED TO DRAIN OVER THE TOP OF THE WALL.
5. RETAINING WALL MATERIAL AND COLOR SHALL BE SELECTED BY THE OWNER.
6. RETAINING WALL DESIGNER IS RESPONSIBLE FOR OBTAINING GEOTECHNICAL INFORMATION AS NEEDED FOR DESIGN OF THE PROPOSED WALL.

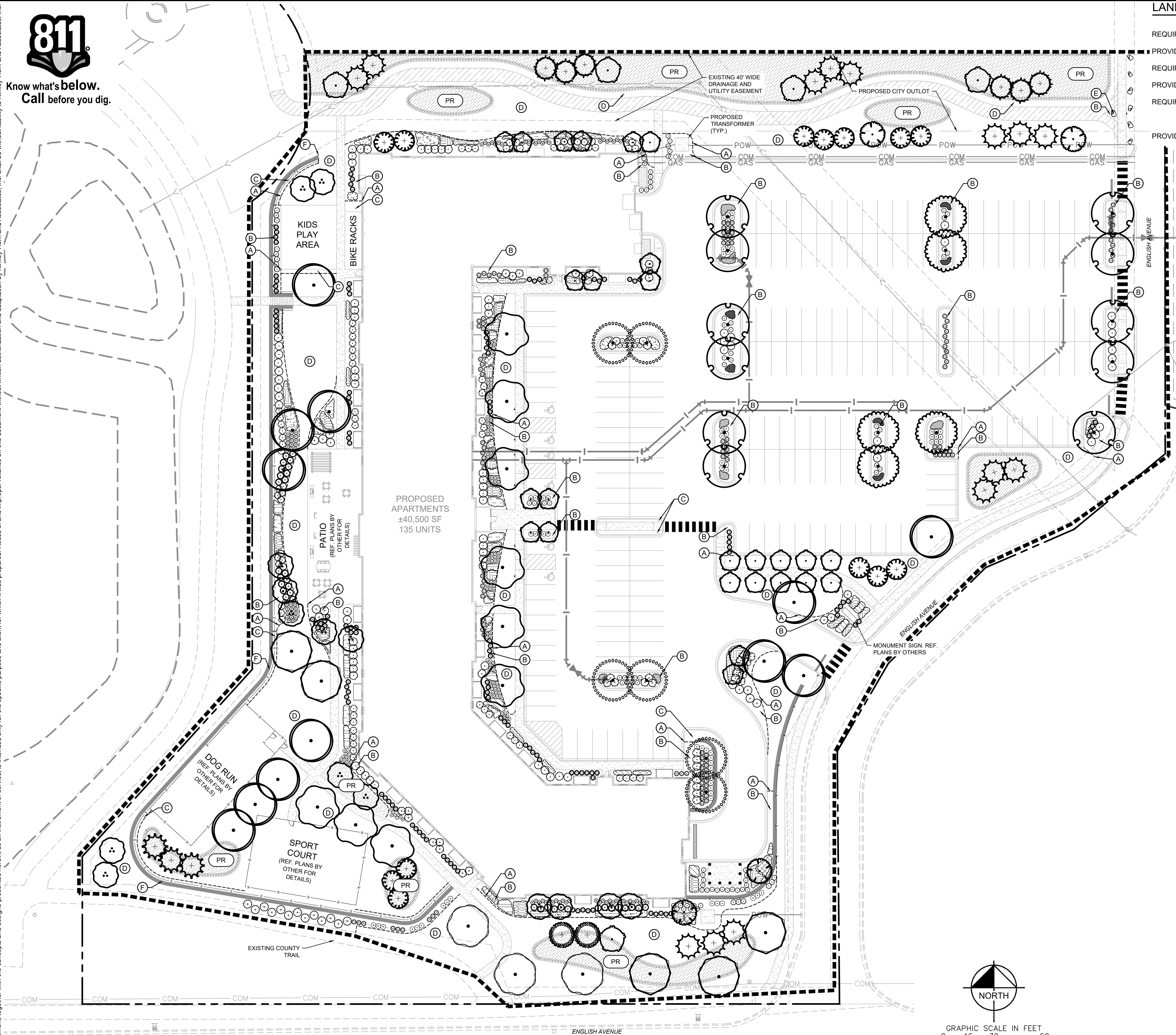


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SHEET NUMBER
C500



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LANDSCAPE SUMMARY - MULTIPLE RESIDENTIAL

REQUIRED PARKING LOT LANDSCAPE: 3,434 S.F. (2% PARKING LOT) = 171,703 S.F. * 0.02

■ ■ PROVIDED PARKING LOT LANDSCAPE: 14,949 S.F. (8.7% PARKING LOT)

REQUIRED PARKING LOT TREES: 23 TREES = 3,434 S.F. / 150 S.F.

PROVIDED PARKING LOT TREES: 38 TREES

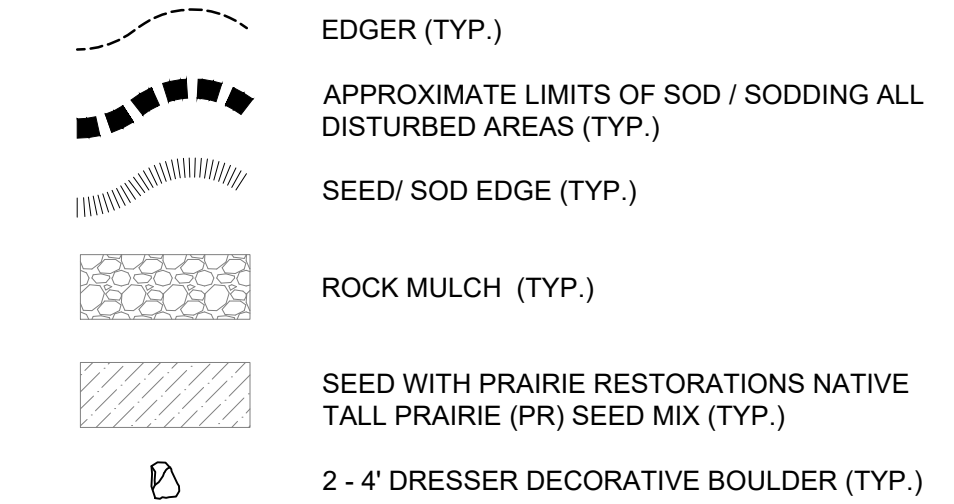
REQUIRED SCREENING:

AROUND TRASH ENCLOSURES, EXTERIOR MECHANICAL EQUIPMENT, AND PARKING SHALL BE SCREENED FROM ALL PUBLIC STREETS AND ADJOINING PROPERTIES.

PROVIDED SCREENING:

SCREENING SHOWN AROUND TRASH ENCLOSURES,
EXTERIOR MECHANICAL EQUIPMENT, AND PARKING AREAS.

LANDSCAPE LEGEND



LANDSCAPE KEYNOTES

- (A) EDGER (TYP.)
- (B) DOUBLE SHREDDED HARDWOOD MULCH (TYP.)
- (C) ROCK MULCH (TYP.)
- (D) SOD (TYP.)
- (E) 2 - 4' DRESSER DECORATIVE BOULDER (TYP.)
- (F) FENCE, SEE DETAIL (TYP.)

SEEDING KEYNOTES

- PR SEED WITH PRAIRIE RESTORATIONS NATIVE TALL PRAIRIE (PR) S

PLANT SCHEDULE

<u>CODE</u>	<u>COMMON NAME</u>		
<u>OVERSTORY TREES</u>		<u>EVERGREEN SHRUBS</u>	
BRO	BUR OAK	ELY	EVERLOW HYBRID YEW
CSO	CRIMSON SPIRE OAK	MGP	MUGO PINE
GNK	AUTUMN GOLD GINKGO TREE	SER	SPARTAN EASTERN REDCEDAR
NPO	NORTHERN PIN OAK		
PRE	PRINCETON AMERICAN ELM	<u>ORNAMENTAL GRASSES</u>	
SHL	SKYLINE HONEY LOCUST	BBB	BLACKHAWKS BIG BLUESTEM
STL	SENTRY LINDEN	FLG	FLAME GRASS
SWO	SWAMP WHITE OAK	HMS	HEAVY METAL SWITCHGRASS
		NSG	NORTHWIND SWITCH GRASS
		PDS	PRAIRIE DROPSEED
<u>CONIFEROUS TREE</u>		<u>PERENNIALS</u>	
BHS	BLACK HILLS SPRUCE	ALL	MILLENNIUM ORNAMENTAL ONION
CNH	CANADIAN HEMLOCK	BEE	BEE-YOU™ BEE-MERRY BEE BALD
CRC	EASTERN RED CEDAR	BES	BLACK-EYED SUSAN
MYS	MEYER SPRUCE	MBC	MOONBEAM COREOPSIS
SCP	SCOTCH PINE	MSY	MOONSHINE YARROW
WHP	WHITE PINE	RBS	RUBY STAR CONEFLOWER
<u>ORNAMENTAL TREE</u>		RHA	RHINELAND ASTIBLE
PRC	PRAIRIE ROSE CRABAPPLE	WLC	WALKERS LOW CATMINT
RIV	RIVER BIRCH MULTI-TRUNK		
TCH	THORNLESS COCKSPUR HAWTHORN		
<u>DECIDUOUS SHRUBS</u>			
ABW	ARCTIC BLUE WILLOW		
GLS	GRO-LOW FRAGRANT SUMAC		
GMS	GOLDMOUND SPIREA		
IRD	ISANTI REDOSIER DOGWOOD		
LDN	LITTLE DEVIL NINEBARK		
PJM	PJM RHODODENDRON		
SEM	SEM FALSSESPIREA		

NOTE:
SEE SHEET L101 FOR FULL PLANT SCHEDULE & QUANTITIES

ORCHARD PI ASSOCIATES

**PREPARED FOR
TRIDENT
DEVELOPMENT
VALLEY**

PRELIMINARY

LANDSCAPE PLAN

Kimley»»Horn
2024 KIMLEY-HORN AND ASSOCIATES, INC.
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161306000	DATE	AS SHOWN
	1/13/2025	
	DESIGNED BY	ATK
	DRAWN BY	ATK
	CHECKED BY	RAH

SHEET NUMBER
L100

MN

No.	
-----	--

REVISIONS

DATE _____

<u>SYMBOL</u>	<u>CODE</u>	<u>QTY</u>	<u>COMMON NAME</u>	<u>BOTANICAL NAME</u>	<u>N/A</u>	<u>CAL.</u>
<u>OVERSTORY TREES</u>						
	BRO	3	BUR OAK	QUERCUS MACROCARPA	B & B	2.5" CAL.
	CSO	26	CRIMSON SPIRE OAK	QUERCUS ROBUR X ALBA 'CRIMSCHMIDT'	B & B	2.5" CAL.
	GNK	6	AUTUMN GOLD GINKGO TREE	GINKGO BILOBA 'AUTUMN GOLD' TM	B & B	2.5" CAL.
	NPO	12	NORTHERN PIN OAK	QUERCUS ELLIPSOIDALIS	B & B	2.5" CAL.
	PRE	11	PRINCETON AMERICAN ELM	ULMUS AMERICANA 'PRINCETON'	B & B	2.5" CAL.
	SHL	9	SKYLINE HONEY LOCUST	GLEDITSIA TRIACANTHOS INERMIS 'SKYLINE'	B & B	2.5" CAL.
	STL	5	SENTRY LINDEN	TILIA AMERICANA 'MCKSENTRY'	B & B	2.5" CAL.
	SWO	5	SWAMP WHITE OAK	QUERCUS BICOLOR	B & B	2.5" CAL.
<u>CONIFEROUS TREE</u>						
	BHS	8	BLACK HILLS SPRUCE	PICEA GLAUCA 'DENSATA'	B & B	6' HT.
	CNH	2	CANADIAN HEMLOCK	TSUGA CANADENSIS	B & B	6' HT.
	CRC	13	EASTERN RED CEDAR	JUNIPERUS VIRGINIANA	B & B	6' HT.
	MYS	3	MEYER SPRUCE	PICEA MEYERI	B & B	6' HT.
	SCP	6	SCOTCH PINE	PINUS SYLVESTRIS	B & B	6' HT.
	WHP	6	WHITE PINE	PINUS STROBUS	B & B	6' HT.
<u>ORNAMENTAL TREE</u>						
	PRC	5	PRAIRIE ROSE CRABAPPLE	MALUS IOENSIS 'PRAIRIE ROSE'	B & B	1.5" CAL.
	RIV	15	RIVER BIRCH MULTI-TRUNK	BETULA NIGRA	B & B	1.5" CAL.
	TCH	4	THORNLESS COCKSPUR HAWTHORN	CRATAEGUS CRUS-GALLI INERMIS TM	B & B	1.5" CAL.
<u>SYMBOL</u>	<u>CODE</u>	<u>QTY</u>	<u>COMMON NAME</u>	<u>BOTANICAL NAME</u>	<u>CONTAINER</u>	<u>SPACING</u>
<u>DECIDUOUS SHRUBS</u>						
	ABW	18	ARCTIC BLUE WILLOW	SALIX PURPUREA 'CANYON BLUE'	#5 CONT.	5' O.C.
	GLS	14	GRO-LOW FRAGRANT SUMAC	RHUS AROMATICA 'GRO-LOW'	#5 CONT.	4' O.C.
	GMS	65	GOLDMOUND SPIREA	SPIRAEA X 'GOLDMOUND'	#5 CONT.	3' O.C.
	IRD	77	ISANTI REDOSIER DOGWOOD	CORNUS SERICEA 'ISANTI'	#5 CONT.	5' O.C.
	LDN	28	LITTLE DEVIL NINEBARK	PHYSOCARPUS OPULIFOLIUS 'DONNA MAY' TM	#5 CONT.	4' O.C.
	PJM	33	PJM RHODODENDRON	RHODODENDRON X 'P.J.M.'	#5 CONT.	4' O.C.
	SEM	14	SEM FALSESPIREA	SORBARIA SORBIFOLIA 'SEM'	#5 CONT.	3' O.C.

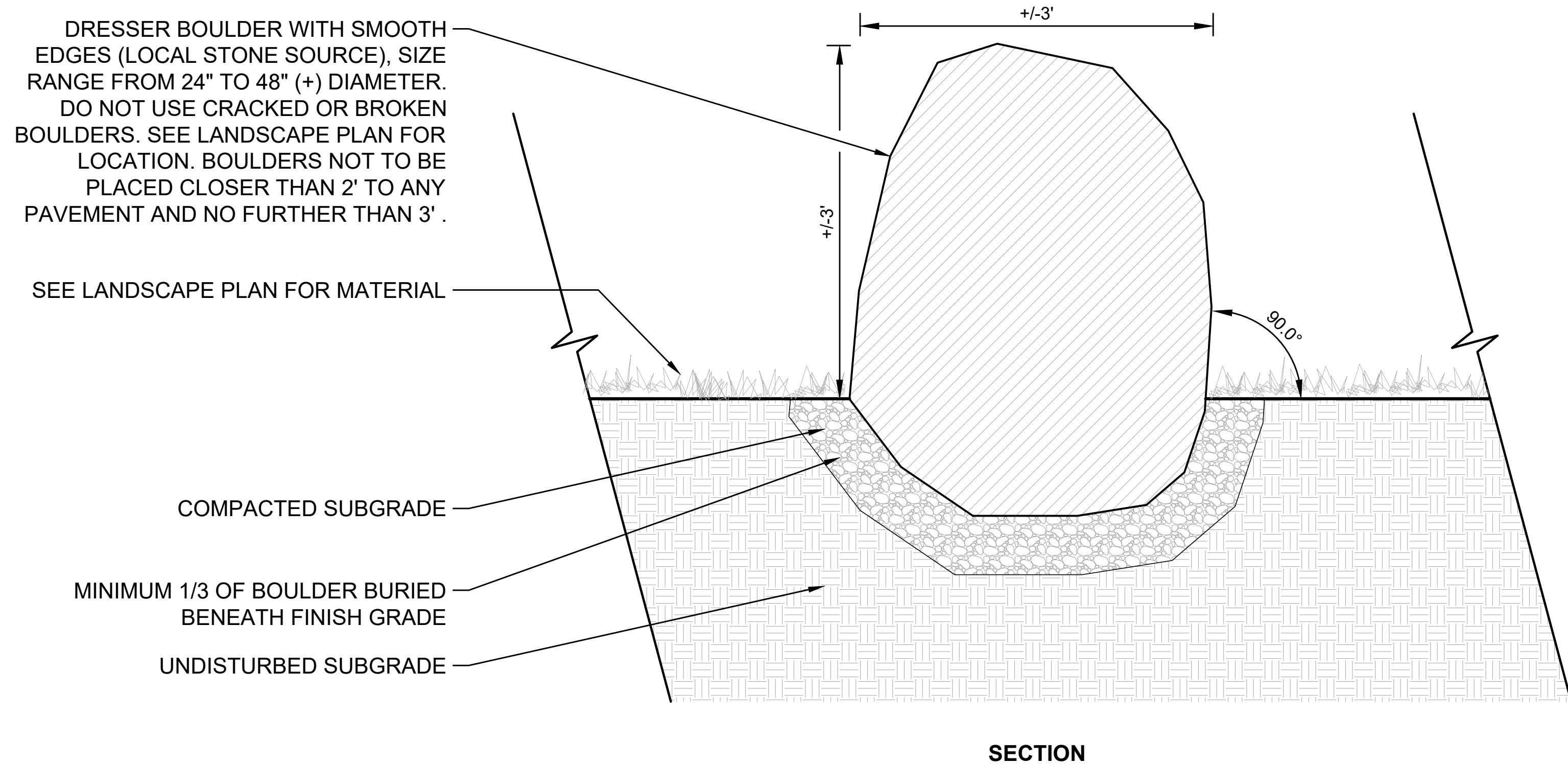
	ELY	34	EVERLOW HYBRID YEWS	TAXUS X MEDIA 'EVERLOW'	#5 CONT.	4' O.C.
	MGP	30	MUGO PINE	PINUS MUGO 'SLOWMOUND'	#5 CONT.	5' O.C.
	SER	27	SPARTAN EASTERN REDCEDAR	JUNIPERUS VIRGINIANA 'SPARTAN'	#5 CONT.	5' O.C.

	BBB	125	BLACKHAWKS BIG BLUESTEM	ANDROPOGON GERARDII 'BLACKHAWKS'	#1 CONT.	36" O.C.
	FLG	127	FLAME GRASS	MISCANTHUS X 'PURPURASCENS'	#1 CONT.	36" O.C.
	HMS	84	HEAVY METAL SWITCHGRASS	PANICUM VIRGATUM 'HEAVY METAL'	#1 CONT.	3' O.C.
	NSG	89	NORTHWIND SWITCH GRASS	PANICUM VIRGATUM 'NORTHWIND'	#1 CONT.	30" O.C.
	PDS	127	PRAIRIE DROPSEED	SPOROBOLUS HETEROLEPIS	#1 CONT.	18" O.C.

PERENNIALS						
	ALL	171	MILLENNIUM ORNAMENTAL ONION	ALLIUM X 'MILLENNIUM'	#1 CONT.	24" O.C.
	BEE	84	BEE-YOU™ BEE-MERRY BEE BALM	MONARDA X 'BEE-MERRY'	#1 CONT.	24" O.C.
	BES	90	BLACK-EYED SUSAN	RUDBECKIA FULGIDA 'GOLDSTURM'	#1 CONT.	18" O.C.
	MBC	234	MOONBEAM COREOPSIS	COREOPSIS X 'MOONBEAM'	#1 CONT.	18" O.C.
	MSY	123	MOONSHINE YARROW	ACHILLEA X 'MOONSHINE'	#1 CONT.	24" O.C.
	RBS	180	RUBY STAR CONEFLOWER	ECHINACEA PURPUREA 'RUBY STAR'	#1 CONT.	20" O.C.
	RHA	44	RHINELAND ASTIBLE	ASTILBE JAPONICA 'RHINELAND'	#1 CONT.	18" O.C.
	WLC	211	WALKERS LOW CATMINT	NEPETA X FAASSENII 'WALKERS LOW'	#1 CONT.	18" O.C.

NOTE:
QUANTITIES ON PLAN SUPERSEDE LIST QUANTITIES IN THE EVENT OF A DISCREPANCY.

ABBREVIATIONS:
 B&B = BALLED AND BURLAPPED CAL. = CALIPER HT. = HEIGHT MIN. = MINIMUM O.C. = ON CENTER SP. = SPECIES
 QTY. = QUANTITY



SECTION

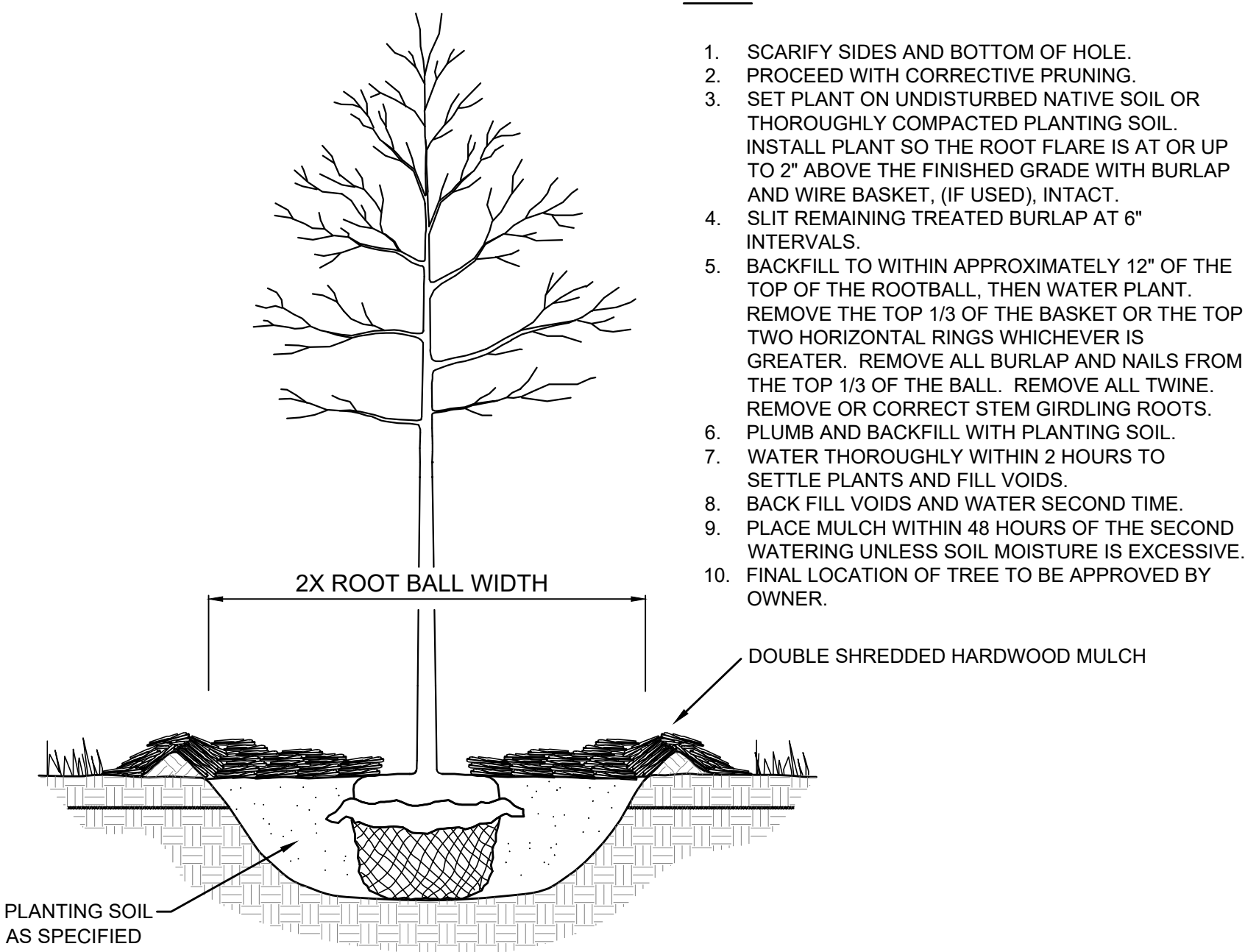
1 DECORATIVE BOULDER DETAIL
SCALE: N.T.S.

SCALE: N.T.S.

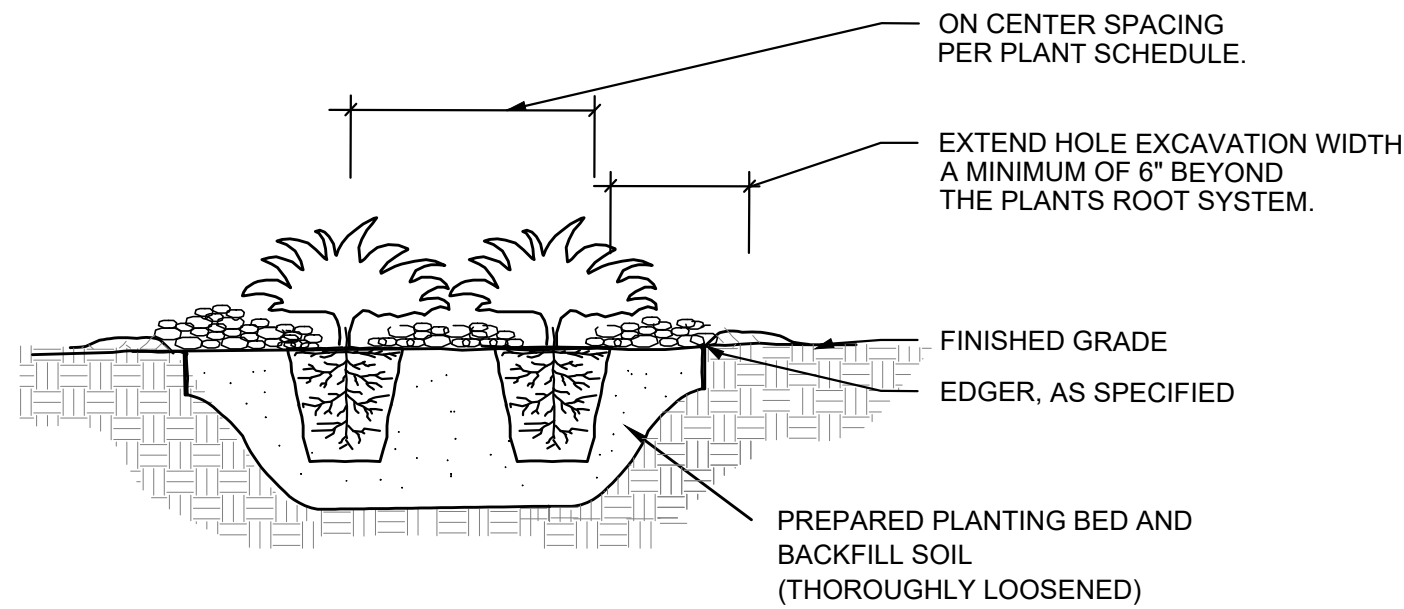
PRELIMINARY - NOT FOR CONSTRUCTION	ORCHARD PLACE APARTMENTS PREPARED FOR TRIDENT DEVELOPMENT APPLE VALLEY MN	LANDSCAPE SCHEDULE	KHA PROJECT 161306000					PRELIMINARY	 2024 KIMLEY-HORN AND ASSOCIATES, INC. 767 EUSTIS STREET, SUITE 100, ST. PAUL, MN 55114 PHONE: 651-454-1197 WWW.KIMLEY-HORN.COM	No.	REVISIONS	DATE	BY
			DATE 01/29/2025		SCALE AS SHOWN								
			DESIGNED BY ATK		DRAWN BY ATK								
			CHECKED BY		RAH								

k:\TWC_LDEV\avr - orchard placeltrident development - outlot d13 Design\CAD\plansheets\L1-LANDSCAPE DETAILS\DWG February 18, 2025 - 3:57pm

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1 TREE PLANTING DETAIL
SCALE: N.T.S. L102



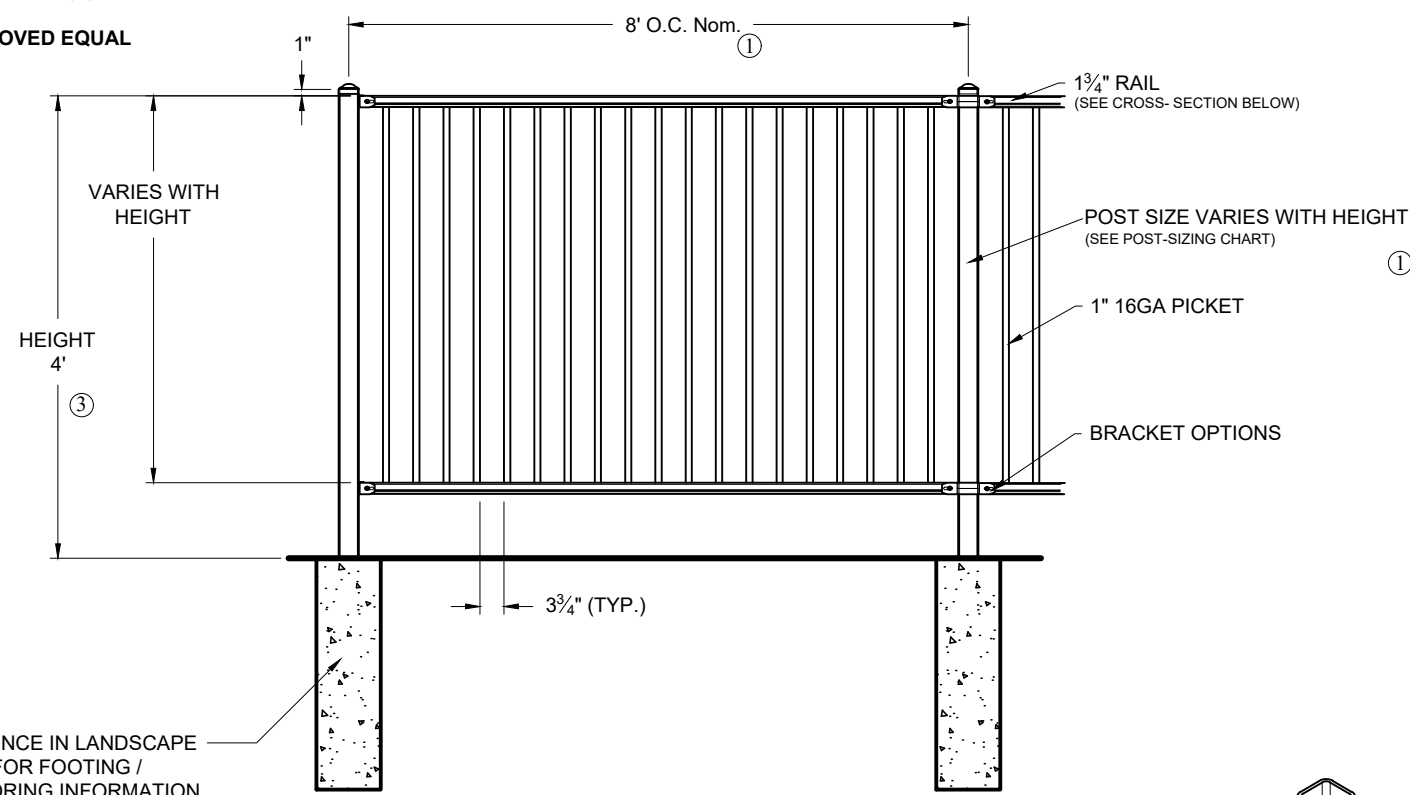
2 SHRUB / PERENNIAL PLANTING DETAIL
SCALE: N.T.S. L102

NOTES:

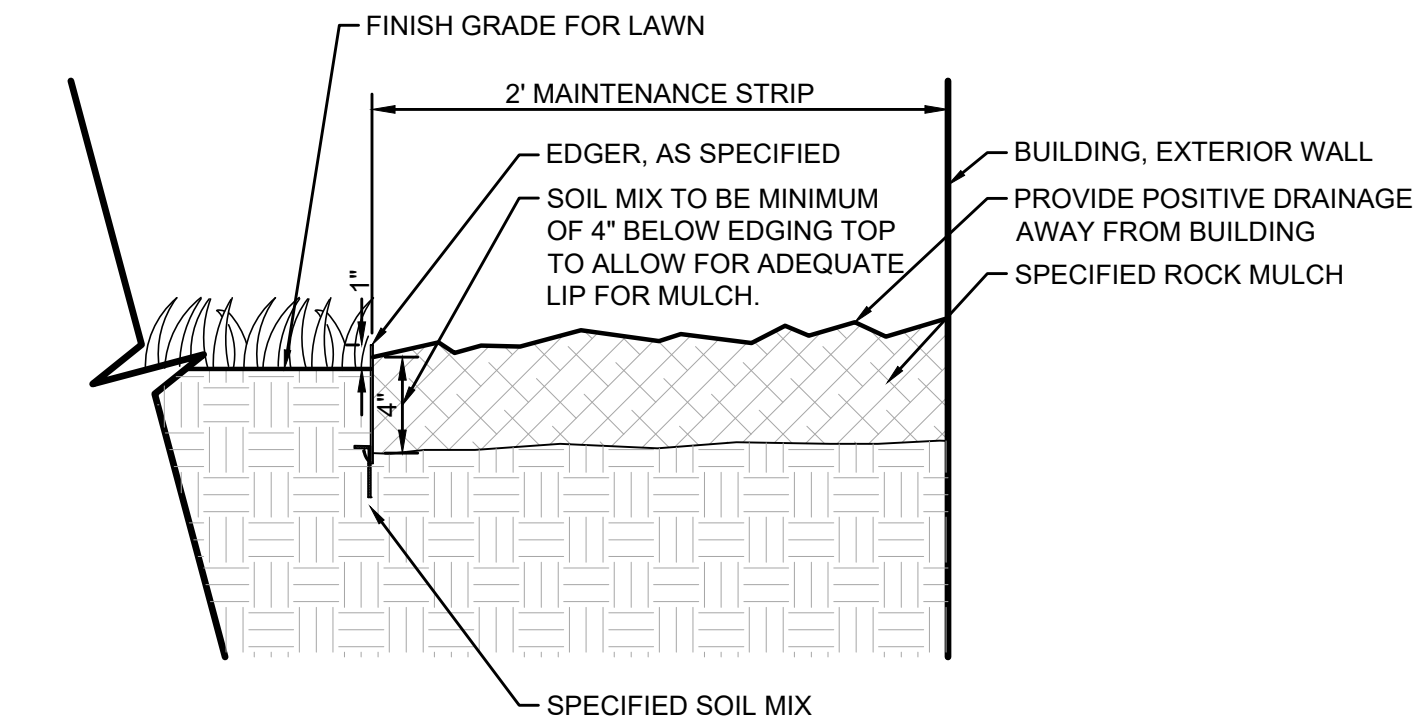
AVAILABLE FROM: ASSA ABLOY / AMERISTAR
WEBSITE: WWW.AMERISTARPERIMETER.COM
PHONE: 888-333-3422

PANEL: 2-RAIL 3-1/2"
FENCE STYLE: MAJESTIC (M)
COLOR: BLACK (B)

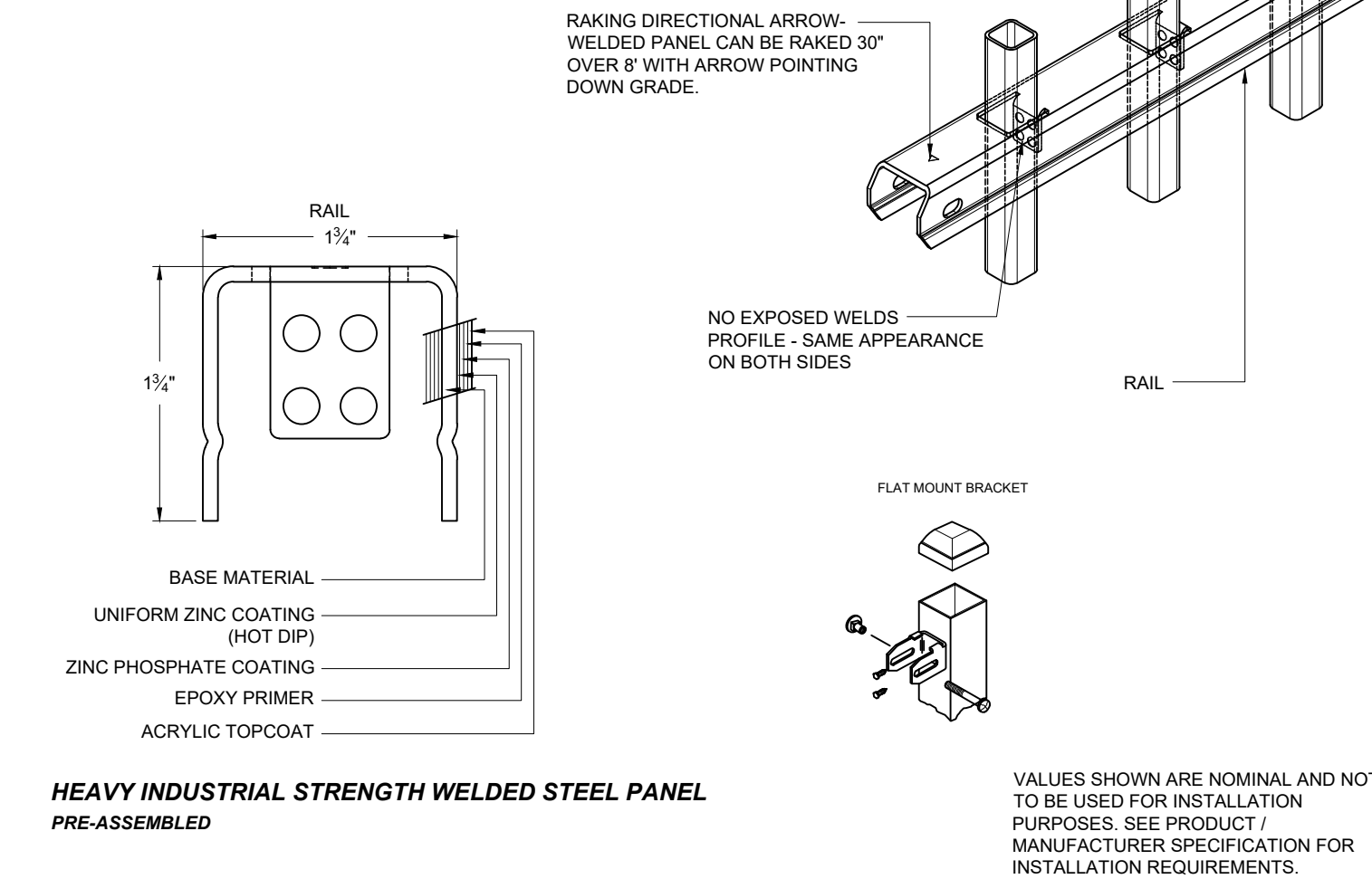
OR APPROVED EQUAL



3 STEEL EDGER DETAIL
SCALE: N.T.S. L102



4 MAINTENANCE STRIP DETAIL
SCALE: 1-1/2"=1' L102



5 ORNAMENTAL FENCE AND GATE DETAIL
SCALE: N.T.S. L102

LANDSCAPE NOTES

PLANTING

- CONTACT COMMON GROUND ALLIANCE AT 811 OR CALL 811.COM TO VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY PLANTS OR LANDSCAPE MATERIAL.
- ACTUAL LOCATION OF PLANT MATERIAL IS SUBJECT TO FIELD AND SITE CONDITIONS.
- NO PLANTING WILL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
- ALL SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO SUBMISSION OF ANY BID AND/OR QUOTE BY THE LANDSCAPE CONTRACTOR.
- PROVIDE TWO YEAR GUARANTEE OF ALL PLANT MATERIALS. THE GUARANTEE BEGINS ON THE DATE OF THE LANDSCAPE ARCHITECT'S OR OWNER'S WRITTEN ACCEPTANCE OF THE INITIAL PLANTING. REPLACEMENT PLANT MATERIAL SHALL HAVE A ONE YEAR GUARANTEE COMMENCING UPON PLANTING.
- ALL PLANTS TO BE SPECIMEN GRADE, MINNESOTA-GROWN AND/OR HARDY. SPECIMEN GRADE SHALL ADHERE TO, BUT IS NOT LIMITED BY, THE FOLLOWING STANDARDS:
ALL PLANTS SHALL BE FREE FROM DISEASE, PESTS, WOUNDS, SCARS, ETC.
ALL PLANTS SHALL BE FREE FROM NOTICEABLE GAPS, HOLES, OR DEFORMITIES.
ALL PLANTS SHALL BE FREE FROM BROKEN OR DEAD BRANCHES.
ALL PLANTS SHALL HAVE HEAVY, HEALTHY BRANCHING AND LEAFING.
CONIFEROUS TREES SHALL HAVE AN ESTABLISHED MAIN LEADER AND A HEIGHT TO WIDTH RATIO OF NO LESS THAN 5:3.
- PLANTS TO MEET AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2014 OR MOST CURRENT VERSION) REQUIREMENTS FOR SIZE AND TYPE SPECIFIED.
- PLANTS TO BE INSTALLED AS PER MNL & ANSI STANDARD PLANTING PRACTICES.
- INSTALL PLANTS BY PLANT INSTALLATION PERIOD INFORMATION IN THE LATEST STANDARD PLANTING DETAILS FROM MNDOT. PLANTINGS BEFORE OR AFTER THESE DATES ARE DONE AT RISK.
- PLANTS SHALL BE IMMEDIATELY PLANTED UPON ARRIVAL AT SITE. PROPERLY HEEL-IN MATERIALS IF NECESSARY; TEMPORARY ONLY.
- PRIOR TO PLANTING, FIELD VERIFY THAT THE ROOT COLLAR/ROOT FLARE IS LOCATED AT THE TOP OF THE BALLED & BURLAP TREE. IF THIS IS NOT THE CASE, SOIL SHALL BE REMOVED DOWN TO THE ROOT COLLAR/ROOT FLARE. WHEN THE BALLED & BURLAP TREE IS PLANTED, THE ROOT COLLAR/ROOT FLARE SHALL BE EVEN OR SLIGHTLY ABOVE FINISHED GRADE.
- OPEN TOP OF BURLAP ON BB MATERIALS; REMOVE POT ON POTTED PLANTS; SPLIT AND BREAK APART PEAT POTS.
- PRUNE PLANTS AS NECESSARY - PER STANDARD NURSERY PRACTICE AND TO CORRECT POOR BRANCHING OF EXISTING AND PROPOSED TREES.
- WRAP ALL SMOOTH-BARKED TREES - FASTEN TOP AND BOTTOM. REMOVE BY APRIL 1ST.
- STAKING OF TREES AS REQUIRED; REPOSITION, PLUMB AND STAKE IF NOT PLUMB AFTER ONE YEAR.

SOIL

- TOPSOIL SHALL BE LOCAL FERTILE AGRICULTURAL SOIL FREE OF SUBSOILS, ROCKS LARGER THAN ONE INCH, CLAYS, PLANTS, WEEDS, ROOTS AND OTHER IMPURITIES. PH VALUE TO BE BETWEEN 5.4 AND 7.0. REMOVE DEBRIS AND WEEDS FROM SUBSOIL. MINIMUM 4" DEPTH TOPSOIL FOR ALL LAWN GRASS AREAS AND 12" DEPTH TOPSOIL FOR TREES, SHRUBS AND PERENNIALS. LIGHTLY COMPACT TOPSOIL AFTER PLACEMENT AND PROHIBIT CONSTRUCTION TRAFFIC FROM AREAS WITH TOPSOIL.
- THE NEED FOR SOIL AMENDMENTS SHALL BE DETERMINED UPON SITE SOIL CONDITIONS PRIOR TO PLANTING. LANDSCAPE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT FOR THE NEED OF ANY SOIL AMENDMENTS.
- BACKFILL SOIL AND TOPSOIL TO ADHERE TO MNDOT STANDARD SPECIFICATION 3877 (LOAM TOPSOIL, BORROW) AND TO BE EXISTING TOP SOIL FROM SITE FREE OF ROOTS, ROCKS LARGER THAN ONE INCH, SUBSOIL DEBRIS, AND LARGE WEEDS UNLESS SPECIFIED OTHERWISE. MINIMUM 4" DEPTH TOPSOIL FOR ALL LAWN GRASS AREAS AND 12" DEPTH TOPSOIL FOR TREE, SHRUBS, AND PERENNIALS.

MULCH

- MULCH TO BE AT ALL TREE, SHRUB, PERENNIAL, AND MAINTENANCE AREAS. TREE AND SHRUB PLANTING BEDS SHALL HAVE 4" DEPTH OF DOUBLE SHREDDED HARDWOOD MULCH. DOUBLE SHREDDED HARDWOOD MULCH TO BE USED AROUND ALL PLANTS WITHIN TURF AREAS. PERENNIAL AND ORNAMENTAL GRASS BEDS SHALL HAVE 2" DEPTH DOUBLE SHREDDED HARDWOOD MULCH. MULCH TO BE FREE OF DELETERIOUS MATERIAL AND NATURAL IN COLOR (DYE-FREE), OR APPROVED EQUAL. ROCK MULCH TO BE RIVER ROCK, 1 1/2" DIAMETER, AT MINIMUM 3" DEPTH, OR APPROVED EQUAL. APPLY PRE-EMERGENT HERBICIDE PRIOR TO MULCH PLACEMENT PER MANUFACTURER RECOMMENDATIONS. USE PREEN OR PRE-APPROVED EQUAL. ROCK MULCH TO BE ON COMMERCIAL GRADE FILTER FABRIC, BY TYPAR, OR APPROVED EQUAL WITH NO EXPOSURE. MULCH AND FABRIC TO BE APPROVED BY OWNER PRIOR TO INSTALLATION. MULCH TO MATCH EXISTING CONDITIONS (WHERE APPLICABLE).

EDGER

- EDGING TO BE COMMERCIAL GRADE COL-MET (OR EQUAL) STEEL EDGING; 3/16" THICK x 5" TALL, COLOR BLACK, OR SPADED EDGE, AS INDICATED. STEEL EDGING SHALL BE PLACED WITH SMOOTH CURVES AND STAKED WITH METAL SPIKES NO GREATER THAN 4 FOOT ON CENTER WITH TOP OF EDGER AT GRADE. FOR MOWERS TO CUT ABOVE WITHOUT DAMAGE. UTILIZE CURBS AND SIDEWALKS FOR EDGING WHERE POSSIBLE. WHERE EDGING TERMINATES AT A SIDEWALK, BEVEL OR RECESS ENDS TO PREVENT TRIP HAZARD. SPADED EDGE TO PROVIDE V-SHAPED DEPTH AND WIDTH TO CREATE SEPARATION BETWEEN MULCH AND GRASS. INDIVIDUAL TREE, SHRUB, OR RAIN-GARDEN BEDS TO BE SPADED EDGE, UNLESS NOTED OTHERWISE. EDGING TO MATCH EXISTING CONDITIONS (WHERE APPLICABLE).

SEED/SOD

- ALL DISTURBED AREAS TO BE SODDED OR SEEDED, UNLESS OTHERWISE NOTED. SOD TO BE STANDARD MINNESOTA GROWN AND HARDY BLUEGRASS MIX, FREE OF LAWN WEEDS. ALL TOPSOIL AREAS TO BE RAKED TO REMOVE DEBRIS AND ENSURE DRAINAGE. SLOPES OF 3:1 OR GREATER SHALL BE STAKED. SEED AS SPECIFIED, PER MNDOT SPECIFICATIONS AND SUPPLIER/MANUFACTURER RECOMMENDATIONS. IF NOT INDICATED ON LANDSCAPE PLAN, SEE EROSION CONTROL PLAN.

IRRIGATION

- PROVIDE NEW IRRIGATION SYSTEM TO ALL PLANTED AREAS ON SITE. IRRIGATION SYSTEM TO BE DESIGN/BUILD BY LANDSCAPE CONTRACTOR. LANDSCAPE CONTRACTOR TO PROVIDE SHOP DRAWINGS TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION OF IRRIGATION SYSTEM. CONTRACTOR TO PROVIDE OPERATION MANUALS, AS-BUILT PLANS, AND NORMAL PROGRAMMING. SYSTEM SHALL BE WINTERIZED AND HAVE SPRING STARTUP DURING FIRST YEAR OF OPERATION. SYSTEM SHALL HAVE ONE-YEAR WARRANTY ON ALL PARTS AND LABOR. ALL INFORMATION ABOUT INSTALLATION AND SCHEDULING CAN BE OBTAINED FROM THE GENERAL CONTRACTOR. SYSTEM SHALL INCLUDE A RAIN / FREEZE SENSOR, FLOW SENSOR, MASTER VALVE, EPA WATERSENSE APPROVED CONTROLLER, AND PRESSURE REGULATED HEADS. SHRUBS / PERENNIAL BEDS TO USE DRIP IRRIGATION. PROVIDE TEMPORARY IRRIGATION TO NATIVE SEEDED AREAS ON SEPARATE ZONE FOR ESTABLISHMENT.

ESTABLISHMENT

- PROVIDE NECESSARY WATERING OF PLANT MATERIALS UNTIL THE PLANT IS FULLY ESTABLISHED OR IRRIGATION SYSTEM IS OPERATIONAL. OWNER WILL NOT PROVIDE WATER FOR CONTRACTOR.
- REPAIR, REPLACE, OR PROVIDE SOD/SEED AS REQUIRED FOR ANY ROADWAY BOULEVARD AREAS ADJACENT TO THE SITE DISTURBED DURING CONSTRUCTION.
- REPAIR ALL DAMAGE TO PROPERTY FROM PLANTING OPERATIONS AT NO COST TO OWNER.
- MAINTAIN TREES, SHRUBS, SEED AND OTHER PLANTS UNTIL PROJECT COMPLETION, BUT IN NO CASE, LESS THAN FOLLOWING PERIOD; 1 YEAR AFTER PROJECT COMPLETION. MAINTAIN TREES, SHRUBS, SEED AND OTHER PLANTS BY PRUNING, CULTIVATING, AND WEEDING AS REQUIRED FOR HEALTHY GROWTH. RESTORE PLANTING SAUCERS. TIGHTEN AND REPAIR STAKE AND GUY SUPPORTS AND RESET TREES AND SHRUBS TO PROPER GRADES OR VERTICAL POSITION AS REQUIRED. RESTORE OR REPLACE DAMAGED WRAPINGS. SPRAY AS REQUIRED TO KEEP TREES AND SHRUBS FREE OF INSECTS AND DISEASE. REPLENISH MULCH TO THE REQUIRED DEPTH. MAINTAIN LAWNS FOR 60 DAYS AFTER INSTALLING SOD INCLUDING MOWING WHEN SOD RECIPIES 4" IN HEIGHT. WEED PLANTING BEDS AND MULCH SAUCERS AT MINIMUM ONCE A MONTH DURING THE GROWING SEASON. PROVIDE A MONTHLY REPORT TO THE OWNER ON WEEDING AND OTHER MAINTENANCE RESPONSIBILITIES.

PRELIMINARY - NOT FOR CONSTRUCTION

ORCHARD PLACE
APARTMENTS
PREPARED FOR
TRIDENT
DEVELOPMENT
APPLE VALLEY

SHEET NUMBER
L102

PRELIMINARY

KHA PROJECT
161306000
DATE
01/29/2025
SCALE

DESIGNED BY
ATK
DRAWN BY
ATK
CHECKED BY
RAH

LANDSCAPE
DETAILS

MN

Kimley»Horn

2024 KIMLEY-HORN AND ASSOCIATES, INC.
767 EUSTIS STREET, SUITE 100, ST. PAUL, MN 55114
PHONE: 651-445-4197
WWW.KIMLEY-HORN.COM

REVISIONS	DATE	BY
No.		