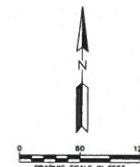


SITE NOTES

1. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY / COUNTY REGULATIONS AND CODES, AND O.S.H.A STANDARDS.
2. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS OF AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
3. ALL DISTURBED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL AND HYDROSEEDING (SEE LANDSCAPE PLAN, AND WATER UNTIL SOIL IS FULLY ESTABLISHED.
4. ALL DIMENSIONS AND RADII ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
5. ALTA SURVEY COMPLETED BY ADVANCED ENGINEERING CONCEPTS DATED JUNE 29, 2012.
6. TOTAL LAND AREA IS 450,695 ACRES (INCLUDING ROAD R/W).
7. CONTRACTOR SHALL REFERENCE ARCH/MEP PLANS FOR SITE LIGHTING AND ELECTRICAL PLANS.
8. CONCRETE JOINT SPACING SHALL BE AS FOLLOWS:
SIDEWALK: NO LESS THAN 6.0'
DRIVE-THRU PAD: NO LESS THAN 10'
ENTRANCE: NO LESS THAN 12'



SITE LEGEND

Diagram illustrating the standard cross-section of a street, showing various lines and pavement types:

- PROPERTY LINE
- SETBACK LINE
- EASEMENT LINE
- PROPOSED CURB AND GUTTER
- (P1) LIGHT DUTY BITUMINOUS PAVEMENT
- (P2) MEDIUM DUTY BITUMINOUS PAVEMENT
- (P3) HEAVY DUTY BITUMINOUS PAVEMENT
- (P4) CONCRETE PAVEMENT
- (S1) CONCRETE SIDEWALK
- (#) PROPOSED PARKING COUNT

* PAVEMENT SECTIONS MAY CHANGE DURING FINAL DESIGN

SITE ANALYSIS TABLE

LOT 1, BLOCK 1,
MENARDS SITE

EXISTING ZONING	I-1
PROPOSED ZONING	GB
PROPOSED USE	COMMERCIAL
LOT AREA	±838,837 SF (±19.21 AC)
TOTAL BUILDING AREA	±221,660 SF (26.5%)
SETBACK SUMMARY	BUILDING PARKING
FRONT / STREET ROW	50' 15'
SIDE	5' 5'
REAR	15' 10'
SIDE	40' 15'
GREENSPACE SUMMARY	PROPOSED
IMPERVIOUS AREA (INCL. BLDG)	±751,099 SF
PERVIOUS AREA	±85,738 SF
PARKING SUMMARY	PROPOSED
MENARDS PARKING COUNT	456 STALLS
ACCESSIBLE PARKING	12 STALLS
TOTAL PARKING COUNT	468 STALLS

WARNING:

WARNING.
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THE CONTRACTOR SHALL CONTACT GOPHER STATE ONE CALL AT 851-454-0002 AT LEAST 48 HOURS IN ADVANCE FOR THE LOCATIONS OF ALL UNDERGROUND WIRES, CABLES, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. THE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE WHEN DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.

CALL BEFORE YOU DIG

CALL BEFORE YOU DIG
GOPHER STATE ONE CALL

TWIN CITY AREA: 651-454-0002
TOLL FREE 1-800-252-1166



Responsive partner.
Exceptional outcomes.

1800 PIONEER CREEK CENTER
SAPLE PLAIN, MN 55358
PHONE: 763-478-4200
FAX: 763-478-4242
WWW.WENCK.COM

SUB CONSULTANT

CLIENT
MENARD, INC.

**MENARD'S AT
HANSON CONCRETE**
APPLE VALLEY, MINNESOTA

CT 700 6

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TWIN CITY AREA 651-454-0000
TOLL FREE 1-800-252-1166



EROSION CONTROL
PLAN

C-201



GRAPHIC SCALE IN FEET

GRADING LEGEND

	PROPERTY LINE
	SETBACK LINE
	EASEMENT LINE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPOSED STORM SEWER
	PROPOSED CATCH BASIN
	PROPOSED MANHOLE
	PROPOSED SPOT ELEVATION (ALL ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED)
	FINISHED GRADE SPOT ELEVATION
	MATCH EXISTING SPOT ELEVATION
	TOP OF CURB SPOT ELEVATION
	HIGH POINT SPOT ELEVATION
	EMERGENCY OVERFLOW SPOT ELEVATION
	TOP OF WALL SPOT ELEVATION
	BOTTOM / TOE OF WALL SPOT ELEVATION
	PROPOSED RIDGE / VALLEY / BREAKLINE
	PROPOSED SLOPE ARROW
	EXISTING STORM STRUCTURE
	EXISTING STORM SEWER

NOTE: SEE C-501 STORM SEWER PLAN FOR STORM SEWER DESIGN DETAILS

- ### GRADING NOTES
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF APPLE VALLEY SPECIFICATIONS AND BUILDING PERMIT REQUIREMENTS.
 - CONTRACTOR TO CALL GOPHER STATE CALL ONE @ 1-800-252-1198 AT LEAST TWO WORKING DAYS PRIOR TO EXCAVATION / CONSTRUCTION FOR UTILITY LOCATIONS.
 - CONTRACTOR TO FIELD VERIFY THE LOCATIONS AND ELEVATIONS FOR EXISTING UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO THE START OF SITE GRADING. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE PROJECT ENGINEER OF ANY DISCREPANCIES OR VARIATIONS.
 - SUBGRADE EXCAVATION SHALL BE BACKFILLED IMMEDIATELY AFTER EXCAVATION TO HELP OFFSET ANY STABILITY PROBLEMS DUE TO WATER SEEPAGE OR STEEP SLOPES. WHEN PLACING NEW SURFACE MATERIAL ADJACENT TO EXISTING PAVEMENT, THE EXCAVATION SHALL BE BACKFILLED PROMPTLY TO AVOID UNDERMINING OF EXISTING PAVEMENT.
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 - REFERENCE C-501 STORM SEWER PLAN FOR STORM SEWER MAIN, LAYOUT, ELEVATIONS, CASTINGS, AND STRUCTURES.
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 - UPON COMPLETION OF EXCAVATION AND FILLING, CONTRACTOR SHALL RESTORE ALL STREETS AND DISTURBED AREAS ON SITE. ALL DISTURBED AREAS SHALL BE RE-VEGETATED WITH A MINIMUM OF 6" OF TOPSOIL.
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CALL BEFORE YOU DIG

GOPHER STATE ONE CALL
TWIN CITY AREA: 851-454-0002
TOLL FREE: 1-800-252-1198

WENCK

Responsive partner:
Exceptional outcomes.

1800 PIONEER CREEK CENTER
MAPLE PLAIN, MN 55359
PHONE: 763-423-4200
FAX: 763-423-4242
WWW.WENCK.COM

SUB CONSULTANT:

CLIENT:

MENARDS, INC.

PROJECT TITLE:

**MENARD'S AT
HANSON CONCRETE**
APPLE VALLEY, MINNESOTA

DATE	REVISED	BY	CHK'D	APP'D
05/15/2018		JTW		

CERTIFICATION:
I, THE ENGINEER, CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

JARED T. WARD
 LICENSE NUMBER: 45877
 DATE: 05/15/2018

PROJECT NO:

1019-0204

DRAWN BY	CHK'D BY	APP'D BY
RAG	JTW	JTW

ISSUE NO:

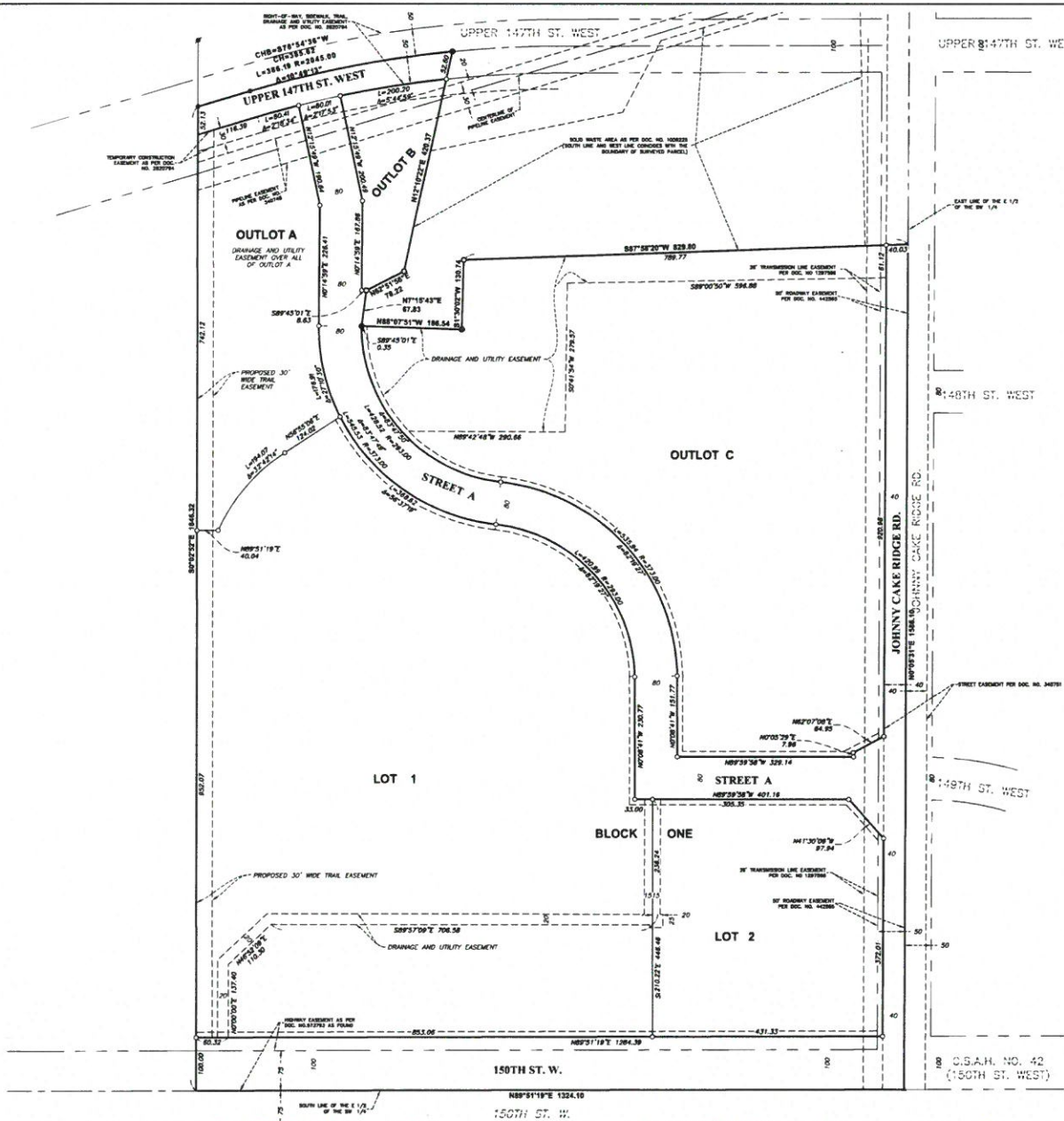
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SHEET TITLE:

GRADING PLAN

SHEET NO:

C-301



PRELIMINARY PLAT OF MENARDS AT HANSON CONCRETE



LEGAL DESCRIPTION OF PROPERTY TO BE PLATTED

A PARCEL OF LAND LOCATED IN THE EAST 1/2 OF THE SOUTHWEST 1/4 OF SECTION 26, TOWNSHIP 115, RANGE 20, DAKOTA COUNTY, MINNESOTA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTH QUARTER CORNER OF SAID SECTION 26; THENCE NORTH 00 DEGREES 05 MINUTES 31 SECONDS EAST ALONG THE EAST LINE OF SAID EAST 1/2 OF THE SOUTHWEST 1/4 A DISTANCE OF 186.10 FEET; THENCE SOUTH 89 DEGREES 58 MINUTES 20 SECONDS WEST A DISTANCE OF 828.80 FEET; THENCE SOUTH 01 DEGREES 30 MINUTES 02 SECONDS WEST A DISTANCE OF 130.74 FEET; THENCE NORTH 88 DEGREES 07 MINUTES 51 SECONDS WEST A DISTANCE OF 180.24 FEET; THENCE NORTH 07 DEGREES 15 MINUTES 43 SECONDS EAST A DISTANCE OF 87.83 FEET; THENCE NORTH 02 DEGREES 51 MINUTES 58 SECONDS EAST A DISTANCE OF 78.32 FEET; THENCE NORTH 12 DEGREES 10 MINUTES 10 SECONDS EAST A DISTANCE OF 420.37 FEET TO THE CENTERLINE OF AN EASEMENT ACQUISITION AGREEMENT RECORDED AS DOCUMENT NO. 1007070; THENCE ALONG SAID CENTERLINE 386.19 FEET ALONG THE ARC OF A CURVE CONCAVE SOUTHERLY HAVING A RADIUS OF 254.1 FEET; BEARING 117° 04' 10" CHORD DISTANCE OF 180.5; THENCE ALONG SAID CENTERLINE 57 DEGREES 50 MINUTES 00 SECONDS WEST A DISTANCE OF 101.83 FEET TO THE WEST LINE OF THE SAID EAST 1/2 OF THE SOUTHWEST 1/4; THENCE SOUTH 00 DEGREES 02 MINUTES 12 SECONDS EAST ALONG THE SAID WEST LINE OF THE EAST 1/2 OF THE SOUTHWEST 1/4 A DISTANCE OF 184.32 FEET TO THE SOUTH LINE OF SAID EAST 1/2 OF THE SOUTHWEST 1/4; THENCE NORTH 89 DEGREES 51 MINUTES 19 SECONDS EAST ALONG THE SOUTH LINE OF SAID EAST 1/2 OF THE SOUTHWEST 1/4 A DISTANCE OF 130.10 FEET TO THE POINT OF BEGINNING THERE TERMINATING, BEING SUBJECT TO THE ROAD RIGHT OF WAY OF JOHNNY CAKE RIDGE ROAD AND C.S.A.H. 42 (150TH ST. WEST).

PRESENT ADDRESSES

THE SUBJECT PROPERTY ADDRESS:
808 150TH ST. W.
APPLE VALLEY, MN 55124
THE PROPERTY IDENTIFICATION NUMBER:
19-02804-000

AREAS

TOTAL AREA TO BE PLATTED (INC. ROAD R/W) = 2,208.715 ± S.F. OR 0.508 ACRES ±

LOT AREAS TO BE PLATTED:

LOT 1, BLOCK 1 = 826.480 S.F. OR 19.055 ACRES ±

LOT 2, BLOCK 1 = 190.389 S.F. OR 4.379 ACRES ±

OUTLOT A = 154.783 S.F. OR 3.553 ACRES ±

OUTLOT B = 46.132 S.F. OR 1.059 ACRES ±

OUTLOT C = 654.253 S.F. OR 15.071 ACRES ±

RIGHT-OF-WAY TO BE DEDICATED = 360.714 S.F. OR 8.170 ACRES ±

ZONING

PROPERTY IS ZONED S-1 GENERAL INDUSTRIAL ACCORDING TO CITY OFFICIAL ZONING MAP. SEE SITE PLAN FOR ZONING AND SETBACK INFORMATION.

TAXPAYER / PROPERTY OWNER

MENARDS INC.
CORPORATE ACCOUNTING
5701 MENARD DR. PO BOX
FAUL CLARE, MI 48135

LAND SURVEYOR

WENCK ASSOCIATES
1800 PIONEER CREEK CENTER
MINNETONKA, MN
GARY KORNBLUM, M.L.
LICENSE NUMBER 46583

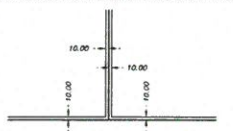
DATE OF PRELIMINARY PLAT

JUNE 14, 2018

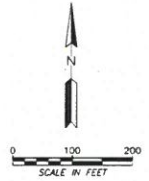
LEGEND

- DENOTES IRON MONUMENT FOUND.
- DENOTES 1/2 INCH X 1/4 INCH IRON MONUMENT SET WITH PLASTIC CAP MARKED RLS NO. 43055 UNLESS OTHERWISE INDICATED.

DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS:



BEING 10 FEET IN WIDTH WHEN ADJOINING LOT LINES AND ADJOINING PUBLIC WAYS, UNLESS OTHERWISE INDICATED ON THIS PLAT.



1800 PIONEER CREEK CENTER
MINNETONKA, MN 55305
PHONE: 763-474-0001
FAX: 763-474-0002
WWW.WENCK.COM

SUB CONSULTANT:

CLIENT:
MENARD, INC.

MENARD'S AT
HANSON CONCRETE
APPLE VALLEY, MINNESOTA

PROJECT TITLE

DRAW NO.

DATE

DESCRIPTION

CITY

STATE

CERTIFICATION

DATE

PROJECT NO.

DRAW BY

CHECK BY

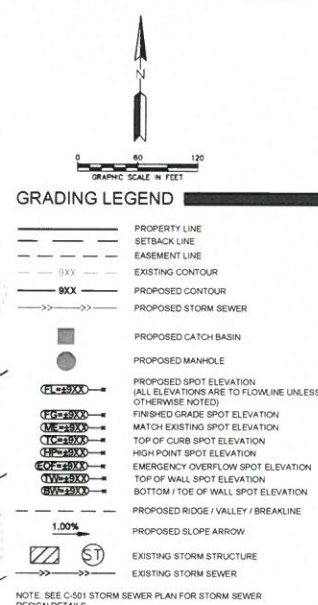
APPROVED BY

ISSUE DATE

ISSUE NO.

SHEET TITLE

SHEET NO.



1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF APPEL VALLEY SPECIFICATIONS AND BUILDING PERMIT REQUIREMENTS.
2. CONTRACTOR TO CALL GOPHER STATE CALL ONE @ 1-800-252-1166 AT LEAST TWO WORKING DAYS PRIOR TO EXCAVATION / CONSTRUCTION FOR UTILITY LOCATIONS.
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7. REFERENCE C-601 STORM SEWER PLAN FOR STORM SEWER MAIN, LAYOUT, ELEVATIONS, CASTINGS, AND STRUCTURES.
8. REFERENCE C-401 UTILITY PLAN FOR SANITARY SEWER MAIN, WATER MAIN, SERVICE LAYOUT, ELEVATIONS, CASTINGS, AND STRUCTURES.
9. CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION OF PAVEMENTS AND CURB AND GUTTER WITH SMOOTH UNIFORM SLOPES TO PROVIDE POSITIVE DRAINAGE.
10. INSTALL A MINIMUM OF #2 CLASS 5 AGGREGATE BASE UNDER CURB AND GUTTER.
11. UPON COMPLETION OF EXCAVATION AND FILLING, CONTRACTOR SHALL RESTORE ALL STREETS AND DRIVEWAYS TO MEET ALL STATE AND NATIONAL STANDARDS. SLOPES SHALL BE RE-VEGETATED WITH A MINIMUM OF 6% OF TOPSOIL.
12. ALL SPOT ELEVATIONS / CONTOURS ARE TO FLOWLINE / FINISHED GRADE UNLESS OTHERWISE NOTED.
13. GRADING FOR ALL SIDEWALKS AND ACCESSIBLE ROUTES INCLUDING CROSSING DRIVEWAYS SHALL CONFORM TO CALIFORNIA STATE AND NATIONAL STANDARDS. SLOPES SHALL NOT EXCEED 5% LONGITUUDINALLY OR EXCEED 2% CROSS SLOPE. SIDEWALK ACCESS TO EXTERNAL BUILDING DOORS SHALL BE ADA COMPLIANT. CONTRACTOR SHALL DETERMINE WHETHER OR NOT IF ADA CRITERIA CANNOT BE MET IN ANY LOCATION.
14. MAINTAIN A MINIMUM OF 0.5% GUTTER SLOPE TOWARDS LOW POINTS.

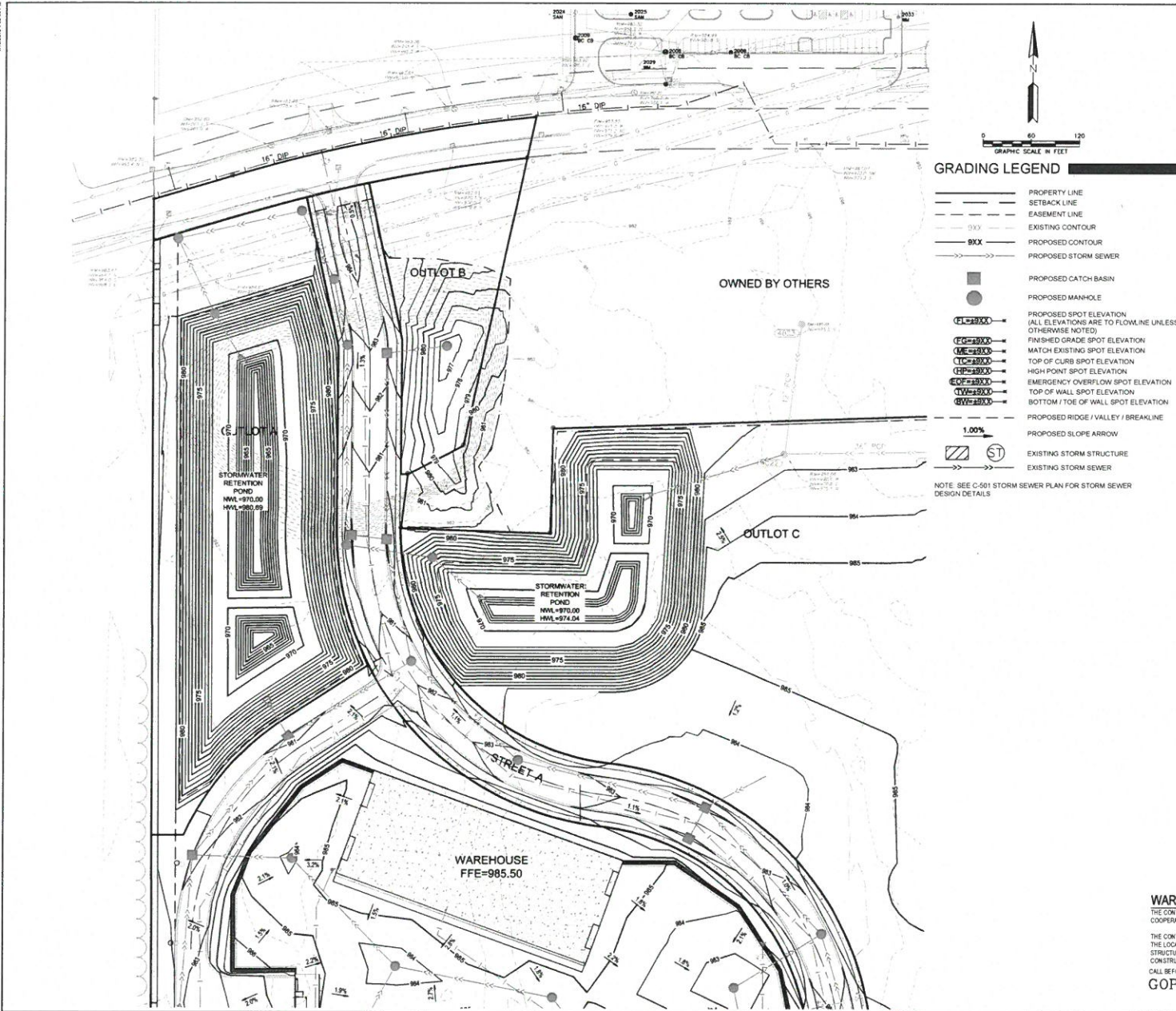
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CALL BEFORE YOU DIG

TWIN CITY AREA: 651-454-0002
TOLL FREE 1-800-252-1166



1



GRADING LEGEND

- PROPERTY LINE
- SETBACK LINE
- EASEMENT LINE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED STORM SEWER
- PROPOSED CATCH BASIN
- PROPOSED MANHOLE
- PROPOSED SPOT ELEVATION (ALL ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED)
- FINISHED GRADE SPOT ELEVATION
- MATCH EXISTING SPOT ELEVATION
- TOP OF CURB SPOT ELEVATION
- HIGH POINT SPOT ELEVATION
- EMERGENCY OVERFLOW SPOT ELEVATION
- TOP OF WALL SPOT ELEVATION
- BOTTOM / TOE OF WALL SPOT ELEVATION
- PROPOSED RIDGE / VALLEY / BREAKLINE
- PROPOSED SLOPE ARROW
- EXISTING STORM STRUCTURE
- EXISTING UNIFORM SEWER

NOTE: SEE C-501 STORM SEWER PLAN FOR STORM SEWER DESIGN DETAILS

GRADING NOTES

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CALL BEFORE YOU DIG

GOPHER STATE ONE CALL

TWIN CITY AREA 811-454-0002
TOLL FREE 1-800-252-1166



Response partner:
Exceptional outcomes.
1800 POKER CREEK CENTER
MAPLE PLAIN, MN 55369
PHONE: 763-473-4300
FAX: 763-473-4300
WWW.WENCK.COM

SUB CONSULTANT

CLIENT
MENARD, INC.

PROJECT TITLE
MENARD'S AT
HANSON CONCRETE
APPLE VALLEY, MINNESOTA

DATE	DESCRIPTION	DATE	DESCRIPTION
09/15/2018	CITY SUBMITTAL		

CERTIFICATION
I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A duly LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

JARED T. WARD
LICENSE NUMBER: 48677
DATE: 09/15/2018

PROJECT NO: 1019-0024

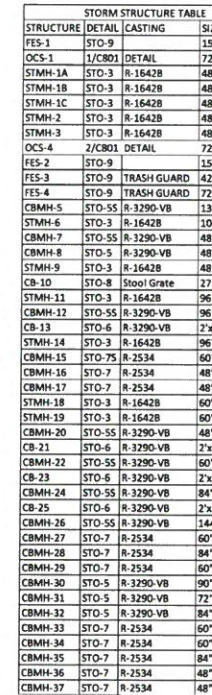
OWNER: RAG
DESIGNER: JTW
APPROVER: JTW

ISSUE DATE: 09/15/2018

ISSUE NO: 1

SHEET TITLE
GRADING PLAN
STORMWATER PONDS

SHEET NO:
C-303

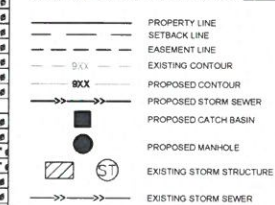


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CALL BEFORE DIGGING.

TWIN CITY AREA 651-454-0002
TOLL FREE 1-800-252-1166



**MENARD'S AT
HANSON CONCRETE**
APPLE VALLEY, MINNESOTA

[illegible]

CERTIFICATION
I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

JARED T. WARD
 LICENSE NUMBER: 48577
 DATE: 06/15/2018

PROJECT NO. 1619-0024

OWN BY: RAG	CHG'D BY: JTW	APPRO BY: JTW
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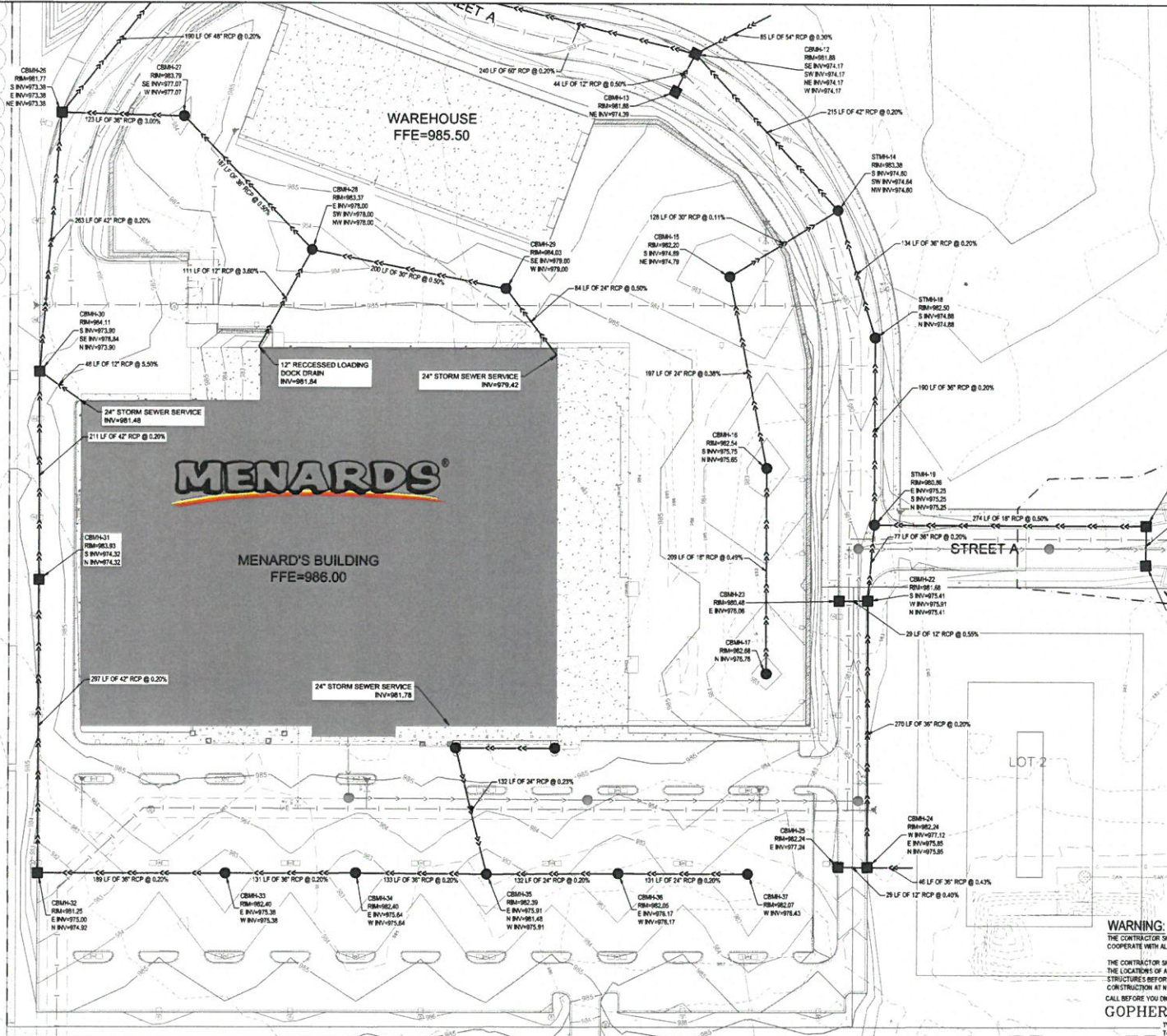
ISSUE DATE: 06/15/2018
ISSUE NO.: 1

SHEET TITLE:

STORM SEWER PLAN

SHEET NO. _____

C-501



WARNING

THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL EXISTING UTILITIES. THEY SHALL COOPERATE WITH ALL UTILITY COMPANIES IN MAINTAINING THEIR SERVICE AND/OR LEAD-OUT LINES.

THE CONTRACTOR SHALL CONTACT GOMPER STATE ONE CALL AT 651-454-0002 AT LEAST 48 HOURS IN ADVANCE FOR THE LOCATIONS OF ALL UNDERGROUND WIRES, CABLES, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. THE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE WHEN DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.

CALL BEFORE YOU DIG

GOPHER STATE ONE CALL

TWIN CITY AREA: 651-454-0100
TOLL FREE: 1-800-252-1156



SUB CONSULTANT:

CLIENT
MENARD, INC.

**MENARD'S AT
HANSON CONCRETE**
APPLE VALLEY, MINNESOTA

[illegible]

STATE OF MINNESOTA
COUNTY OF _____
I, _____, a duly
licensed Professional Engineer under the laws of the State of
Minnesota, hereby certify that this plan,
specification, or report was
prepared by me or under my direct
supervision and that I am a duly
licensed Professional Engineer
under the laws of the State of
Minnesota.

RED T. WARD
CENSE NUMBER 49577
TE 06/15/2018

OBJECT NO. 1619-0024

WRN BY: RAG	CHKD BY: JTW	APPRO BY: JTW
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DATE 06/15/2018

FILE NO.:	1
PROJECT NO.:	

STORM SEWER PLAN

SOUTH

HEET NO.:
C-502

