



Dakota County Surveyor's Office

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July 9, 2018

City of Apple Valley  
7100 147th Street W.  
Apple Valley, MN 55124

Re: **MENARDS AT HANSON CONCRETE**

The Dakota County Plat Commission met on July 9, 2018, to consider the preliminary plat of the above referenced plat. The plat is adjacent to CSAH 42, and is therefore subject to the Dakota County Contiguous Plat Ordinance.

The preliminary plat contains 50.5+/- acres to include a new building for Menards and two future commercial development sites. The right-of-way needs for CSAH 42 as a six-lane divided roadway are 100 feet of half right-of-way, which is shown on the proposed plat. Access to the site will be via 147th Street (city street), Johnny Cake Ridge Road (city street) with a roundabout at 149th Street, and one access as a right-in/right-out access along CSAH 42 into the Menards site (approximately 730 feet from Johnny Cake Ridge Road). The access spacing guidelines allow for public right-in/right-out access at 1/8th mile spacing if the County determines that the access improves the overall safety and/or efficiency of the transportation system. The access spacing guidelines also allow for private right-in/right-out access at 1/8th mile spacing based on County engineering assessment of the function and use of the private access point in consideration of the spacing criteria. The proposed plat includes a private right-in/right-out access to accommodate the Menards site. The Plat Commission prefers the private right-in/right-out access to accommodate all of the development within this plat. However, the Plat Commission will allow this private access at the time along CSAH 42 if the access provides sufficient parking lot setback for vehicles leaving the site to enter CSAH 42 without interfering with CSAH 42 travel.

There are two existing accesses along CSAH 42 that will be required to be removed through the permitting process. Restricted access should be shown along all of CSAH 42 except for the one access opening for the right turns only access. A quit claim deed to Dakota County for restricted access is required to accompany the plat mylars at the time of recording.

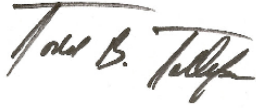
The Plat Commission has approved the preliminary plat provided that the described conditions are met. The Ordinance requires submittal of a final plat for review by the Plat Commission before a recommendation is made to the County Board of Commissioners.

Traffic volumes on CSAH 42 are 27,400 ADT and are anticipated to be 48,000 ADT by the year 2030.

No work shall commence in the County right of way until a permit is obtained from the County Transportation Department and no permit will be issued until the plat has been filed with the County Recorder's Office. The Plat Commission does not review or approve the actual engineering design of proposed accesses or other improvements to be made in the right of way. Nothing herein is intended to restrict or limit Dakota County's rights with regards to Dakota County rights of way or property. The Plat Commission highly recommends early contact with the Transportation Department to discuss the permitting process which reviews the design and may require construction of highway improvements, including, but not

limited to, turn lanes, drainage features, limitations on intersecting street widths, medians, etc. Please contact Gordon McConnell regarding permitting questions at (952) 891-7115 or Todd Tollefson regarding Plat Commission or Plat Ordinance questions at (952) 891-7070.

Sincerely,

A handwritten signature in black ink, reading "Todd B. Tollefson". The signature is written in a cursive, flowing style with a prominent horizontal line at the top.

Todd B. Tollefson  
Secretary, Plat Commission

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