



Meeting Location: Municipal Center
7100 147th Street West
Apple Valley, Minnesota 55124

March 5, 2025

**PLANNING COMMISSION TENTATIVE AGENDA
ANNUAL BUSINESS MEETING
7:00 PM**

1. Call to Order
2. Approve Agenda
3. Approve Consent Agenda Items

Consent Agenda Items are considered routine and will be enacted with a single motion, without discussion, unless a commissioner or citizen requests to have any item separately considered. It will then be moved to the land use/action items for consideration.

A. Approve Minutes of February 5, 2025 Regular Meeting

4. Annual Business Meeting

A. Nominate and Approve Officers

B. Approve 2024 Planning Commission Annual Report

5. Public Hearings

A. Bethel Assemblies of God Church Wireless Communication Tower CUP
Consider request for a conditional use permit (CUP) for a wireless communications tower on the Bethel Assemblies of God Church property.
LOCATION: 14201 Cedar Avenue
PETITIONER: Buell Consulting, on behalf of Cellco Partnership (d/b/a Verizon Wireless)

6. Land Use / Action Items

7. Other Business

A. Apple Valley Bike and Pedestrian Plan Update - 2025

B. Review of Upcoming Schedule and Other Updates

Planning Commission - Wednesday, March 19, 2025 - 7:00 p.m.

Planning Commission - Wednesday, April 2, 2025 - 7:00 p.m.

City Council - Thursday, March 13, 2025 - 7:00 p.m.

City Council - Thursday, March 27, 2025 - 7:00 p.m.

8. Adjourn

*Regular meetings are broadcast, live, on Charter Communications Cable Channel
180 and on the City's website at www.applevalleymn.gov*



ITEM:

3.A.

PLANNING COMMISSION MEETING DATE:

March 5, 2025

SECTION:

Consent Agenda

Description:	
Approve Minutes of February 5, 2025 Regular Meeting	
Staff Contact:	Department / Division:
Breanna Vincent, Department Assistant	Community Development Department

ACTION REQUESTED:

Approve minutes of the regular meeting of February 5, 2025.

SUMMARY:

The minutes of the regular Planning Commission meeting is attached for your review and approval.

BACKGROUND:

State statute requires the creation and preservation of meeting minutes which document the official actions and proceedings of public governing bodies.

BUDGET IMPACT:

N/A

ATTACHMENTS:

Minutes

CITY OF APPLE VALLEY
PLANNING COMMISSION MINUTES

February 5, 2025

1. CALL TO ORDER

The City of Apple Valley Planning Commission Meeting was called to order by Chair Kurtz at 7:00 p.m.

Members Present: Jodi Kurtz, Paul Scanlan, Phil Mahowald, Becky Sandahl, Jeff Prewitt, and Douglas Hlas

Member(s) Absent: Dave Schindler

City staff members attending: Community Development Director Tim Benetti, City Planner Alex Sharpe, City Engineer Evan Acosta, City Attorney Sharon Hills, and Department Assistant Breanna Vincent.

2. APPROVAL OF AGENDA

Chair Kurtz asked if there were any changes to the agenda.

CD Director Benetti stated that item 5. A. Rockport, LLC Mixed Business Campus Comprehensive Plan Amendment was being pulled from tonight's agenda per the applicant's request. This item will be discussed at a future meeting.

Chair Kurtz noted that an item regarding an Urban Air On-Sale Liquor Text Amendment that was previously scheduled for a public hearing this evening had been cancelled.

MOTION: Commissioner Schindler moved, seconded by Commissioner Scanlan, approving the agenda. Roll call vote: Ayes - 6 – Nays – 0.

3. CONSENT ITEMS

A. Approval of Minutes of January 15, 2025

MOTION: Commissioner Scanlan moved, seconded by Commissioner Hlas, approving the minutes of January 15, 2025. call vote: Ayes - 6 – Nays – 0.

4. PUBLIC HEARING

A. MUBC – Mixed Use Business Campus Zoning District Ordinance

Chair Kurtz opened the public hearing.

CD Director Benetti provided a brief presentation.

Commissioner Scanlan clarified that this action would not be specifically for the Rockport site.

CD Director Benetti stated that is correct. The district being created with this action is still consistent with the current guiding for the area.

Commissioner Mahowald asked if essentially the action is to create a new land use designation which would come into effect if land became available that could be designated as Mixed Use Business Campus. In the context of the next agenda item in the gravel pit, the land could be opened up for the potential development of all the uses identified in the statute.

CD Director Benetti stated that the current guiding for the gravel pit area is MBC (Mixed Business Campus) and that is the underlying land use established. Currently, the property is SG (Sand and Gravel), and the intent is to turn that into a new Mixed Use Business Campus if it is applied for a rezoning.

City Attorney Hills clarified that this item is not to rezone the Sand and Gravel area. It is merely creating a new zoning designation which is consistent with the Comprehensive Plan.

The applicant's attorney, Matt Duffy (Monroe Moxness Berg), stated that Rockport, LLC's property is the only large enough property that would be affected. He also stated that Rockport, LLC, is not in favor of the MUBC ordinance as it is drafted currently and that is the reason for its amendment to the Comprehensive Guide Plan. The blob plan included in the Comprehensive Guide Plan was made in 2017 and since then there have been many changes to the real estate market especially post-Covid. Rockport, LLC, is not in favor of the draft ordinance without the amendments requested.

Two members of the public stood to speak but were advised by the Chair that their comments and concerns pertained to the next item on the agenda and that they should wait until that discussion.

Commissioner Scanlan asked if the Commission should hold off on taking action on this item until the Rockport, LLC Mixed Business Campus Comprehensive Plan Amendment item is brought back.

City Attorney Hills stated that the two applications are independent of each other.

With no further comments, *Chair Kurtz* closed the public hearing.

It is the policy of the Planning Commission not to act on an item the same night as its public hearing, however, Commissioners can make a motion if they choose.

MOTION: Commissioner Scanlan moved, seconded by Commissioner Hlas, to recommend approval of the proposed Ordinance Amending Chapter 155 by Adding New Section 155.310 entitled MIXED USE BUSINESS CAMPUS DISTRICT (MUBC) and adding Definitions in Section 155.003. Roll call vote: Ayes – 6 – Nays –0.

B. Apple Valley Technology Park

Chair Kurtz opened the public hearing.

City Planner Sharpe provided a presentation.

Assistant City Engineer Acosta gave a presentation regarding water usage.

Comments and concerns will be made from Commissioners and the public to be answered at the next meeting.

Chair Kurtz commented that this area was intended to create employment opportunities and a stronger economy and wondered why medical clinics are not coming instead. Her largest concern was regarding water usage and filtration and how that may impact our future water supply. Some concerns over power outages were also expressed.

Commissioner Hlas commented that Rosemount and Farmington are also in the process of having new data centers built and wondered if the City is coordinating with them especially if drawing from the same aquifers. Will there be issues in the future with several facilities operating off the same water supplies? How much can be maintained?

Commissioner Scanlan asked if the west property line will have a sidewalk with trail connections? *Commissioner Scanlan* also shared that the right turn from 152nd St. W. seems too sharp and may need some revisions for truck traffic. He asked how accessibility for emergency services will occur with the site being gated and the turning radiuses within the site. *Commissioner Scanlan* asked for more information regarding the start date and estimated completion date for the project. He asked for clarification on where the trash enclosures, any loading docks, and if overnight truck parking would be occurring. *Commissioner Scanlan* also asked for information about the hours of operation for the facility. His main concerns were regarding water usage, power usage, and diesel usage with the generators.

Commissioner Mahowald asked if the generators are intended for back-up purposes.

City Planner Sharpe stated that these would be back-up in the event of power outages. He deferred to the applicant for further clarification.

Commissioner Mahowald asked how many people are employed at other businesses located nearby and what types of jobs are created and how does this proposed development compare. He asked for a tax analysis for this property to get clarification on the benefits. *Commissioner Mahowald* asked for more information regarding energy usage and the possible substation being added by Great River Energy. *Commissioner Mahowald* asked if the berms currently located along the site will have any landscaping added.

Commissioner Prewitt echoed concerns regarding water usage and waste. He also asked for information regarding the longevity of data storage centers as well as their equipment.

The applicant, Drew Johnson (Oppidan), provided a presentation and addressed some of the concerns regarding water, sound, and employment.

Jon Beyer (Dakota Electric) gave some background on the electrical and energy usage for the proposed site.

Chair Kurtz asked if there were any comments or questions from the public.

Resident Len Bierlein (12450 Drayton Trl.), shared concerns regarding the water usage with the other data centers that are being proposed in neighboring cities. Mr. Bierlein asked if this would be a closed-circuit facility. He also expressed concerns over the long-term implications of allowing the site. Mr. Bierlein stated that it seems that there are no state government entities overseeing water usage and that it is necessary.

Resident Cindi Dayus (169 Strese Ln.), stated that she did not believe the project meets what the City intended in terms of job creation. The project seems to be a big compromise should this approval move forward. Ms. Dayus wondered how much ambient waste heat is generated from this operation and had concerns over heat island effect. Ms. Dayus raised concerns regarding the site being in the drinking water supply management area and the soil is categorized as high vulnerability and extra caution should be taken. Will residents be asked to conserve water in the event of a drought? Can the power grid sustain the multiple data centers anticipated in the surrounding areas? Ms. Dayus stated that it is possible for data centers to operate at lower energy consumption as seen with DeepSeek.

Resident Dave McKenzie (6403 131st St. Ct.) expressed concerns over the lower job creation with this proposal. He stated that commercial/retail businesses should be kept along County Road 42. Mr. McKenzie shared that the size of this proposal is comparable to five Menards buildings. Mr. McKenzie asked for clarification on the gravel areas with generators in between the buildings and how they are screened. With only two small entrances, how will

the site be evacuated? How many trucks will be arriving each day? Mr. McKenzie asked what the purpose of a “crash-rated fence” is. Will this be a 24/7 facility? He opined that City staff may need to extend the application timeline as the plans appear to only be about 50% done.

Resident Rachel Merchant (13015 Emmer Pl.) shared concerns for the fire department to have proper training and knowledge for mitigation at this type of facility. She also wondered if there would be issues with getting other businesses to move into the surrounding area due to the noise generated at the site as well as the aesthetic of the buildings. Ms. Merchant stated that rainwater runoff should be taken into consideration as well as the possibility of using the stormwater pond for irrigation as opposed to potable water. Ms. Merchant stated that she was dissatisfied with the site design.

Resident Brad Blackett (457 Reflection Rd.) expressed concerns over fire suppression and what types of chemicals may be needed in the event of an electrical fire and where the chemical run-off may go to. Mr. Blackett wondered how the water used is cooled down as this is a closed-circuit system. Mr. Blackett asked for clarification on how the sound was measured and how far the sound will travel over the berms, as the building is yet to be constructed. He asked for more information on how stormwater will be treated and if the pond will be large enough to accommodate. Mr. Blackett also asked that staff work with the applicant and the Vermillion Watershed District and the Soil & Water Conservation Districts to ensure adequate ponding and landscaping.

Former Apple Valley resident Mo Feshami (2528 220th St. W. Farmington) shared concerns regarding water usage and stated that the new Meta facility in Rosemount is able to use a lower amount of water for their cooling system and could be beneficial for the applicant to look into. He stated that he has spoken with a representative with the DNR who has concerns over the number of data center facilities in Dakota County. Depending on the standard operating process of the center, there could be a lot of diesel fuel stored on site. The cumulative noise could be significant. Mr. Feshami stated that he did not believe the power grid could sustain all of the proposed data centers. He expressed concerns that the proposed building height of 70 feet could cause security lighting to impact nearby neighborhoods.

Resident Eduardo Torrens-Bonano (15603 Fairfield Dr.) asked why the applicant is interested in that specific location and that there would not be a benefit to the residents. He stated that he is not in opposition of the project but believes there are better locations.

Farmington resident Cathy Johnson (22280 Berring Ave. Farmington) is the President of the Coalition for Responsible Data Center Development and stated that the group has spoken with many cities and states that have dealt with data centers and urged City staff and residents to do their research about the problems that can occur in these communities. Ms. Johnson said that there is very little regulation regarding data centers in Minnesota. She

shared that her group has made a documentary regarding data centers and provided contact information, if the Commission would like more information on it.

Resident Martin Mitrenga (4760 138th St. W.) asked for City staff to consider the low frequencies and any electromagnetic frequencies that could interfere with aircraft traffic.

Resident Julie Murray (4684 138th St. W.) implored that the Commission and City staff do more research on other communities and their experience with data centers.

Resident Will Griesbach (6411 157th St. W.) asked for clarity on the amount of water usage expected as the numbers did not appear to line up (peak time vs. annual usage).

Chair Kurtz kept the public hearing open so that further comments from the public could be obtained if needed.

5. LAND USE

A. Rockport, LLC Mixed Business Campus Comprehensive Plan Amendment

This item was pulled from the agenda and will be discussed at a later date.

6. OTHER BUSINESS

A. Review of Upcoming Schedule and Other Updates

The next Planning Commission meeting is scheduled for Wednesday, February 19, 2025, 7:00 p.m. The next City Council meeting is Thursday, February 13, 2025, 7:00 p.m.

CD Director Benetti shared that City Planner Alex Sharpe has accepted a new position at the City of Wayzata as their Community Development Director and will be resigning effective February 14, 2025.

7. ADJOURNMENT

Chair Kurtz asked for a motion to adjourn.

MOTION: Commissioner Scanlan moved, seconded by Commissioner Mahowald, to adjourn the meeting at 10:36 p.m. Roll call vote: Ayes – 6 – Nays – 0.

Respectfully submitted,

A handwritten signature in cursive script that reads "Breanna Vincent".

Breanna Vincent, Planning Department Assistant

Approved by the Apple Valley Planning Commission
on 03/05/2025.

Jodi Kurtz, Chair



ITEM:

4.A.

PLANNING COMMISSION MEETING DATE:

March 5, 2025

SECTION:

Annual Business

Description:

Nominate and Approve Officers

Staff Contact:

Breanna Vincent, Department Assistant

Department / Division:

Community Development Department

ACTION REQUESTED:

Nominate and elect the following officer positions:

1. Chair
2. Vice-Chair
3. Secretary

SUMMARY:

In accordance with City Code, the Planning Commission provides for an annual business meeting to be held. At the City Council meeting of February 13, 2025, existing members Prewitt and Scanlan were reappointed for a 3-year term. All other commissioners are serving within their 3-year terms.

The purpose of the annual business meeting is to elect officers for the year and approve the annual report from the previous year.

BACKGROUND:

N/A

BUDGET IMPACT:

N/A



ITEM:

4.B.

PLANNING COMMISSION MEETING DATE:

March 5, 2025

SECTION:

Annual Business

Description:

Approve 2024 Planning Commission Annual Report

Staff Contact:

Tim Benetti, Community Development Director

Department / Division:

Community Development Department

ACTION REQUESTED:

Approve 2024 Planning Commission Annual Report.

SUMMARY:

The Community Development Department is responsible for the work of the Planning Commission. City ordinance requires that a report of Commission be provided annually representing the work during the preceding year, 2024.

BACKGROUND:

N/A

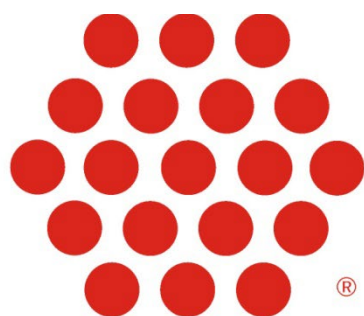
BUDGET IMPACT:

N/A

ATTACHMENTS:

Report

APPLE VALLEY PLANNING COMMISSION



Apple Valley

2024 ANNUAL REPORT

**Presented
MARCH 5, 2025**

PLANNING COMMISSION

Members of the Apple Valley Planning Commission include:

- Jodi Kurtz, Chair
- Paul Scanlan, Vice-Chair
- David Schindler, Secretary
- Philip Mahowald
- Becky Sandahl
- Jeff Prewitt
- Doug Hlas

The role of the Planning Commission is to make recommendations to the City Council on a variety of land use requests and issues. In 2024, there were **40** land use development and/or miscellaneous applications officially processed. Land use development applications may consist of multiple actions that must be reviewed and analyzed by staff, then presented to the Planning Commission for recommendations followed by the City Council for their consideration and action. Staff prepared agendas, agenda packets, and minutes for **16** regularly scheduled Planning Commission meetings; and **8** public hearings were held in 2024.

The following is a breakout of various land use requests considered by the Planning Commission and/or City Council in 2024:

Comprehensive Plan Amendments	2
Zoning Ordinance Amendments/Rezoning	7
Conditional Use Permits	2
Subdivision/Preliminary Plats/Final Plats	8
Site Plan Reviews/Building Permit Authorizations	8
Vacations	4
Variances	4
Environmental Reviews(AUAR Update)	1
Interim Use Permits	1
Miscellaneous	2
Sketch Plans	1
Total	40

In some instances, the complexity of some land use requests may include comprehensive plan revisions, re-zonings, zoning amendments, variances and site plan/building permit authorizations on property located in established neighborhoods and may require a different level of analysis during the entitlement process. Changes in these fully developed areas of the City often require multiple meetings for the complete review following considerable time.

OVERVIEW

Key 1 - Service

The Planning Commission reviewed and recommended several development projects to the City Council. As a result, multiple projects were approved and finalized in the Orchard Place commercial area, along with developments at various in-fill sites across the City's industrial, commercial, and retail sectors, including the Downtown District.

In the commercial and industrial sectors, the City approved four new buildings and issued 10 major construction permits, contributing nearly \$12 million in valuation to the community.

On the residential side, the City approved:

- 20 new single-family (detached) homes, adding approximately \$7.2 million in new valuation.
- 20 new townhomes/attached dwelling units, contributing approximately \$5.4 million in new valuation.
- Over 1,809 permits for residential additions and alterations, representing more than \$34 million in reinvestment.

For institutional developments, the City approved the new Apple Valley Police Operations facility, located adjacent to the Central Maintenance Facility, in late 2023. Construction is set to begin in spring 2024, with completion expected by late spring 2025. Additionally:

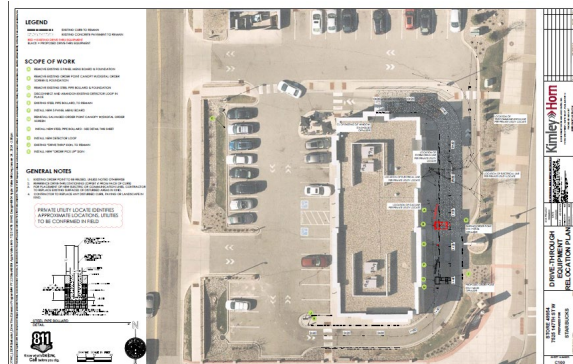
- The reconstruction of Fire Station No. 2 was completed and opened in August 2024.
- Four new and existing school projects were approved, totaling \$7.5 million in valuation.

The following projects were either reviewed or given consideration by the Planning Commission in 2024, which represents a growing trend of new and infill type developments, along with potential redevelopment opportunities:

COMMERCIAL DEVELOPMENTS

Key 3 - Business Oriented, Key 9 – Successful Downtown

- Starbucks (7525 – 147th St W.)** Approved an amended conditional use permit to relocate an existing menu order board within a previously approved drive-thru lane.



- **Les Schwab Tires Center (15690 English Ave.)** Approved a 16,000 sq. ft. retail auto accessory store with an indoor service area. Construction is expected to be completed by December 2025.



- **Chick-Fil-A (7480 153rd St W.)** Approved a variance for an overhead canopy protection system above the drive-thru lane.



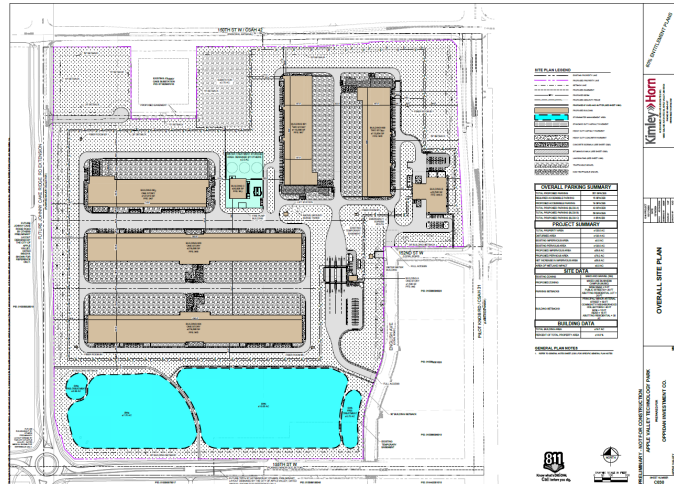
- **Homshuk & Bodega 42 (6999 152nd St W.):** Approved an Interim Use Permit for an outdoor corn roaster for a designated period in 2024.



- **McDonalds at 15460 English Avenue.** City approved a new casual fast-food restaurant with drive thru service lane next to the new Health Partners Clinic and Chafin Vet Clinic (NW corner of 155th St. W. and Pilot Knob Road. Groundbreaking expected in mid-2025 with construction throughout most of 2025, with an expected opening in late 2025/early 2026.



- **Apple Valley Technological Park – Orchard Place:** Received applications for a large-scale technology park featuring five data center buildings and support structures. Applications will be reviewed in early 2025.



INSTITUTIONAL PROJECTS

Key 1 – Service, Key 2 – A Great Place to Live , Key 12 - A Community for a Lifetime

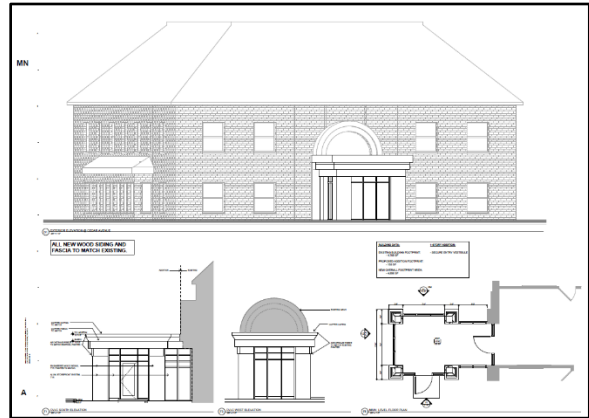
- **Apple Valley Fire Station No. 2** The City approved the phased demolition of the existing Fire Station No. 2 and re-construction of a new 30,111 sq. ft. two story station located at 13995 Galaxie Ave. The project was started in early 2023 and completed by August 2024. The City held a ribbon cutting and grand opening event on Sept. 10, 2024.



- **Apple Valley Police Operations Project at 14325 Flagstaff Avenue.** Construction of a new 25,000 sq. ft. police operations building began in early 2024, with completion expected in mid-2025



- **Cedar Valley Learning Center (ISD 196) at 14420 Glenda Dr.** Approved a variance for a secured vestibule entrance. Expected completion: Summer 2025.



- **Dakota Ridge School – ISD 196:** Approved a final plat and easement vacation for expansion and parking improvements.



- **Apple Valley High School Activity Center:** Approved an 86,621 sq. ft. addition, with construction beginning in June 2025.



- **Eastview High School Activity Center.** Approved an 84,700 sq. ft. addition, with construction starting in June 2025.



- **Redwood Park Project.** Approved a 5,572 sq. ft. activity center with a pool. Expected reopening: June 2026.



- **Kelley Park Project.** Planning Commission recommended approval of the rezoning of the existing Kelley Park from “PD-739” Planned Development No. 739 to “P” (Institutional); along with preliminary/final plat, which included approval of the vacation of a former street ROW and drainage and utility easements. The new Site Plan for Kelley Park will be presented to the Planning Commission and City Council in spring 2025.



INDUSTRIAL DEVELOPMENTS

Key 3 - Business Oriented

There were no new industrial development or projects approved in 2024.

RESIDENTIAL DEVELOPMENTS

Key 2 – A Great Place to Live; Key 12 – A Community for a Lifetime

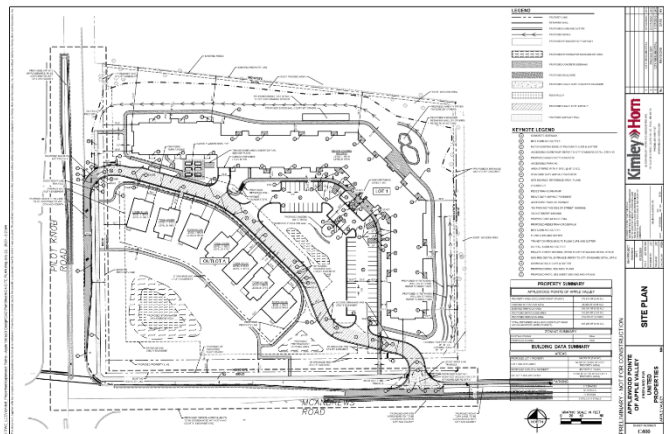
- **Orchard Place Apartments (NW corner of 157th St. W. and English Avenue).** PC considered a Sketch Plan of a proposed 4-story, 128-unit market rate apartment development in Orchard Place; which was later followed up with a separate application for comprehensive plan amendment (land use designation) from “C” Commercial to “HD” High Density Residential.



- **Orchard Path (5400 – 157th St. W.)** Approved a 75-unit continuum of care facility. Construction is expected throughout 2025-2026



- **Applewood Pointe – Apple Valley 2nd Addition:** Approved a preliminary plat and site plan for seven new single-family residential parcels.



VARIANCES

Key 2 – A Great Place to Live

The variance process is statutory, allowing the Planning Commission to make recommendations on practical difficulties that sometimes occur in the exact enforcement of the City Code. The City reviewed the following variances in 2024.

- **Chick-Fil-A Variance**

Planning Commission reviewed a request from Chick-Fil-A for a variance to reduce the setback requirements along Cedar Avenue from 50' to 25' for the construction of a canopy over the meal/drive-through lane delivery area and gave unanimous recommendation of approval. The City Council subsequently approved said variance.

- **Cedar Valley Learning Center**

Planning Commission reviewed a request from ISD-196, acting on behalf of the Cedar Valley Learning Center for a variance to reduce the setback requirements along Cedar Avenue from 50' to 38' for the construction of a new security vestibule, and gave unanimous recommendation of approval. The City Council subsequently approved said variance.

- **Kellum Variance**

Cory Kellum, 4901 Dominica Way, originally applied for a 9' rear yard setback variance to rebuild a residence damaged in a fire in 2023. The existing home was built with a rear yard setback of 21' making it a legal non-conforming structure. Prior to official review, the Applicants withdrew the variance request due to being able to meet current Zoning Code setbacks.

- **McDonald's (at Orchard Place) Variance**

The Planning Commission reviewed a request from McDonald's to reduce the required setback for a Class II restaurant from a residential zone from 1,000 feet to 200 feet.

ZONING CODE / ORDINANCE AMENDMENTS

Key 1 – Service; Key 3 – Business Oriented

- **Cannabis Ordinance.** City approved a new community-wide ordinance that provides zoning regulations and site standards for cannabis businesses. City staff created a new Cannabis Retail Business Buffer Map which is available on the City's website.
- **Stormwater Management Requirements.** City approved minor revisions to City Code Ch. 155 & 152, in accordance with the MS4 (Municipal Separate Storm Sewer System) Permit from the Minnesota Pollution Control Agency. The amendments removed outdated stormwater runoff design criteria and moved the design criteria into **Ch. 152, Natural Resources Management**, and replaced sections referencing drainage requirements listed in the City's Surface Water Management Plan.

CEREMONIALS / MISCELLANEOUS

Key 1 – Service; Key 3 – Business Oriented

2024 proved to be another phenomenal year for welcoming new businesses in the community. In partnership with the Apple Valley Chamber of Commerce, the City participated or assisted with one new groundbreaking ceremony for the City's own Police Operations Center at 14325 Flagstaff Avenue, and over 17 new business ribbon cutting events, including Discover Strength, Wings Credit Union, Lifeway Chiropractic, Pet Supplies Plus, Chafin Vet Clinic, Pahl's Market, Advanced Body Sculpting and MedSpa, Bricks & Minifigs, Memorial Blood Center, Chase Bank, HealthPartners Clinic, Foss Swim School, Anytime Puppy Playground, Qdoba, Dave's Hot Chicken, Concierge Medicine, and Constellation Coffee.





On October 24, 2024, City and Dakota County officials conducted a ribbon cutting at the North Creek Greenway trail head, located inside Quarry Point Park. The North Creek Greenway will be a 14-mile trail system that connects Apple Valley, Eagan, Lakeville, Farmington and Empire Township. It will provide critical links to major regional destinations such as Lebanon Hills Regional Park and the Minnesota Zoo.







On December 4, 2024, the Minnesota Valley Transit Authority hosted an event at the 157th Street Transit Station to demonstrate and offer rides on their new E-Jest Vehicle, which are smaller, fully electric mini-buses, that transit services on shorter connector routes throughout the city, and stops at other transit stations, park-and-rides, fixed bus route stops, etc.



WHAT IS THE E-JEST?

The Karsan e-Jest is a fully electric minibus that produces zero external emissions.

MVTA has acquired 5 new e-Jests that are the first battery electric vehicles in the MVTA fleet and the first vehicles of their kind in the Midwest.	While braking, the vehicle regenerates up to 25% of the kinetic energy and charges the battery.	During its demo, the e-Jest demonstrated durability and reliability in the winter snow and cold.	The e-Jest was built to maneuver in narrow streets due to its compact size, making it a perfect vehicle for microtransit service.	Drivers appreciate the panoramic windshield, the built-in onboard LED lighting, and impressive turning radius. Riders enjoy the low-level boarding and smooth ride.
				
0 Emissions	19 ft	Seats 12	8-hour charge	



ECONOMIC DEVELOPMENT INITIATIVES

Key 1 – Service; Key 3 – Business Oriented

In August 2024, Planning Staff submitted an application Dakota County CDA, for possible funding options under the Redevelopment Investment Grant (RIG) Program, requesting \$25,000 to be applied towards a water utility plan study for the Times Square Mall property. It is anticipated that once the study is completed, a subsequent RIG Application requesting additional funds to help pay for costs to improve private and municipal water utility services to this commercial site and surrounding area.

In 2024, Staff was informed by the Dakota Co. CDA of potential funds from the U.S. Environmental Protection Agency that can be applied towards having a Phase I Environmental Site Assessment (ESA) performed on certain development sites in the City. Staff chose to submit two (2) separate applications on the Gaslight Site and the Central Village West Site (former 866 Site), respectively. This Phase I would be paid for by grant funds from the CDA and will be a valuable tool in determining if these sites are impacted by any harmful contaminations or environmental issues that may need mitigation.

The **Open-to-Business Program** (managed through the Dak. Co. CDA), which helps entrepreneurs, new start-up or existing businesses with business plan preparations, loan referrals, and other technical assistance, provided one-on-one business advising to 33 businesses, pizza restaurant, indoor Pickle Ball, Fish & Chips restaurant, bubble tea shop, driving school, healthcare / assisted living, salons, event planning, daycares, italian bakery, spice house / grocery, and an Ethiopian market. Ms. Natalie Mouilso , the OTB Consultant, provided over 398 Technical Assistance Hours towards Apple Valley clientele, which is approximately 30% of the total hours logged for Dakota County.

Of the 33 businesses served, 70% were BIPOC owned; 51% were women owned; and 42% were low income owned.

OTB also helped facilitate three (3) loans to business in AV or owned by AV residents:

1. \$50,000 loan to startup bubble tea business in AV
2. \$42,000 loan to an existing pizza business in AV
3. \$33,500 loan to a mobile food business with a coffee & empanada trailer.

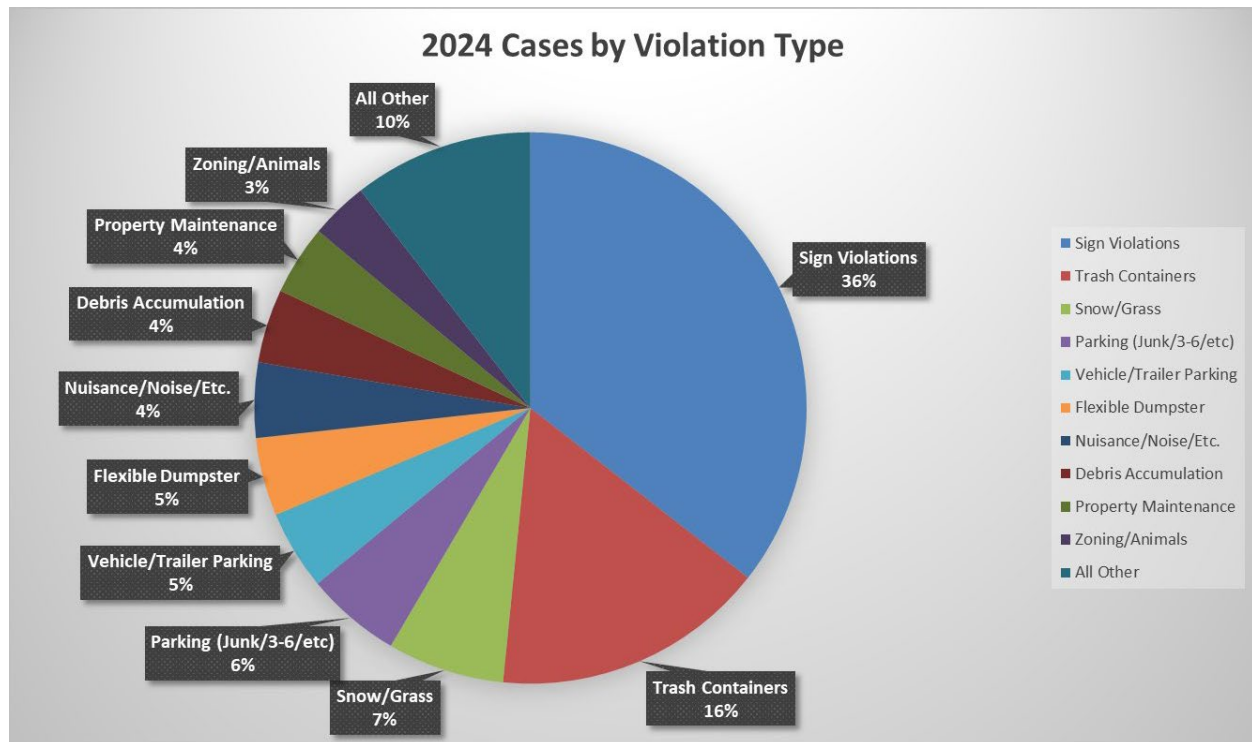
CODE COMPLIANCE ACTIVITIES

Key 1 – Service, Key 2 – A Great Place to Live , Key 12 - A Community for a Lifetime

Over the course of Year 2024, Code Compliance Staff responded to a total of **3,234** cases for the year, which is the highest number of cases recorded in the past 10 years. These rising caseloads represent a continual and gradual increase over the past several years. Staff issued two (2) citations and one (1) abatement for 2024.

For the year, a total of **5,828** inspections were completed. The number of cases per inspection continues to show a slight decrease, which may be in large part due to the increasing number of

single inspection cases (right of way signs). Even accounting for this the average number of inspections per case for all non-“right of way sign” cases is **2.32**.



The average number of inspections per cases can also be attributed to downward trend, suggesting among other things greater aptitude for compliance among the citizenry, improved process efficiency and/or communication by staff.

For year overall, the number of signs removed (from City owned ROW's or property) increased dramatically to **1,277 signs**. The number of signs has almost doubled each of the last two years. This increase can easily be attributed to the private service industry groups, such as window washing, tree service, holiday lights, etc.

COMMUNITY DEVELOPMENT STAFF NEWS

In January 2024, the Community Development Department welcomed Sydnee Stroeing as the new Associate Planner. Sydnee is a graduate from the University of Minnesota with a B.S. in Urban Studies. Outside of work, she spends most of her time with her husband Jake and son Auggie. She also enjoys being outdoors, taking her dogs on walks, and going up north to visit her family.



In September 2024, and after 30 years of dedicated service, former City Planner Kathy Bodmer retired from the City of Apple Valley. Planner/Economic Development Specialist Alex Sharpe was promoted to City Planner shortly thereafter.



Community Development Staff - 2024



[Pictured (L – R): Raquel Diaz, Code Compliance Inspector; Ben Pierson, Code Compliance Specialist; Sydnee Stroeing, Assoc. Planner; Tim Benetti, Comm. Dev. Director; Kathy Bodmer, City Planner; Mary Klein, Department Assistant; Alex Sharpe, Planner/Ec. Dev. Specialist; and Breanna Vincent, Department Assistant.

Respectfully submitted,

A handwritten signature in blue ink that reads "Tim Benetti".

Tim Benetti
Community Development Director
City of Apple Valley, MN

03/05/2025



ITEM:

PLANNING COMMISSION MEETING DATE:

SECTION:

5.A.

March 5, 2025

Public Hearings

Description:

Bethel Assemblies of God Church Wireless Communication Tower CUP

Staff Contact:

Sydnee Stroeing, Associate Planner

Department / Division:

Community Development Department

Applicant:

Buell Consulting, on behalf of Cellco Partnership

Project Number:

PC25-02-C

Applicant Date: 2/3/2025

60 Days: 4/4/2025

120 Days: 6/3/2025

ACTION REQUESTED:

Open public hearing, receive comments, close public hearing. *It is the policy of the Planning Commission to not take action on an item on the same night as its public hearing.*

SUMMARY:

Buell Consulting, on behalf of Cellco Partnership (d/b/a Verizon Wireless), request consideration of a conditional use permit (CUP) to construct an 86' tall wireless communications tower (cell tower) at 14201 Cedar Ave. The proposed location of the tower is in the south end of parcel, adjacent to 143rd St W. The tower is requested to enhance the network coverage and capacity for wireless communication in the surrounding area. The construction of the cell tower will include an equipment pad and generator. The tower and equipment will be located within a 25' x 30' area with a 6' fence around the perimeter.

The construction of a cell tower is subject to a number of performance standards per section 155.385 (*Towers and Antennas Site Design and Maintenance*) of the City Code. In order to obtain a conditional use permit, the petitioner must demonstrate that all of the performance standards of the zoning code are met. A letter of zoning compliance is attached to the staff report. The City may place reasonable conditions on a conditional use to mitigate adverse impacts associated with the use. A draft resolution with draft conditions is attached to the staff report for review.

Below is a brief list of staff recommended requirements/areas of further review. These items are elaborated on in the background section of the staff report.

- The proposed chain-link fence surrounding the equipment pad does not meet screening requirements. The fence shall consist of a solid/opaque material.
- The proposed 12' wide gravel drive is not permitted as gravel is not an acceptable driveway material per City Code. The driveway shall be paved.
- Sidewalk installation along the 143rd St W property line will be required.
- The proposed tower surface color requires further review.
- Year-round landscaping adjacent to 143rd St W will be required to screen the tower

base.

- The existing trees on the property that provide screening shall be maintained.

BACKGROUND:

A CUP for a similar tower at this property was approved in 2017. The tower was never constructed, and the approved CUP has lapsed. The original CUP approved a tower located within a large parking lot curb island near the church buildings. The petitioner is proposing a new site to construct the tower on the same property.

Zoning: The property is zoned "P" (Institutional). A wireless communications tower is a conditional use in the P zoning district, subject to a number of performance standards as required in section 155.385 (*Towers and Antennas Site Design and Maintenance*) of the City Code. The petitioner submitted a letter outlining how the cell tower complies with the requirements of the zoning code. The City may place reasonable conditions on a conditional use permit to mitigate any adverse impacts associated with the use.

Site Plan: The site plan shows the location of the 86' tall cell tower and equipment pad in a wooded area at the south end of the existing parcel, adjacent to 143rd St W. The tower and equipment will be within a 25' x 30' area and is shown to be enclosed by a 6' tall chain-link fence. The mechanical ground equipment and tower base will be required to be screened per City Code. The chain-link fence as shown on the submitted plans will not be an acceptable fence material to screen the equipment. The fence material will need to be updated and reviewed prior to issuance of a building permit.

Access to the tower and associated equipment is shown to be via a 12' wide gravel path off 143rd St W. City Code requires driveways and parking areas to be paved with either concrete or bituminous material. The driveway to the tower will be required to be paved. Additionally, the Assistant City Engineer's memo provides a condition that a sidewalk shall be installed from the existing driveway to the east of the proposed access to the west property line. The City utilizes its authority under ordinance requirements and guiding plan documents to require sidewalk gaps be completed by private development as development (and redevelopment) work occurs where current gaps exist.

The tower will be designed with an engineered "breakpoint" technology which will ensure that if the tower fails and collapses, it will fall upon itself. The setbacks for a tower are based on the breakpoint height. With the breakpoint, the minimum setback from property lines is 64.5'. The site plan shows the proposed tower 95' from the nearest property line. All setbacks to property lines are met. There is also a setback requirement to structures on neighboring properties. The minimum setback for the tower from a structure on a neighboring property is 86' (due to the engineered breakpoint). The nearest structure on a neighboring property is 153' from the proposed tower. All structure setbacks are also met.

Grading: No grading plan has been submitted at this time. Minimal grading is expected for

the installation of the tower and associated equipment. Final review and approval of a grading plan by the City Engineer will be required.

Elevations: A typical cell tower is constructed with a standard array of twelve antennas and ancillary equipment that extend 6'-8' from the tower in all directions. The antenna array proposed at this location is designed so that the antennas are flush-mounted to the pole and the ancillary equipment is placed within the ground equipment area to give a sleeker appearance. The ground equipment will be required to be screened with a solid fence and landscaping.

Clause 155.385 (B)(8) of City Code states that "*All towers and their antennas shall utilize building materials, colors, textures, screening and landscaping that effectively blend the tower facilities within the surrounding natural setting and built environment to the greatest extent possible as determined by the City.*" The submitted materials show the tower being painted a color to match the existing church building. The proposed tower location is over 300' from any existing church building on the site. Staff believes there should be further review of the proposed tower color as there may be a more suitable option that effectively blends the tower facilities in with the surrounding wooded area.

Landscape Plan: A landscape plan will be required at building permit review. Additional year-round landscaping will be required adjacent to 143rd St W to assist in screening the ground equipment pad from the roadway. The proposed tower location is heavily wooded, and the existing trees will be utilized to screen from adjacent residential properties. The property owner will be required to maintain existing trees that provide screening of the tower.

BUDGET IMPACT:

N/A

ATTACHMENTS:

Location Map
Zoning Map
Applicant Letter
Plan Set
Survey
Applicant Letter
Letter
Memo
Correspondence
Resolution



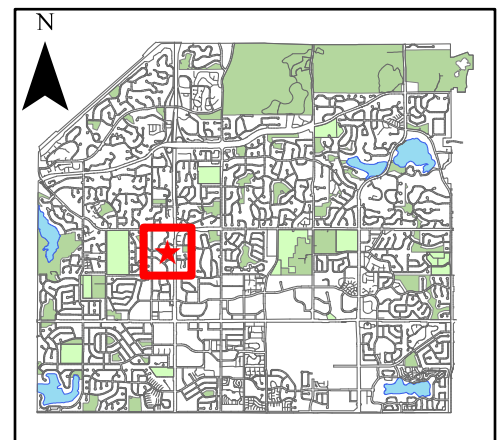
Bethel Assemblies Church Location Map

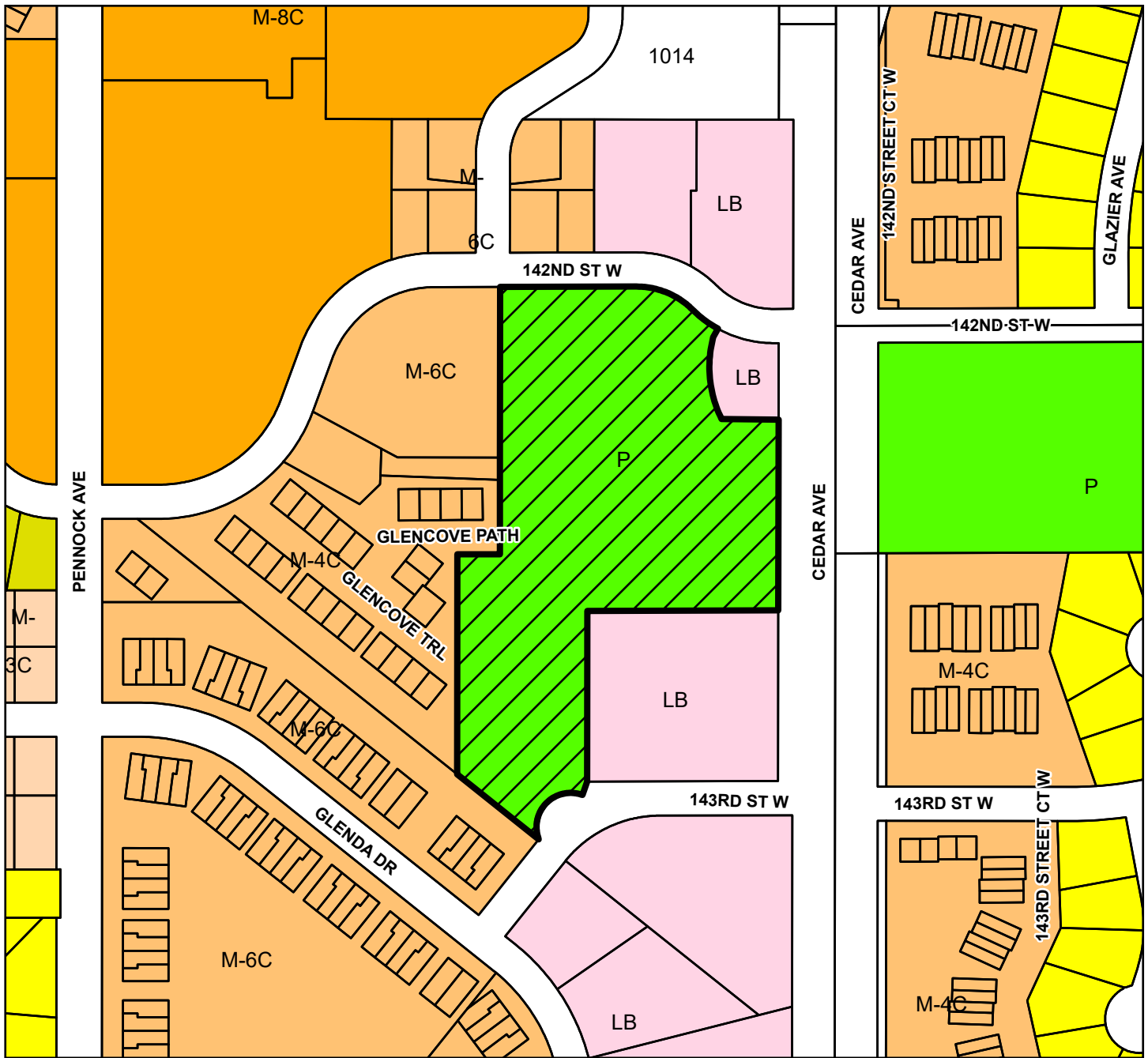
14201 Cedar Avenue

- Subject Property
- ▲ Proposed Tower Location



0 130 260 Feet






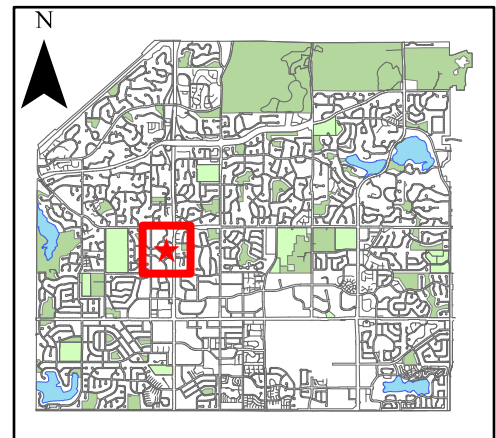
Bethel Assemblies Church Zoning Map

14201 Cedar Avenue

 Subject Property



0 130 260 Feet



BUELL CONSULTING, INC.
720 Main Street, Suite 200
Saint Paul, MN 55118
(651) 361-8110
www.buellconsulting.com

SENT VIA EMAIL

February 2, 2025

Sydnee Stroeing - Associate Planner
City of Apple Valley
7100 147th Street W
Apple Valley, MN 55124

RE: Verizon Wireless / Cell Tower Conditional Use Permit / Site Name: Toffee

Dear Ms. Stroeing,

Cellco Partnership d/b/a Verizon Wireless is proposing to construct a new cell tower in Apple Valley on the Bethel's Rock Church property. The proposed tower is an 86' monopole with an overall height of 90' including the lightning rod. The tower will be built within a 30' x 25' fenced gravel compound and accessible via a new 12' gravel driveway and approach from 143rd St W.

The purpose of constructing this new cell tower is to enhance the network coverage and capacity for Verizon Wireless customers in the area, addressing the increasing demand for reliable and high-speed wireless communication. With the steady growth of residential and commercial activities in Apple Valley, it has become imperative to offload the capacity of existing sites to ensure seamless connectivity to the Verizon Wireless network.

The design of the cell tower includes a flush mount, in an effort to integrate into the suburban residential environment. Moreover, the selected location for this tower is within a wooded area, which helps minimize the visual impact and preserves the aesthetic value of the surrounding area.

Site Address: 14201 Cedar Ave, Apple Valley, MN 55124
PID: 01.494.010.1010. See land survey for full legal description.

The following lists the supplementary documentation included in the application and addresses the relevant portions of § 155.385 *Tower and Antennas Site Design and Maintenance* of the Apple Valley zoning ordinance.

Supplementary Documentation:

- Land Use Development Application
- Deposit Agreement
- Co-location Letter of Intent
- Construction Drawings
- Land Survey
- Fall Letter



§ 155.385 – Tower and Antennas Site Design and Maintenance

A. Co-location requirements:

- 1) As shown in Attachment I, there are no existing towers within a ½-mile radius. The buildings within the radius are all between one and four stories which would not achieve the necessary height.

B. Tower Construction Requirements

- 1) The proposed tower is a flush mounted monopole designed to blend into the surrounding area. *See construction drawings pages T-1 and A-4.*
- 2) The proposed tower will comply with applicable provisions of this code.
- 3) Tower and accessory facilities are designed in accordance with 2020 MN Building code. *See construction drawings pages T-1.*
- 4) Tower and accessory facilities are designed in accordance with 2023 NFPA70 (NEC). *See construction drawings pages T-1.*
- 5) Proposed tower is built with galvanized steel intended to resistant corrosion.
- 6) Proposed tower is designed to accommodate an additional carrier at the 60' ACL. Note, the flush mount design requires radios to be placed below the antennas making 60' is the next highest available ACL. The 25' x 30' compound will also accommodate an additional carrier's ground equipment.
- 7) The compound is surrounded by a locked 6' chain link barbed-wire fence and not climbable.
- 8) In addition to the flush mounted design, the tower will be painted to match the adjacent church building. Locating it in the wooded area also conceals the ground equipment and partially shields the tower.
- 9) No advertising or signage will be placed on the tower or compound fencing other than what is required by applicable regulatory agencies.
- 10) Tower will not require any lighting.
- 11) Tower and appurtenances will not extend into the right-of-way, public street, highway, or sidewalk.
- 12) Applicant holds a minimum of \$2M in liability insurance.
- 13) Tower will be removed and restored within 12-months of cessation of operations per ordinance.
- 14) Additional submittal requirements.
 - a) ASR and FAA approval are in progress and applicant request it be a condition of permit.
 - b) See construction drawings, signed by Joshua Herzog, PE (License# 42392).
 - c) See Co-location Letter of Intent.

E. The parcel is zoned Institutional (P). As shown on page A-1 of the construction drawings, the tower meets the 1.5x fall zone setback requirement of 70'-6". The nearest structure on a neighboring property, shown on Attachment II, is approximately 153' from the tower, which is within the required 2x fall zone setback of 94'.

- 1) Fall zone:
 - a) Fall zone is 50% of tower height or 43'.
 - b) Effective fall zone including 4' lightning rod is 47'.
- 2) See fall zone letter from tower manufacture, Sabre Industries.



BUELL CONSULTING, INC.

720 Main Street, Suite 200

Saint Paul, MN 55118

(651) 361-8110

www.buellconsulting.com

Thank you in advance for your time in reviewing our application and please do not hesitate to contact me via email or the number below with any questions or requests for further information.

Sincerely,

A handwritten signature in black ink that reads "Blair Ransom".

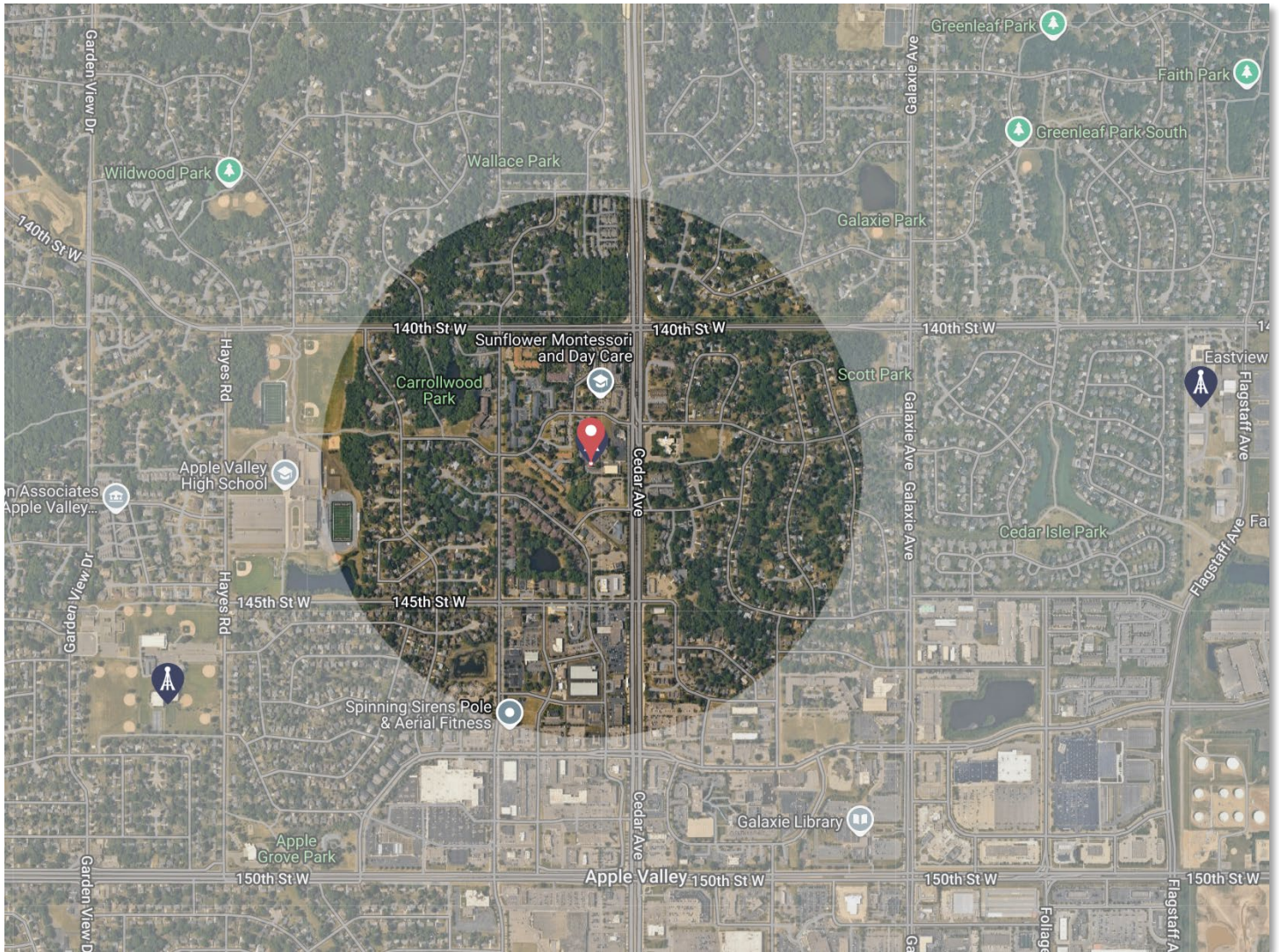
Blair Ransom

Site Development Agent *on behalf of The Towers, LLC d/b/a Vertical Bridge*

Cell: 612-875-1808

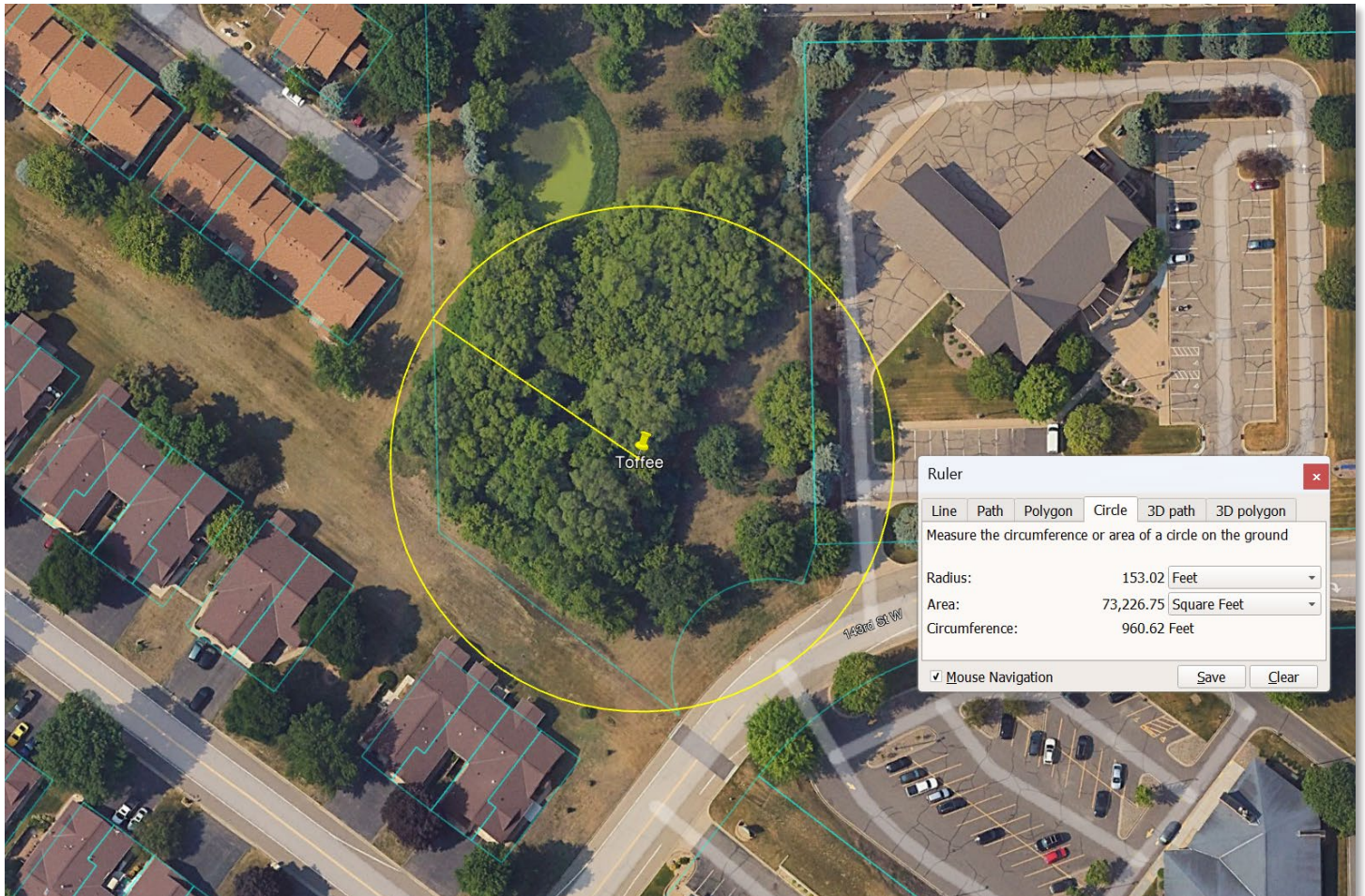
Email: b.ransom@grahamredev.com

ATTACHMENT I



1/2-mile radius

ATTACHMENT II





MIN TOFFEE NEW BUILD

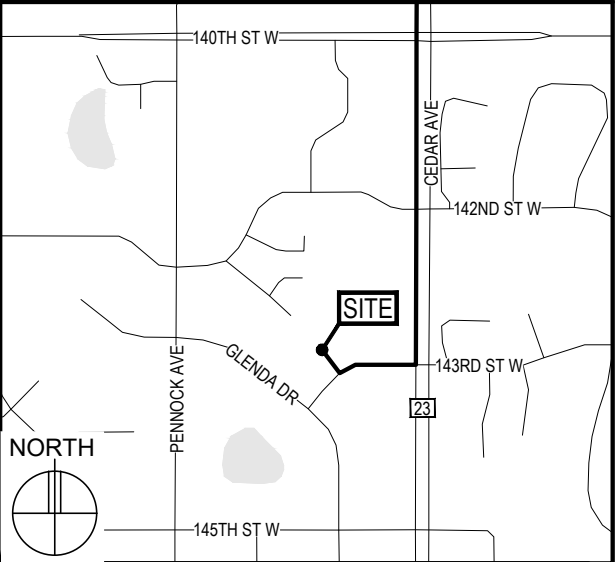
PROJECT INFORMATION

SITE NAME:	MIN TOFFEE
SITE ADDRESS:	CEDAR AVENUE APPLE VALLEY, MN 55124
COUNTY:	DAKOTA
LATITUDE:	N 44° 44' 30.69" (NAD83)
LONGITUDE:	W 93° 13' 11.22"
DRAWING BASED ON RFDS DATED:	09-27-24
CONSTRUCTION TYPE:	IIB
SITE AREA:	30' x 25' = 750 S.F.
UTILIZED CODES:	2020 MN BUILDING CODE & 2023 NFPA 70

SHEET INDEX

SHEET	SHEET DESCRIPTION
T-1	PROJECT INFORMATION, TOWER ELEVATION & SHEET INDEX
A-1	SITE PLAN & DETAIL INDEX
A-2	ENLARGED SITE PLAN
A-3	ANTENNA AND COAX KEY, CABLE BRIDGE PLAN & NOTES
A-4	MOUNT BRACKET DETAILS
A-5	OUTLINE SPECIFICATIONS
G-1	GROUNDING & UTILITY NOTES
G-2	GROUNDING PLAN & GROUNDING DETAIL INDEX
U-1	SITE UTILITY PLANS & NOTES
-	SURVEY

VICINITY MAP



MAP DATA ©2025 GOOGLE

LOCATION SCAN



ISSUE SUMMARY

REV	DESCRIPTION	SHEET/DETAIL
A	ISSUED FOR REVIEW	ALL
B	ISSUED FOR OWNER SIGNOFF	ALL
C	ISSUED FOR OWNER SIGNOFF	ALL

DEPARTMENTAL APPROVALS

JOB TITLE	NAME	DATE
RF ENGINEER	JORDAN ALSTAD	10-23-24
OPERATIONS MANAGER		
CONSTRUCTION ENGINEER	BRIAN NELSEN	10-23-24

LESSOR / LICENSOR APPROVAL

SIGNATURE	PRINTED NAME	DATE
LESSOR / LICENSOR: PLEASE CHECK THE APPROPRIATE BOX BELOW		
<input type="checkbox"/> NO CHANGES.	<input type="checkbox"/> CHANGES NEEDED. SEE COMMENTS.	

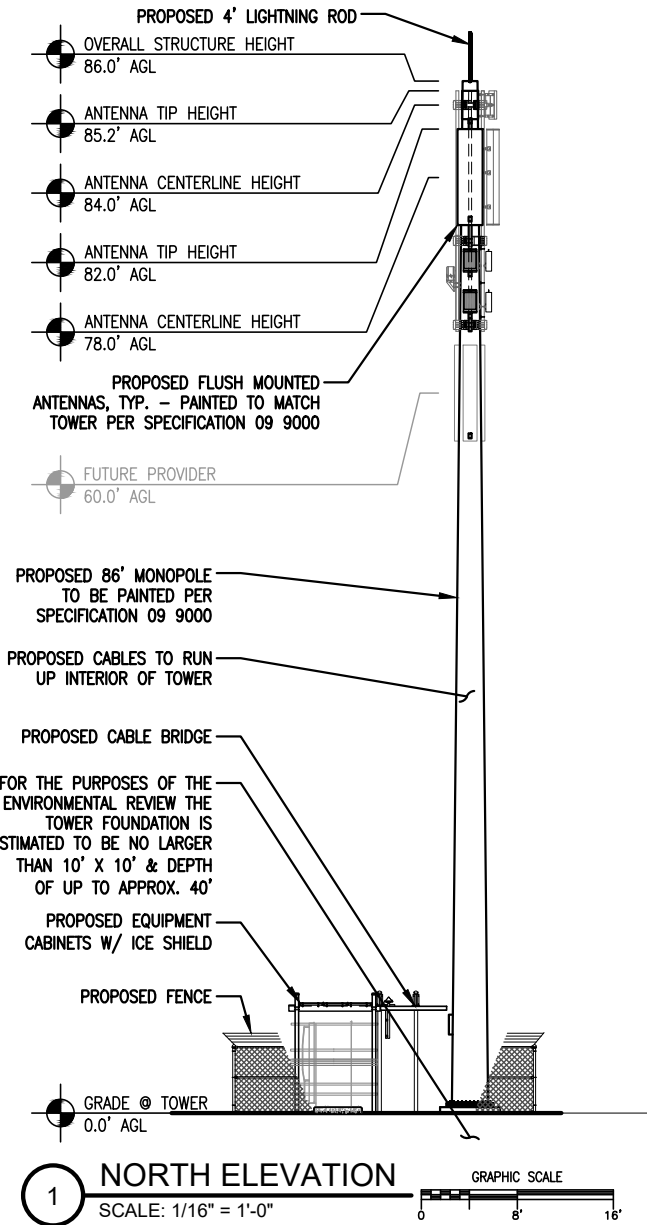
CONTACTS

LESSOR / LICENSOR:	BETHEL ASSEMBLY OF GOD 14201 CEDAR AVENUE APPLE VALLEY, MN 55124 JOE McCORMACK (952) 715-6321
LESSEE:	VERIZON WIRELESS 10801 BUSH LAKE ROAD BLOOMINGTON, MN 55438 CONSTRUCTION DEPT (952) 946-4700
POWER UTILITY COMPANY CONTACT:	DAKOTA ELECTRIC ASSOCIATION 4300 220TH STREET WEST FARMINGTON, MN 55024 COREY WILLERT (651) 463-6212
TELCO UTILITY COMPANY CONTACT:	T.B.D.
DESIGNER:	DESIGN 1 OF EDEN PRAIRIE 9973 VALLEY VIEW ROAD EDEN PRAIRIE, MN 55344 (952) 903-9299
SURVEYOR:	WIDSETH 610 FILLMORE STREET - PO BOX 1028 ALEXANDRIA, MN 56308-1028 320-762-8149
STRUCTURAL ENGINEER:	T.B.D
GEOTECHNICAL ENGINEER:	T.B.D

NOTES:
1. THESE DRAWINGS DO NOT CONSTITUTE A WARRANTY, EXPRESSED OR IMPLIED, OF THE ACCURACY OF THE STRUCTURAL ANALYSES AND THE PERFORMANCE OF THE COMPLETED CONSTRUCTION AS SHOWN ON THESE DOCUMENTS AND THE STRUCTURAL ANALYSES.
2. NO STRUCTURAL ANALYSIS FOR THE TOWER, MOUNTS OR FOUNDATION HAVE BEEN PERFORMED AS PART OF THESE DRAWINGS. THE STRUCTURAL ANALYSIS FOR THE TOWER AND FOUNDATION ARE BY THE TOWER SUPPLIER AND SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF THE PROJECT.
3. PLEASE COORDINATE ANY STRUCTURAL CONCERNS/MATTERS OR ANY LOADING MODIFICATIONS TO THE CONSULTANT WHO AUTHORED THE ANALYSIS AND NOTIFY DESIGN 1 IMMEDIATELY OF THE ISSUE.
4. TOWER FOUNDATION, EQUIPMENT SLAB, GENERATOR FOUNDATION, AND THE ACCESS DRIVE TO BE EXCAVATED AND CONSTRUCTED IN ACCORDANCE WITH RECOMMENDATIONS AND SPECIFICATIONS OF THE GEOTECHNICAL REPORT WHICH IS NOT INCLUDED IN THIS PACKAGE. DISCREPANCIES BETWEEN THE REPORT AND THE OTHER DOCUMENTS TO BE IMMEDIATELY REPORTED TO VERIZON WIRELESS AND THE DESIGNER.

TOWER ELEVATION

- NOTES:
1. TOWER TO BE ERECTED AND INSTALLED IN ACCORDANCE WITH TOWER MANUFACTURER'S DRAWINGS NOT INCLUDED WITH THIS PACKAGE. DISCREPANCIES BETWEEN TOWER DRAWINGS AND DESIGNER DRAWINGS TO BE REPORTED TO VERIZON WIRELESS AND THE DESIGNER IMMEDIATELY.
 2. CONTRACTOR TO ENSURE TIP OF ANTENNAS DO NOT EXCEED TOWER HEIGHT.
 3. ELEVATION IS SHOWN FOR GENERAL DIAGRAMMATIC PURPOSES ONLY. DO NOT SCALE.
 4. THE STRUCTURAL ANALYSIS FOR THE MOUNTS (BY OTHERS) SHALL BE PER THE VERIZON NETWORK STANDARD NSTD-445. ALL LOADING AND DESIGN SHALL BE PER THE TIA-222-H STANDARD.
 - 5.) CONSTRUCTION SHALL COMPLY WITH ALL REQUIREMENTS OF THE MINNESOTA BUILDING CODE.
 - 6.) CONSTRUCTION SHALL COMPLY WITH ALL REQUIREMENTS OF THE APPLE VALLEY CITY CODE.
 - 7.) NO SITE WORK MAY BEGIN WITHOUT CITY APPROVAL AND/OR PERMIT.
 - 8.) A (NRMP) NATURAL RESOURCES MANAGEMENT PERMIT IS REQUIRED. THE PERMIT MAY BE OBTAINED THROUGH THE BUILDING INSPECTION DEPARTMENT ONCE THE NRMP PERMIT HAS BEEN ISSUED, PLEASE CONTACT SAM BERGER FOR A SITE INSPECTION PRIOR TO COMMENCING AND GRADING OR EARTH WORK (952-953-2462)



9973 VALLEY VIEW RD.
EDEN PRAIRIE, MN 55344
(952) 903-9299
WWW.DESIGN1EP.COM



10801 BUSH LAKE ROAD
BLOOMINGTON, MN 55438
(952) 946-4700

PROJECT
17326166
LOC. CODE: 265804

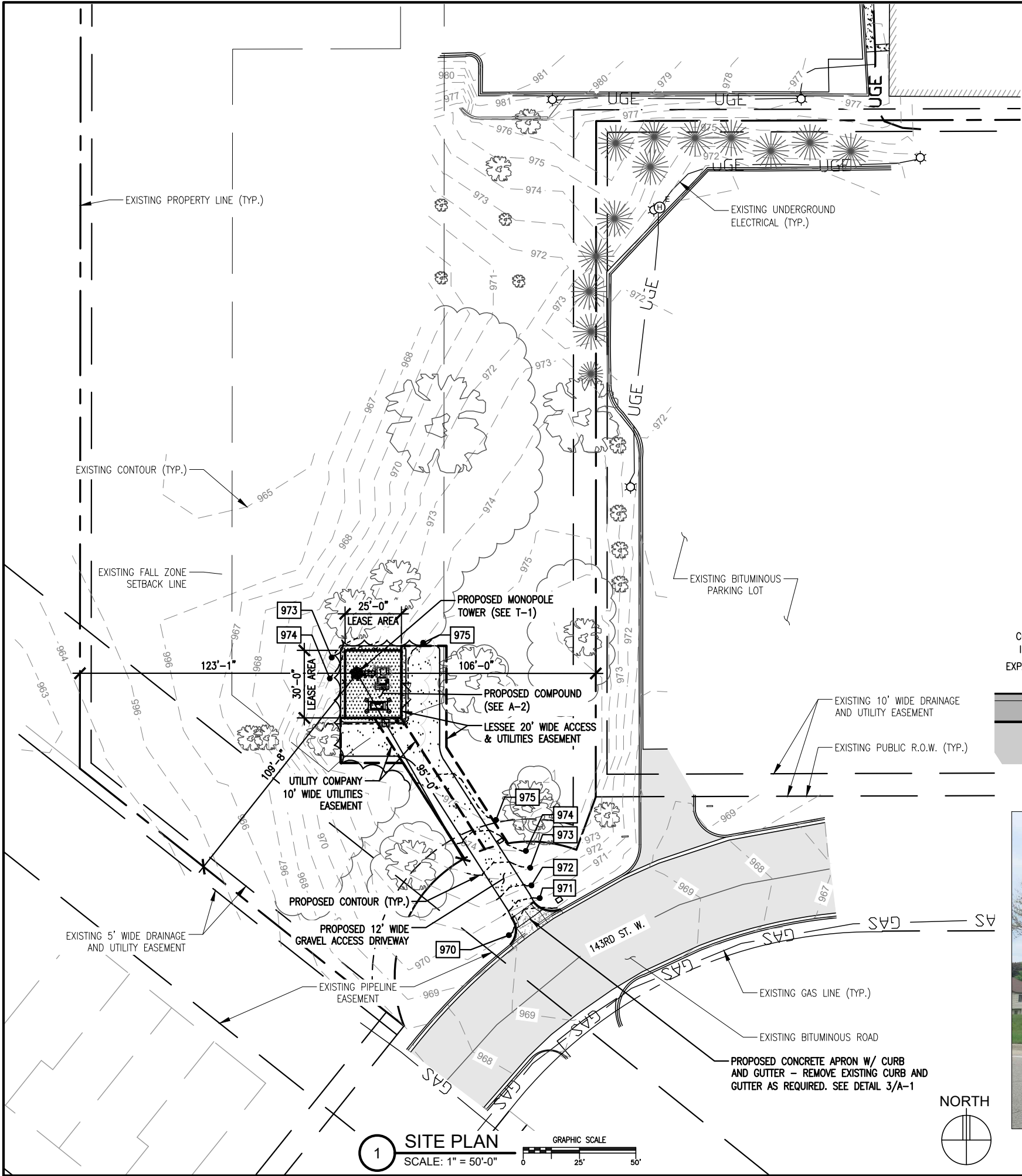
MIN
TOFFEE

CEDAR AVENUE
APPLE VALLEY, MN 55124

SHEET CONTENTS:
CONTACTS
ISSUE SUMMARY
SHEET INDEX
DEPARTMENTAL APPROVALS
LESSOR APPROVAL
PROJECT INFORMATION
AREA & VICINITY MAPS
GENERAL NOTES

DRAWN BY:	CJW
CHECKED BY:	BMS
REV. A	10-15-24
REV. B	11-12-24
REV. C	01-13-25

T-1

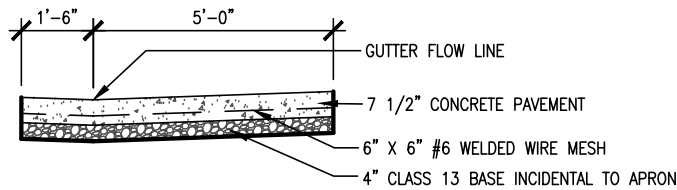


GENERATOR TYPE:
DIESEL

FROST DEPTH
DESIGN = 4'-0"

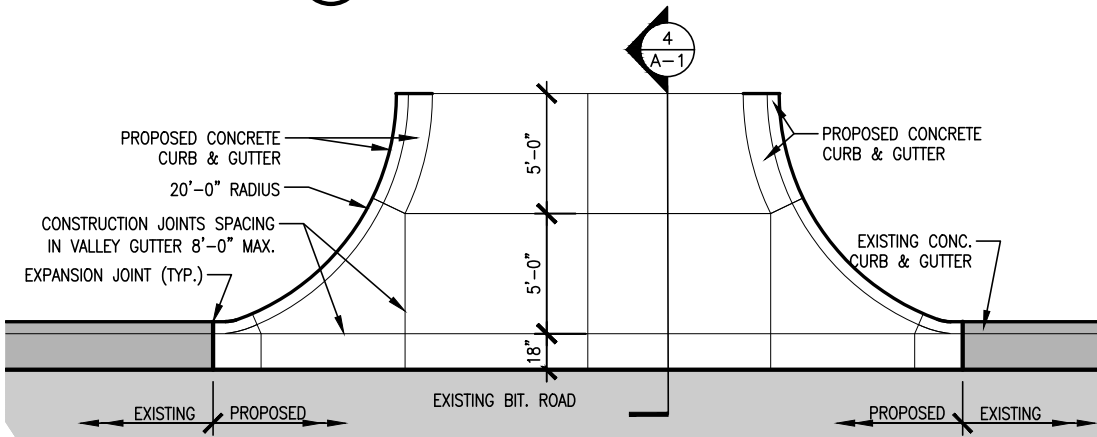
DETAIL INDEX

DETAIL	DETAIL DESCRIPTION
SLAB-AIO	SLAB WITH 2 CABINETS
GEN 1.4	30REOZK: DIESEL GENERATOR W/ ICE SHIELD
1.1	BOLLARD DETAIL
2.1	FENCE SECTION
3.1	CABLE BRIDGE SECTION
4.1	CABLE BRIDGE ELEVATION
5.1	ROAD SECTION
6.1	SNOW/MAN GATE (DETAIL 1)
7.1	GPS MOUNTING DETAIL
8.1	TELCO ENTRY DETAIL
9.1	CMPH DETAIL
10.8	ONE-LINE ELECTRICAL DIAGRAM
12.1	METER DETAIL



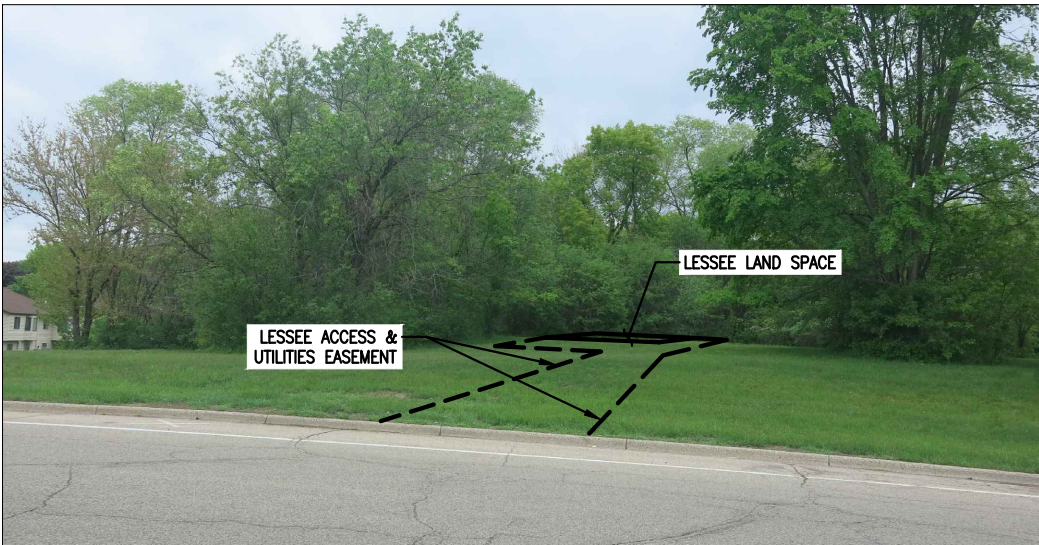
4 CONCRETE APRON DETAIL

SCALE: 1/4" = 1'-0"



3 CONCRETE APRON DETAIL

SCALE: 1/8" = 1'-0"



2 SITE PHOTO

VIEW: LOOKING NORTHWEST

DESIGN 1

9973 VALLEY VIEW RD.
EDEN PRAIRIE, MN 55344
(952) 903-9299
WWW.DESIGN1EP.COM

verizon

10801 BUSH LAKE ROAD
BLOOMINGTON, MN 55438
(952) 946-4700

PROJECT
17326166
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MIN
TOFFEE

CEDAR AVENUE
APPLE VALLEY, MN 55124

SHEET CONTENTS:
SITE PLAN
DETAIL INDEX

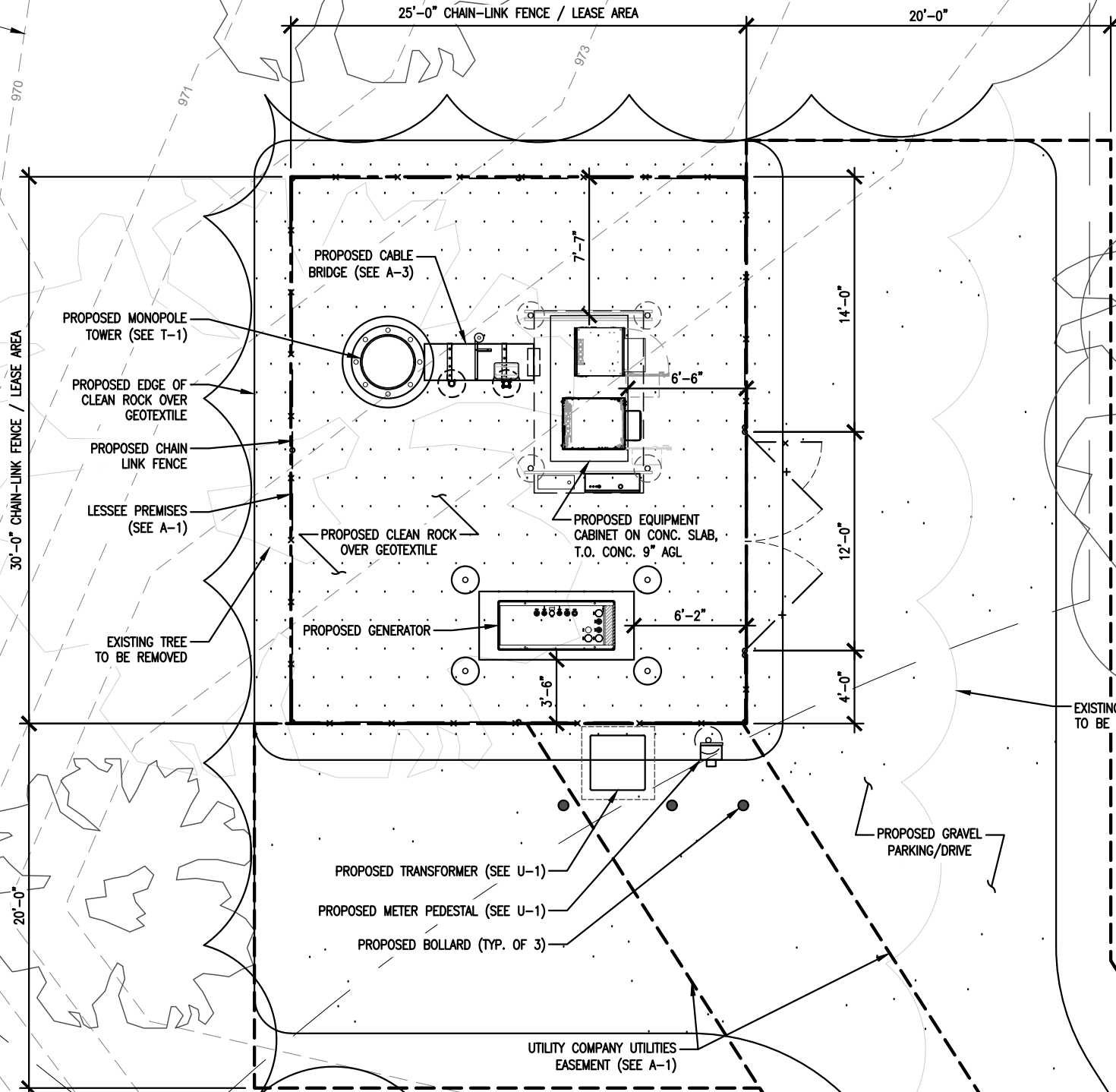
DRAWN BY: CJW
CHECKED BY: BMS
REV. A 10-15-24
REV. B 11-12-24
REV. C 01-13-25

A-1

EXISTING CONTOUR (TYP.)

EXISTING FALL ZONE
SETBACK LINE

EXISTING TREE (TYP.)



1 ENLARGED SITE PLAN
SCALE: 1/8" = 1'-0"



DESIGN 1

9973 VALLEY VIEW RD.
EDEN PRAIRIE, MN 55344
(952) 903-9299
WWW.DESIGN1EP.COM

verizon

10801 BUSH LAKE ROAD
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PROJECT
17326166
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MIN
TOFFEE

CEDAR AVENUE
APPLE VALLEY, MN 55124

SHEET CONTENTS:
ENLARGED SITE PLAN

DRAWN BY:	CJW
CHECKED BY:	BMS
REV. A	10-15-24
REV. B	11-12-24
REV. C	01-13-25

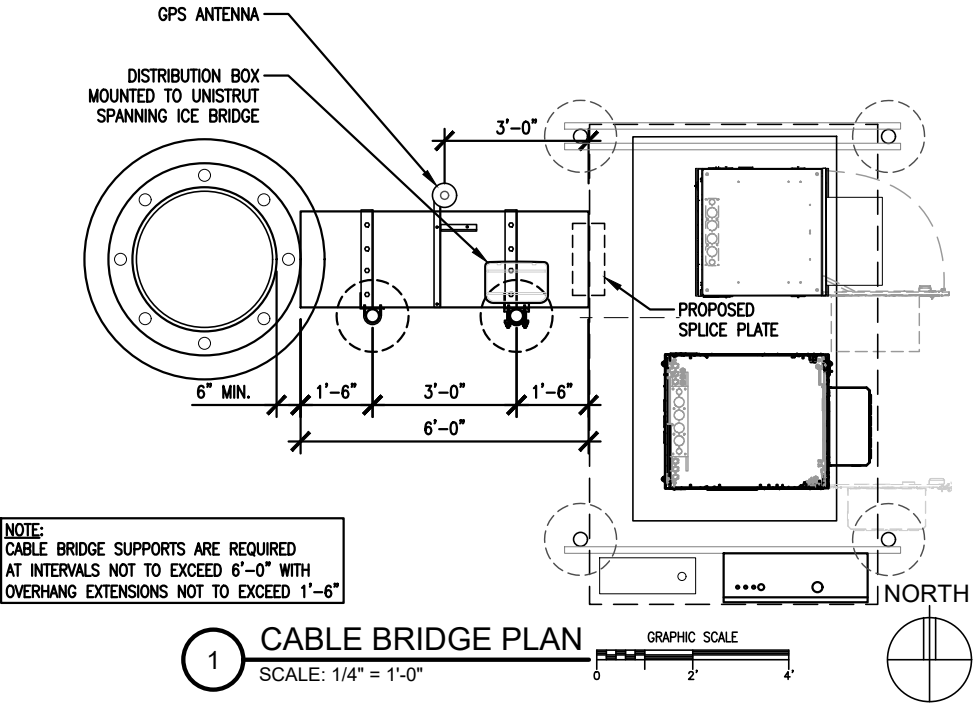
A-2

ANTENNA KEY													EQUIPMENT KEY			
	AZIMUTH	POSITION	FUNCTION	QTY	MANUFACTURER	MODEL	MOD TYPE	ANTENNA LENGTH	ANTENNA TIP	ANTENNA CENTER	ELEC DOWNTILT	MECH DOWNTILT	QTY	MANUFACTURER	MODEL	RRU PORT
"X" SECTOR	350°	1.0	TX/RX1	1	ERICSSON	AIR6419	C-BAND	28.3"	85.2'	84.0'	-1°	0°	-			
	350°	2.1	TX/RX1	1	JMA WIRELESS	MX12FHG865-01	700/850	96"	82.0'	78.0'	2°	0°	1	ERICSSON	4490	1
	-	2.2	TX/RX2	-	-	2ND PORT	700/850	-	-	-	-	-	-	-	-	2
	-	2.3	TX/RX3	-	-	3RD PORT	700/850	-	-	-	-	-	-	-	-	3
	-	2.4	TX/RX4	-	-	4TH PORT	700/850	-	-	-	-	-	-	-	-	4
	-	2.5	TX/RX1	-	-	5TH PORT	PCS	-	-	-	2°	-	1	ERICSSON	4890	1
	-	2.6	TX/RX2	-	-	6TH PORT	PCS	-	-	-	-	-	-	-	-	2
	-	2.7	TX/RX3	-	-	7TH PORT	PCS	-	-	-	-	-	-	-	-	3
	-	2.8	TX/RX4	-	-	8TH PORT	PCS	-	-	-	-	-	-	-	-	4
	-	2.9	TX/RX1	-	-	9TH PORT	AWS	-	-	-	2°	-	-	-	-	5
	-	2.10	TX/RX2	-	-	10TH PORT	AWS	-	-	-	-	-	-	-	-	6
	-	2.11	TX/RX3	-	-	11TH PORT	AWS	-	-	-	-	-	-	-	-	7
	-	2.12	TX/RX4	-	-	12TH PORT	AWS	-	-	-	-	-	-	-	-	8
"Y" SECTOR	85°	1.0	TX/RX1	1	ERICSSON	AIR6419	C-BAND	28.3"	85.2'	84.0'	-1°	0°	-			
	85°	2.1	TX/RX1	1	JMA WIRELESS	MX12FHG865-01	700/850	96"	82.0'	78.0'	2°	0°	1	ERICSSON	4490	1
	-	2.2	TX/RX2	-	-	2ND PORT	700/850	-	-	-	-	-	-	-	-	2
	-	2.3	TX/RX3	-	-	3RD PORT	700/850	-	-	-	-	-	-	-	-	3
	-	2.4	TX/RX4	-	-	4TH PORT	700/850	-	-	-	-	-	-	-	-	4
	-	2.5	TX/RX1	-	-	5TH PORT	PCS	-	-	-	2°	-	1	ERICSSON	4890	1
	-	2.6	TX/RX2	-	-	6TH PORT	PCS	-	-	-	-	-	-	-	-	2
	-	2.7	TX/RX3	-	-	7TH PORT	PCS	-	-	-	-	-	-	-	-	3
	-	2.8	TX/RX4	-	-	8TH PORT	PCS	-	-	-	-	-	-	-	-	4
	-	2.9	TX/RX1	-	-	9TH PORT	AWS	-	-	-	2°	-	-	-	-	5
	-	2.10	TX/RX2	-	-	10TH PORT	AWS	-	-	-	-	-	-	-	-	6
	-	2.11	TX/RX3	-	-	11TH PORT	AWS	-	-	-	-	-	-	-	-	7
	-	2.12	TX/RX4	-	-	12TH PORT	AWS	-	-	-	-	-	-	-	-	8
"Z" SECTOR	250°	1.0	TX/RX1	1	ERICSSON	AIR6419	C-BAND	28.3"	85.2'	84.0'	-1°	0°	-			
	250°	2.1	TX/RX1	1	JMA WIRELESS	MX12FHG865-01	700/850	96"	82.0'	78.0'	2°	0°	1	ERICSSON	4490	1
	-	2.2	TX/RX2	-	-	2ND PORT	700/850	-	-	-	-	-	-	-	-	2
	-	2.3	TX/RX3	-	-	3RD PORT	700/850	-	-	-	-	-	-	-	-	3
	-	2.4	TX/RX4	-	-	4TH PORT	700/850	-	-	-	-	-	-	-	-	4
	-	2.5	TX/RX1	-	-	5TH PORT	PCS	-	-	-	2°	-	1	ERICSSON	4890	1
	-	2.6	TX/RX2	-	-	6TH PORT	PCS	-	-	-	-	-	-	-	-	2
	-	2.7	TX/RX3	-	-	7TH PORT	PCS	-	-	-	-	-	-	-	-	3
	-	2.8	TX/RX4	-	-	8TH PORT	PCS	-	-	-	-	-	-	-	-	4
	-	2.9	TX/RX1	-	-	9TH PORT	AWS	-	-	-	2°	-	-	-	-	5
	-	2.10	TX/RX2	-	-	10TH PORT	AWS	-	-	-	-	-	-	-	-	6
	-	2.11	TX/RX3	-	-	11TH PORT	AWS	-	-	-	-	-	-	-	-	7
	-	2.12	TX/RX4	-	-	12TH PORT	AWS	-	-	-	-	-	-	-	-	8

ADDITIONAL:
(2) DISTRIBUTION BOX, MODEL RVZDC-6627-PF-48 (1 ON TOWER, 1 ON CABLE BRIDGE)
(2) HUBER+SUHNER HYBRID TRUNK CABLE MODEL #85205112 (DIST BOX ON CABLE BRIDGE TO DIST BOX ON TOWER)
(9) HUBER+SUHNER HYBRID JUMPER MPN # 85243898 (DIST. BOX TO RRU)
(24) ANDREW COAX JUMPER, MODEL LDF4-50A, 1/2"Ø FOAM DIELECTRIC, 6' EACH (RRU TO ANTENNA)
(12) ANDREW COAX JUMPER, MODEL LDF4-50A, 1/2"Ø FOAM DIELECTRIC, 9' EACH (RRU TO ANTENNA)
(1) POWERSHIFT EQUIPMENT, DC-DC UP-CONVERTER UNITS (IN CABINET)
(5) POWERSHIFT EQUIPMENT, DC-DC UP-CONVERTER MODULE (IN CABINET)

CABLE BRIDGE = 6'
RAD CENTER = 70'
EXTRA = 14'
TOTAL = 90'

2 PROPOSED KEYS



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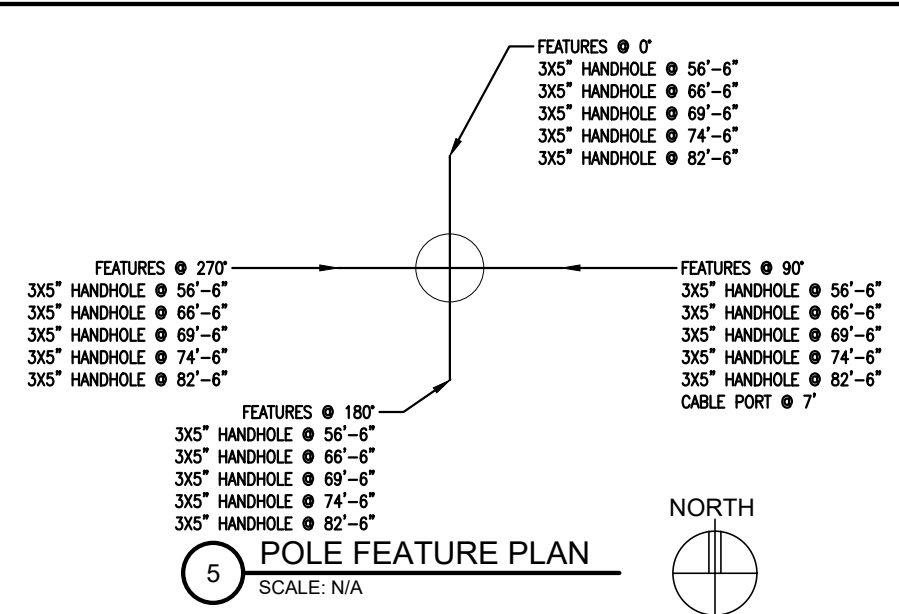
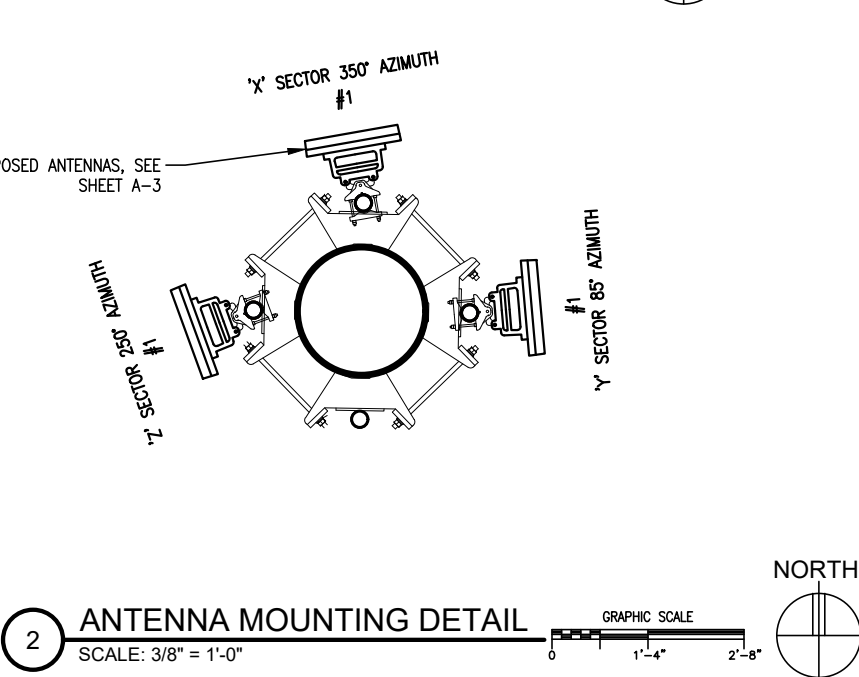
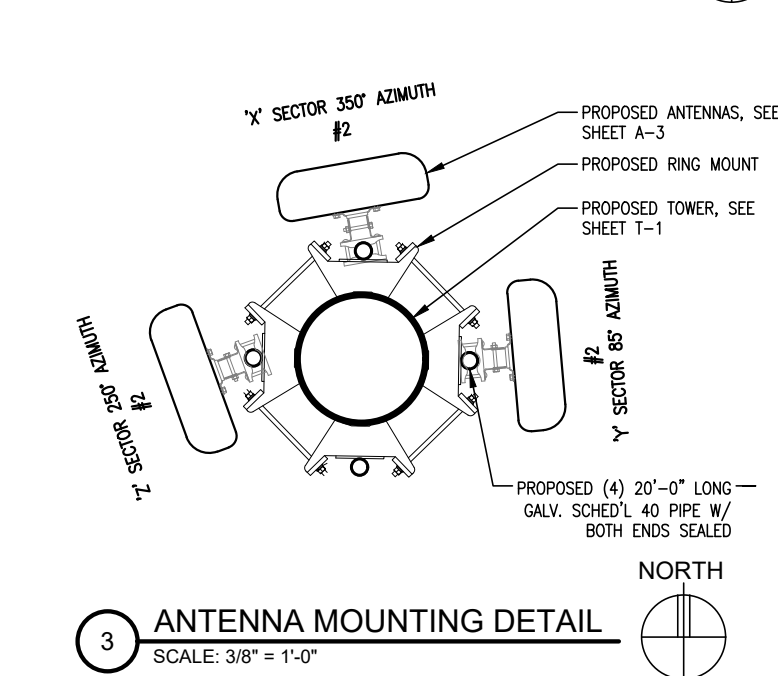
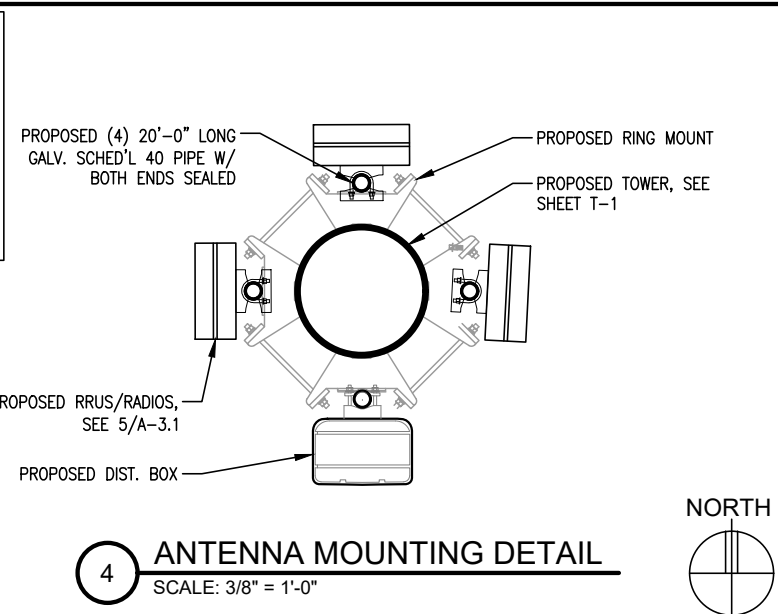
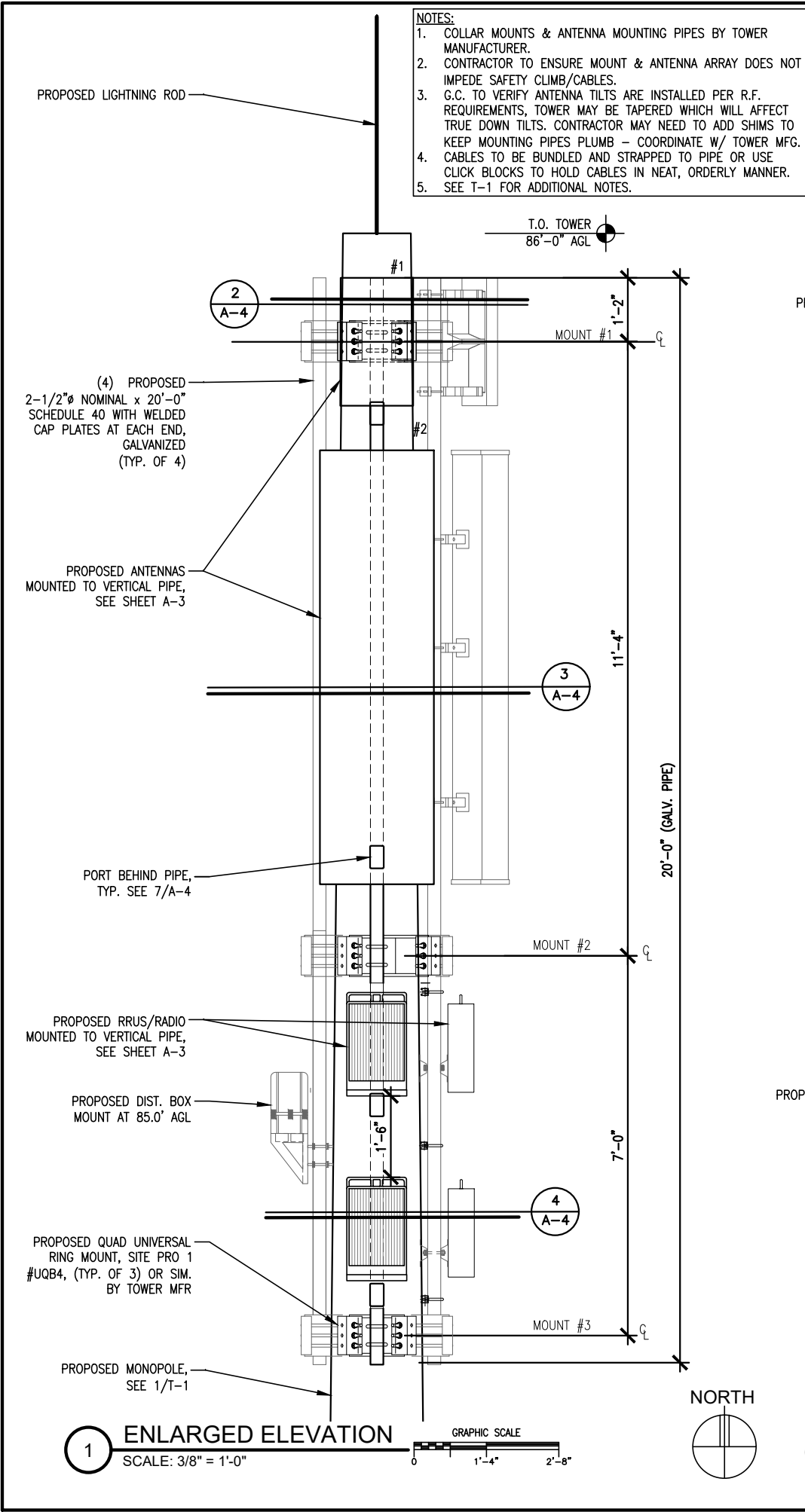
PROJECT
17326166
LOC. CODE: 265804

MIN
TOFFEE

CEDAR AVENUE
APPLE VALLEY, MN 55124

SHEET CONTENTS:
PROPOSED KEYS
CABLE BRIDGE PLAN

DRAWN BY: CJW
CHECKED BY: BMS
REV. A 10-15-24
REV. B 11-12-24
REV. C 01-13-25



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PROJECT
17326166
LOC. CODE: 265804

MIN
TOFFEE

CEDAR AVENUE
APPLE VALLEY, MN 55124

SHEET CONTENTS:
MOUNT BRACKET DETAILS

DRAWN BY:	CJW
CHECKED BY:	BMS
REV. A	10-15-24
REV. B	11-12-24
REV. C	01-13-25

A-4

GENERAL CONDITIONS

00 0001 PERMITS

Construction Permit shall be acquired by, or in the name of, Verizon Wireless, to be hereinafter referred to as the OWNER. Other permits shall be acquired by the Contractor.

00 0002 SURVEY FEES

Survey shall be furnished by the Designer. Layout Staking shall be coordinated with the Surveyor per "Request For Quote", (RFQ).

01 0010 INSURANCE & BONDS

Contractor is to furnish Insurance certificates for themselves and subcontractors. Contractor will provide any required Bonding. Contractor agrees to warranty the project for (1) one year after completion.

01 0400 SUPERVISION & COORDINATION

Contractor shall provide supervision throughout the Project, coordinating the work of the Subcontractors, and delivery & installation of Owner–furnished items. Contractor's responsibilities include arranging & conducting of Underground Utilities Locates. Contractor shall comply with municipal, county, state and/or federal codes, including OSHA.

01 0600 TESTING

Contractor is responsible for providing Agencies with sufficient notice to arrange for Test Samples (i.e.: Concrete Cylinders), and for Special Inspections.

01 2000 MEETINGS

Contractor shall make themselves aware of, and attend, meetings with the Owner and/or Designer. Contractor is to attend a Pre–Construction Meeting of all parties involved, prior to the start of construction.

01 5100 TEMPORARY UTILITIES

Contractor shall maintain the job site in a clean and orderly fashion, providing temporary sanitary facilities, waste disposal, and security (fence area or trailer module).

01 5300 EQUIPMENT RENTAL

Contractor shall furnish equipment necessary to expedite work.

01 5900 FIELD OFFICES & SHEDS

Contractor shall provide security (fence area or trailer module) for tools and materials that remain overnight on site.

01 7000 CLEAN UP & CLOSE OUT

Contractor shall clean up the Site to the satisfaction of Owner. Contractor shall complete the items listed on the Owner's Punch List, and shall sign and return the List to the Owner. Contractor shall maintain a set of drawings during the job, on which changes shall be noted in red ink. A full set of redlined drawings (As–Built)s are to be given to the Designer at Job completion and submit "construction work complete memo" to Construction Engineer.

01 8000 TRUCKS & MILEAGE

Contractor shall provide transportation for their own personnel.

01 8300 TRAVEL TIME & PER DIEM

Contractor shall provide room and board for their own personnel, and reasonable time for traveling to & from job site.

01 9200 TAXES

Contractor shall pay sales and/or use tax on materials and taxable services.

SITWORK

02 1000 SITE PREPARATION

Contractor is to mobilize within 7 calendar days of the Owner issuing a 'START' document. Contractor will immediately report to Designer if any environmental considerations arise. Site shall be scraped to a depth of 3" minimum to remove vegetative matter, and scrapings shall be stockpiled on site. Excess material to be disposed of in accordance with RFQ.

02 1100 ROAD IMPROVEMENT & CONSTRUCTION

Contractor shall furnish materials for, and install, a twelve foot (12') wide gravel roadway from the road access to the work area, for truck and crane access to site. Base course shall be 6" deep, 3"+ crushed rock, topped with 3" deep, 1½" crushed rock, topped with 3" deep MN Class 5 Aggregate, (3/4" minus with binder) or Driveway Mix. Contractor shall furnish & install culverts as necessary to prevent ponding or washing–out from normal surface runoff. Contractor shall obtain city, county, state and/or federal approvals for road approach and culvert work within or adjacent to right–of ways. Road shall be graded smooth, and edges dressed, at job completion.

02 1500 TREE REMOVAL

Contractor shall furnish all labor, supervision, supplies, tools, equipment and other means necessary for performing and completing the work shown in the drawings. The contractor shall take special care so as not to damage any utility lines in the process of cutting and removing the tree. The contractor shall maintain proper barricades and watchpersons to guide traffic during the cutting and removal of the tree if required. The contractor shall be responsible for removing branches, foliage, trunk, roots, etc., from the construction site as soon as the tree has been cut. If any damaged occurs during the removal of a tree, the contractor shall replace the damaged portions at his/her own expense.

Stump removal shall include disposal of vegetative matter in accordance with RFQ and stump voids backfilled/compacted with adequate soils.

02 2000 EARTHWORK & EXCAVATION

Excavation material shall be used for surface grading as necessary; excess to be stockpiled on site. Excess material to be disposed of in accordance with RFQ. For dewatering excavated areas, contractor shall utilize sock or sediment filter for filtering of water discharge.

02 5000 PAVING & SURFACING

Gravel paving shall be as described in 02 1100.

02 7800 POWER TO SITE

Contractor shall coordinate the electrical service to the building with the Utility Provider. Conduits shall include pull strings. Underground conduits shall be 2–1/2" Schedule 40 PVC. (schedule 80 PVC under roads and drives) Cable to be 3/0 THWN CU. Trenches shall be backfilled in a timely fashion, using a compactor, and including two (2) detectable ribbons; one each at 3" and 15" above conduit. Service shall be 200 amp, single phase, 120/240 volt. Service type shall be "General Time–Of–Day" if available, and meter base shall be approved by utility provider.

Contractor to provide and install expansion joint sleeve connections to prevent differential movement at utility connections.

02 7900 TELCO TO SITE

Contractor shall provide 2" SDR–11 HDPE conduit for fiber conduit as noted on Drawings when directional boring is utilized. Contractor shall provide 2" schedule 40 PVC conduit and 2" schedule 80 PVC conduit under roadways with large–sweep elbows for fiber conduit as noted on Drawings when hand trenched. Trenches shall be as in 02 7800.

Contractor to provide and install handholes as noted in the Drawings. Additional handholes shall be provided and installed a maximum of 500 feet on center; at 90° bends if directional boring; and every third bend if hand trenched. Handholes size per Drawings and traffic–rated in roadways.

Contractor to provide and install Carlon expansion joint connections at cabinets/shelter location per manufacturer's specifications and recommendations.

02 8000 SITE IMPROVEMENTS

Areas bounded by fence and adjacent to Cabinet Slab shall receive polyethylene geotextile, 200 mesh woven, topped with 3" deep 3/4" to 1 1/2" clean rock (no fines), raked smooth.

02 8001 FENCING

All fence materials and fittings shall be galvanized steel. Fence shall be 6'–0" high x 9 ga. X 2" chain link fabric, w/ 7 ga. bottom tension wire. Corner and Gate posts shall be 2 7/8" O.D. sch 40 steel pipe, driven 60" below grade. Line posts shall be 2 3/8" O.D. sch 40 steel pipe. Top Rails shall be 1 5/8" O.D. steel pipe. Gate frames shall be 1 5/8" O.D. welded pipe. Fence top shall be three (3) strands barbed wire to 7'–0" above grade, canted outward. Bracing shall be 3/8" truss rods and 1 5/8" O.D. pipe mid–rails at corners. Gate latch shall be commercial grade, "Cargo" or equal. Fabric shall extend to within 1" of finish grade. Fence enclosures shall be completed within 7 days of tower erecting and Contractor shall provide for temporary security fence at base of Tower. Existing fences shall be protected against damage during this work, and any damage that may occur shall be repaired or replaced to equal existing pre–construction condition.

02 8500 IRRIGATION SYSTEMS

N/A

02 9000 LANDSCAPING

N/A

CONCRETE

03 1000 CONCRETE FORMWORK

Concrete forms shall be dimensional lumber, modular, or steel.

03 8000 TOWER FOUNDATION

Contractor shall arrange for delivery of anchors, and shall furnish and install materials per Tower Manufacturer Plans. Tower foundation concrete and reinforcing to be per tower manufacturer's specification. Contractor shall comply with the Owner's Standard CONSTRUCTION SPECIFICATIONS MINIMUM CONCRETE STANDARDS.

03 8001 CATHODIC PROTECTION

N/A

03 9000 EQUIPMENT CABINETS/GENERATOR FOUNDATION

Contractor shall furnish & install materials for Equipment Cabinets/Generator foundation. Concrete shall be 6% ±1% air entrained, and 4,000 psi at 28 days. All reinforcing steel is to be Grade 60 (ASTM 615). Anchor bolts are furnished by Contractor. Contractor shall comply with the Owner's Standard CONSTRUCTION SPECIFICATIONS MINIMUM CONCRETE STANDARDS.

MASONRY

N/A

METALS

05 0000 METALS

Contractor will furnish and install steel shapes and fabricated steel items not specifically furnished by Owner, and install Owner–furnished materials. Fabrication and erection of steel items per AISC standards. Welding shall conform to AWS standards. Fabrications shall be shop welded and galvanized before delivery to site unless noted otherwise.

Steel shapes shall meet ASTM A36 and steel pipe ASTM A53 Grade B. Steel shapes and fabrications shall be hot–dip galvanized per ASTM A123 with minimum coating thickness Grade 55 (2.2 mil). Bolts shall meet ASTM F3125 and U–bolts SAE J429 Grade 5 minimum. Bolts and hardware to be hot–dip galvanized per ASTM A153. Field repair of galvanized coatings shall be per ASTM A780.

WOOD & PLASTICS

N/A

THERMAL & MOISTURE

N/A

DOORS AND HARDWARE

N/A

FINISHES

09 9000 PAINTING

Monopole tower to be Sherwin Williams SW 7551 "Greek Villa" to match existing building color and will be painted by tower manufacturer.

Antennas, Triplexers, and Non–Galvanized Metals (as referenced within the drawings), excluding identification tags/labels, are to be cleaned in accordance with SSPC SP–1 Solvent cleaning, scarify lightly with steel wool to break gloss. Primer: (1) coat Sherwin Williams Pro–Cryl Primer. Finish: (1) coat Sherwin Williams Sher–Cryl HPA. Finish coat shall be a solid color, Sherwin Williams SW 7551 "Greek Villa".

Coax Cables, Hybrid Cables and Flexible Non–Metallics (exposed and visible by public) to be solvent wiped and prepared to manufacturer's recommendations. Primer: Two (2) coats XIM Advanced Technology UMA bonding primer/sealer. Finish: Two (2) coats Sherwin Williams Sher–Cryl HPA acrylic coating. Finish coat shall be a solid color, Sherwin Williams SW 7551 "Greek Villa".

Contractor shall touch–up construction related scrapes & scratches.

SPECIAL CONSTRUCTION

13 1260 CABLE BRIDGE, CANOPY, & ICE SHIELDS

Contractor shall furnish & install materials for the Cable Bridge as indicated on the drawings and Verizon Wireless Standard Details.

13 1400 ANTENNA INSTALL

Contractor shall install Owner's antennas and feed lines during erecting. Contractor shall test and certify feed lines per current VZW standards.

13 3423 TRANSPORT AND SET EQUIPMENT CABINETS/GENERATOR

Contractor shall provide crane(s) and/or truck for transporting, setting and erecting Equipment Cabinets/Generator per RFQ. Contractor shall install items shipped loose with the Equipment Cabinets/Generator.

13 3613 TRANSPORT AND ERECT TOWER/ANTENNA MOUNTS

Contractor shall schedule delivery of Owner–furnished Tower, and provide cranes for unloading and erecting. Contractor shall ensure the existence of a 3/8" cable safety climb (DBI/Sala or equal) on the Tower.

MECHANICAL

15 4000 PLUMBING

N/A

15 5000 HVAC

N/A

ELECTRIC

16 5000 LIGHTING AND ELECTRICAL

Contractor shall provide labor and materials as necessary to complete the work shown on Drawings including items shipped loose with the Equipment Cabinets/Generator assembly.

16 6000 GROUNDING

Contractor shall make themselves familiar with and follow the current GROUNDING STANDARDS of VERIZON WIRELESS. Contractor shall perform work as shown on Grounding Plans. Any site–specific grounding issues not covered by the GROUNDING STANDARD are to be addressed by the Contractor to the Owner.

OWNER–FURNISHED EQUIPMENT & FEES

GENERATOR

MONOPOLE TOWER

ANTENNA FRAMES

CABINETS

COAX AND/OR CABLES

ANTENNAS & DOWNTILT BRACKETS

GPS & GPS MOUNTING

BUILDING PERMIT FEES

MATERIALS TESTING FEES

SPECIAL INSPECTIONS FEES

CONTRACTOR–FURNISHED EQUIPMENT

POWER TO SITE

TELCO TO SITE

CABLE BRIDGE & ICE SHIELDS

GROUNDING MATERIALS

FENCING

CONNECTORS, BOOTS, & RELATED HARDWARE

SCOPE OF WORK:

CONTRACTOR SHALL PROVIDE MATERIALS, LABOR, TOOLS, TRANSPORTATION, SUPERVISION, ETC. TO FULLY EXECUTE WORK. WORK REQUIREMENTS ARE DETAILED ON THE DRAWINGS AND SPECIFICATIONS AND SHALL INCLUDE, BUT NOT BE LIMITED TO, THE FOLLOWING ITEMS:

SITE PREPARATION

SITE WORK & ROAD CONSTRUCTION

CABINET SLAB, GENERATOR, & TOWER FOUNDATIONS

SET EQUIPMENT CABINETS, SET GENERATOR & ERECT TOWER

ROUTING OF GROUND, POWER, FIBER & ALARM

SITE GROUNDING

ELECTRICAL & TELEPHONE SERVICES

INSTALL ANTENNAS & CABLES

CABLE BRIDGE & ICE SHIELDS

GRAVEL SURFACING & FENCING

Contractor to compare drawings against Owner's "Request for Quote", (RFQ). If discrepancies arise, Contractor shall verify with Owner that the RFQ supersedes the drawings.

EQUIPMENT

The Designer/E.O.R. makes no warranty, expressed or implied, on the structural adequacy for proprietary brackets, clips & parts from a manufacturer.

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TOFFEE

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APPLE VALLEY, MN 55124

SHEET CONTENTS:
OUTLINE SPECIFICATIONS

DRAWN BY:	CJW
CHECKED BY:	BMS
REV. A	10-15-24
REV. B	11-12-24
REV. C	01-13-25

A-5

GENERAL GROUNDING NOTES:

An external buried ground ring (Lead 1) shall be established around the equipment cabinets and tower foundations. Lead 1 shall be kept 24" from foundations; if foundations are less than 48" apart, keep Lead 1 centered between them. If the tower base is over 20'-0" from the equipment cabinets, a separate Lead 1 shall be established around each foundation, and the two Lead 1s shall be bonded with two parallel leads at least 6 feet apart horizontally. Connections between the two Lead 1s shall be bi-directional.

All subgrade connections shall be by exothermic weld, brazed weld, or gas-tight UL467-listed compression fittings pre-filled with anti-oxidant compound. Subgrade connections shall not be 'cold galvanize' coated.

Lead 1 shall be #2 solid bare tin-clad (SBTC) copper wire buried at local frost depth. Lead 1 bends shall be minimum 24" radius. 'Whip' lead bends may be of 12" radius.

Ground rods shall be galvanized steel, 5/8"Ø, spaced twenty feet apart, or as shown. Rods shall be kept min. 24 inches from foundations. Ground rods are required to be installed at their full specified length. Depth shall be as shown in Detail 11.1 in the Verizon Wireless Standard Detail Booklet.

SPECIAL CONSIDERATIONS FOR GROUND RODS:

When ground rods are not specified to be backfilled w/ Bentonite Slurry: If boulders, bedrock, or other obstructions prevent driving of ground rods, the Contractor will need to have drilling equipment bore a hole for ground rod placement. Hole to be backfilled w/ Bentonite Slurry.

When specified with slurried Bentonite encasement, drilling equipment will be need to be used to be bore a hole for ground rod placement. Slurry shall be made from pelletized material ("Grounding Gravel"); powdered Bentonite is not allowed. If boulders, bedrock, or other obstructions are found, Contractor shall drill to the specified depth and provide Bentonite encasements.

Above-grade connections shall be by lugs w/ two-hole tongues unless noted otherwise, joined to solid leads by welding (*7&B 54856BE "BROWN"*), self-threading (*RECOGNIZED, EM 2522DH.75.312*), or 10,000psi crimping (*BURNDY YA3C 2TC 14E2*). Surfaces that are galvanized or coated shall have coating(s) removed prior to bolting. Bolts shall be stainless steel with flat washers on each side of the connection and a lock washer beneath the fastening nut. Star-tooth washers shall be used between lug & dissimilar metal (copper-to-steel, etc) but are not required between tin-clad CU lugs & tin-clad CU bus bars. Lug tongues shall be coated with anti-oxidant compound, and excess compound wiped clean after bolting. The connection shall then be coated with cold-galvanizing compound, or with color-matching paint.

Ground bars exposed to weather shall be tin-clad copper, and shall be clean of any oxidation prior to lug bolting.

Galvanized items shall have zinc removed within 1" of weld area, and below lug surface contact area. After welding or bolting, the joint shall be coated with cold galvanizing compound.

Ground Bar leads

Ground bars are isolated electrically from tower bottoms and equipment cabinets by their standoff mounts. Leads from each ground bar to the ground ring shall be a pair of #2 SBTC, each connected to Lead 1 bi-directionally with #2 SBTC 'jumpers'. Pairs of #2 SBTC may be required between ground bars. Leads shall be routed to ground bars as follows:

- * The Main Ground Bar (MGB), typically mounted adjacent to the ILC (location varies).
- * The Port Ground Bars (PGB), mounted inside and outside on the equipment shelter walls beneath the transmission line port. Note: Transmission line grounds also attach to the PGBs.
- * The Tower Ground Bar (TGB) mounted at the base of the tower. Note: Transmission line grounds also attach to the TGBs.

NOTE: Contractor shall confirm that TGBs exist at 75-foot vertical intervals on any guyed or self-support tower, and that transmission lines are grounded to each TGB. Only the bottom-most TGB is isolated from the tower steel frame; upper TGBs may use the tower steel frame as common ground, requiring no copper leads between TGBs.

#2 SBTC Whip leads

"Whip" leads shall connect the buried external ground ring to the following items:

Monopole Towers:
* Three whips to flanges on the monopole base, at least 90° apart. If none are provided, attach to the baseplate or consult tower manufacturer.

Self-Support Towers:

* Two whips to flange(s) on each tower leg base. If none are provided, attach to the baseplate or consult tower manufacturer.

Guyed Towers:

- * Two whips to flange(s) on the tower base. If none are provided, attach to the baseplate or consult tower manufacturer.
- * Establish a Lead 1 within the fence enclosure of each guy anchor, at least 40 foot perimeter and having 4 ground rods.
- * #2 SBTC leads shall extend up, and be clamped (bronze clamshell or equal), to any two guy wires. NEVER weld leads to the guy wires. The lead to the guy anchor 'hand' plate may be welded.

Fences:

Metallic fence within 25 feet of tower Lead 1, or within 6 feet of shelter lead 1, shall have whip leads as follows:
* Each corner post.
* Each pair of gate posts.
* Any line post over 20'-0" from a grounded post.
* Each gate leaf to its respective gatepost using braided strap (3/4", tin-clad copper w/ lug ends).
* Fences around guy anchors shall be grounded in similar fashion.

Fuel tanks:

NEVER WELD to any fuel enclosure. NEVER penetrate the fuel containment. Metal tanks shall have one whip lead attached. Use an approved clamp or two-hole lug on an available flange.

Equipment Shelter/Platform and Other General Requirements (including but not limited to):

- Extend new Lead 21B up to shelter halo, remaking two-way connections as needed. Generator-equipped shelters have 6 such connections. Connections within the shelter shall be by compression; NEVER weld inside the shelter.
- Each vertical support pipe of the exterior cable bridge. Bridge end shall be kept at least 6" from the tower structure. The cable bridge shall be jumpered to the vertical support pipes with #2 SBTC at each vertical support pipe.
- Opposite corners of the steel equipment platform.
- Opposite corners of the roof shield over the equipment shelter.
- Each HVAC unit shield, if separate (may be 'jumpered' to main roof shield).
- Each HVAC package unit.
- Commercial electric meter box.
- Generator receptacle, if present.
- Steel building skid, if shelter is metal frame.
- Each air intake or exhaust fan vent louver.
- Each generator vent hood or louver.
- Generator exhaust stack, external.
- Opposite corners of generator support frame, if separate from shelter.
- Generator fuel tank, if separate from generator unit.
- Host building rain gutter, downspouts, and roof flashings within 25 feet.
- Telco MPOP (Main Point of Presence), if external to equipment shelter.
- Within cable vaults, one each to the ladder and to the manhole rim.

Note: The door frame is connected to the interior ground halo, and need no separate connection to the external ground ring.

Inspection & Testing

Test lead #1 and ground rods after installation but before backfilling or connecting to any other grounding, using the 3-point fall of potential method. Contractor to notify Verizon Wireless senior construction engineer at least 48 hours prior to testing. Document installation and test results with photographs.

General Contractor Notes:

- Contractor to coordinate public & private utility locates prior to construction start. Notify the Designer & VZW Construction Engineer immediately of any utility line issues.
- General contractor is responsible for confirming that the installation of all grounding meets the Verizon Network Standard Number "NSTD46" document titled "Cell Site and Microwave Radio Station Protection – Engineering Considerations".
- Contractor shall ensure that each whip is routed to lead 1 by the shortest path, and bends shall not be less than 12" radius.
- Primary Electrical – Depth and specification by Power Utility Company.
- Secondary Electrical – Install conduit 32" below grade with two (2) detectable ribbons
- Fiber Optic – Install conduit 36" below grade with pull string, traceable wire and two (2) detectable ribbons.

SYMBOL AND NOTE LEGEND

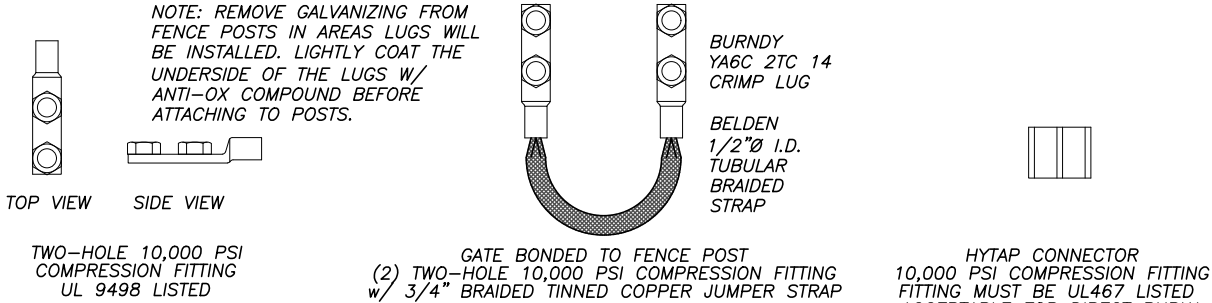
- ① #2 SBTC AROUND CABINET SLAB, TOWER, OR GUY ANCHOR
- 5/8" X 10'-0" GALVANIZED STEEL GROUND ROD
- ⦿ TEST WELL PREFERRED LOCATION

- #2 SBTC 'WHIP' LEAD
- ⑤ (2) #2 SBTC FROM MGB, PGB, OR TGB TO LEAD 1

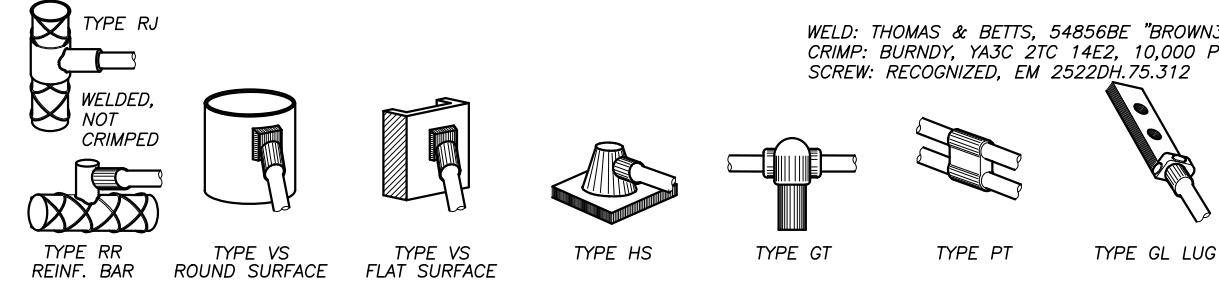
- ⑥ AC HVAC UNIT
- ②1B BC BUILDING CORNER
- ⑥ BO BOLLARD
- ⑥ CBS CABLE BRIDGE SUPPORT POST
- ④ EL ELECTRICAL SERVICE GROUND
- ⑥ EM COMMERCIAL ELECTRICAL METER
- ⑥ FAN GUY ANCHOR PLATE
- ⑥ FP FENCE POST
- ⑨0 GEN GENERATOR
- ⌒ GP GATE POST, 3/4" BRAID STRAP TO LEAF
- ⑥ GPS GPS UNIT
- ⑥ GUY GUY WIRE, MECH. CLAMP ONLY – NO WELDS
- ⑥ HL HOOD OR LOUVER
- ⑥ HB OUTSIDE OF HOFFMAN BOX
- ⑥ ILC INTEGRATED LOAD CENTER
- ⑤ MGB MAIN GROUND BAR
- ⑥ MU GENERATOR MUFFLER
- ⑤ PGB PORT GROUND BAR
- ⑥ RBR FOUNDATION REINFORCING
- ⑥ RS ROOF SHIELD
- ⑥ SB STEEL BEAM
- ⑥ SP STEEL POST
- ⑥ STP STEEL PLATFORM
- ⑥ TEL HOFFMAN BOX
- ⑤ TGB TOWER GROUND BAR
- ⑥ TWR TOWER BASE
- ⑥ VP DIESEL FUEL VENT PIPE

Note:

Contractor to provide #2 solid bare tin-clad (SBTC) copper wire lead from #1 ground ring to air conditioner & ice shield if provided by VZW.



2 COMPRESSION CONNECTOR DETAILS
SCALE: NTS



1 EXOTHERMIC WELD DETAILS
SCALE: NTS

LEAD IDENTIFICATION & DESCRIPTION:

- 1 RING, EXTERNAL BURIED w/ RODS #2 SBTC
- 1A RING, CONCRETE ENCASED #2 SBTC
- 2 DEEP ANODE (TO IMPROVE OHMS) ROD OR PIPE
- 3 RING TO BLDG STL FRAME #2 SBTC
- 4 MAIN AC PANEL NEUTRAL BUS TO (2) GROUND RODS, ISOLATED FROM LEAD #1 NEC 250.66
- 5 RING TO GROUND BAR (2) #2 SBTC
- 6 RING TO EXT MTL OBJECT #2 SBTC
- 7 DEEP ANODE TO MGB NSTD33-9
- 8 AC PANEL TO WATER METER NEC 250.66
- 9 EXT WATER TO INT WATER PIPES NSTD33-9
- 10 INT WATER PIPE TO MGB NSTD33-9
- 11-12 NOT USED
- 13 AC PANEL TO MGB NSTD33-9
- 14 MGB/FGB TO BLDG STL FRAME #2/0 I-STR
- 14C MGB/FGB TO ROOF/WALL MTL PNL #1/0 I-STR
- 15 MGB/FGB TO FGB-HE SAME FLOOR #2/0 I-STR
- 16 NOT USED
- 16A ECPGB TO CABLE ENTRY RACK #1/0 I-STR
- 17 MGB TO CABLE SHIELDING #6 I-STR
- 17A ECPGB TO CABLE SHIELDING #6 I-STR
- 17B MGB/FGB TO F-0 SPLICE SHELF #1 I-STR
- 18 LOWEST MGB/FGB TO HIGHEST FGB #2/0 I-STR
- 19 LEAD 18 TO OTHER FGBs, <6' #2/0 I-STR
- 20 MGB/FGB TO BRANCH AC PNL #6 I-STR
- 20A NEAREST GRND TO DISCONNECT PNL NEC 250.66
- 20B GWB TO AC DISTR PNL #6 I-STR
- 21 MGB/FGB TO INT HALO #2 I-STR
- 21A INTERIOR 'GREEN' HALO #2 I-STR
- 21B INT HALO TO EXT RING #2 SBTC
- 21C INT HALO TO EQUIPMENT MTL #6 I-STR
- 22 ROOF TOWER RING TO ROOF GRND NFPA 780
- 23 MGB/FGB TO ECPGB, SAME FLOOR #1 I-STR
- 23A MGB/FGB TO CXR-HF LINR PROT #6 I-STR
- 24 ECPGB TO EACH PROTECTOR ASSEMBLY #6 I-STR
- 24A LOWER PROT ASSY TO UPPER #6 I-STR

- 25 RING TO NEAREST LIGHTNING ROD #2 SBTC
- 26 LGHTNG ROD SYS TO NEARBY MTL NFPA 780
- 27 RING TO TOWER RING (2) #2 SBTC
- 28 RING TO SHELTER RING (2) #2 SBTC
- 29 BRANCH AC PNL TO BITTY CHG FRM NSTD33-11
- 30 BRANCH AC PNL TO OUTLETS NSTD33-11
- 31 MGB/FGB TO PWR, BITTY FRAMES #2/0 I-STR
- 32 #31 TO BATTERY CHARGER FRAME #6 I-STR
- 33 #31 TO BATTERY RACK FRAME #6 I-STR
- 34 #31 TO PCU FRAME #6 I-STR
- 35 #31 TO DSU FRAME #6 I-STR
- 36 #31 TO PDU FRAME #6 I-STR
- 37 MGB/FGB TO BITTY RETURN NSTD33-14.5
- 37A MGB/FGB TO RTN TERM CARR SUPP #6 I-STR
- 38 FGB TO PDU GB #750MCM I-STR
- 38A FGB TO PDU GB CARRIER SUPPLY #2/0 I-STR
- 39 DC BUS DUCT TO NEXT SECTION #6 I-STR
- 40 DC BUS DUCT TO MGB/FGB #6 I-STR
- 41A MGB/FGB TO #58 #2/0 I-STR
- 42-44 NOT USED
- 45 MAIN AC PNL TO BRANCH AC PNL NSTD33-11
- 46 BRANCH AC PNL TO DED OUTLET NSTD33-11
- 47 FGB TO INTEG FRM #2 I-STR
- 48 LEAD #31 TO INTEG FRM #6 I-STR
- 49 INTEG FRM TO EQUIP SHELF BY FASTENERS
- 50 PDU BITTY RET TO #51 #2/0 I-STR
- 51 #50 TO TRANS FRM ISO DC PWR #6 I-STR
- 52 TRANS FRM FUSE TO FRM OR BAR #8 I-STR
- 53A MGB/FGB TO PDF/BDFB NSTD33-22
- 54 MGB/FGB TO STATIC DEVICES #6 I-STR
- 55 MGB/FGB TO CABLE AT ENTRY #6 I-STR
- 56 MGB/FGB TO AC PWR RADIO XMTR #6 I-STR
- 57A MGB/FGB TO CBL GRID/RUNWAY #2/0 I-STR
- 58A #41A TO AISLE FRAME #2 I-STR
- 59A #58A TO EACH SGL FRAME GRND #6 I-STR
- 60-89 NOT USED
- 90 GENERATOR FRAME TO EXT RING #2 SBTC

DESIGN 1

9973 VALLEY VIEW RD.
EDEN PRAIRIE, MN 55344
(952) 903-9299
WWW.DESIGN1EP.COM

verizon

10801 BUSH LAKE ROAD
BLOOMINGTON, MN 55438
(952) 946-4700

PROJECT
17326166
LOC. CODE: 265804

MIN
TOFFEE

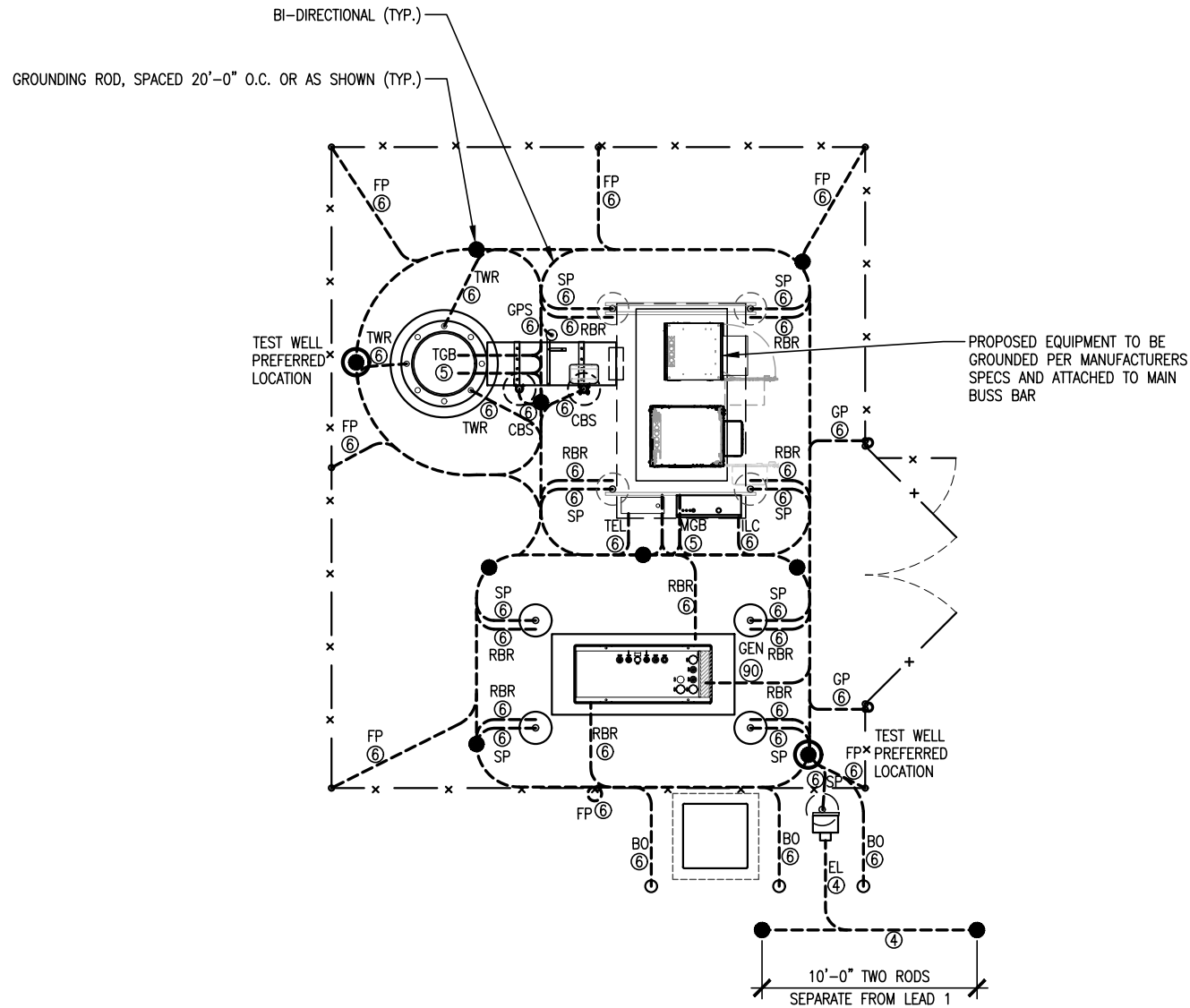
CEDAR AVENUE
APPLE VALLEY, MN 55124

SHEET CONTENTS:
GROUNDING NOTES

DRAWN BY: CJW
CHECKED BY: BMS
REV. A 10-15-24
REV. B 11-12-24
REV. C 01-13-25

G-1

GROUNDING DETAIL INDEX	
DETAIL	DETAIL DESCRIPTION
SLAB	SLAB ON GRADE GROUNDING
11.1	TEST WELL DETAIL, GROUND RING & ROD DETAIL
11.3	REBAR GROUNDING DETAIL
11.4	CONDUIT DETAIL
11.5	TYPICAL GROUNDING CABLE BRIDGE DETAIL
11.6	TYPICAL TOWER GROUNDING DETAIL



NOTE:
SEE SHEET G-1 FOR ADDITIONAL NOTES

1 GROUNDING PLAN
SCALE: NTS



DESIGN 1

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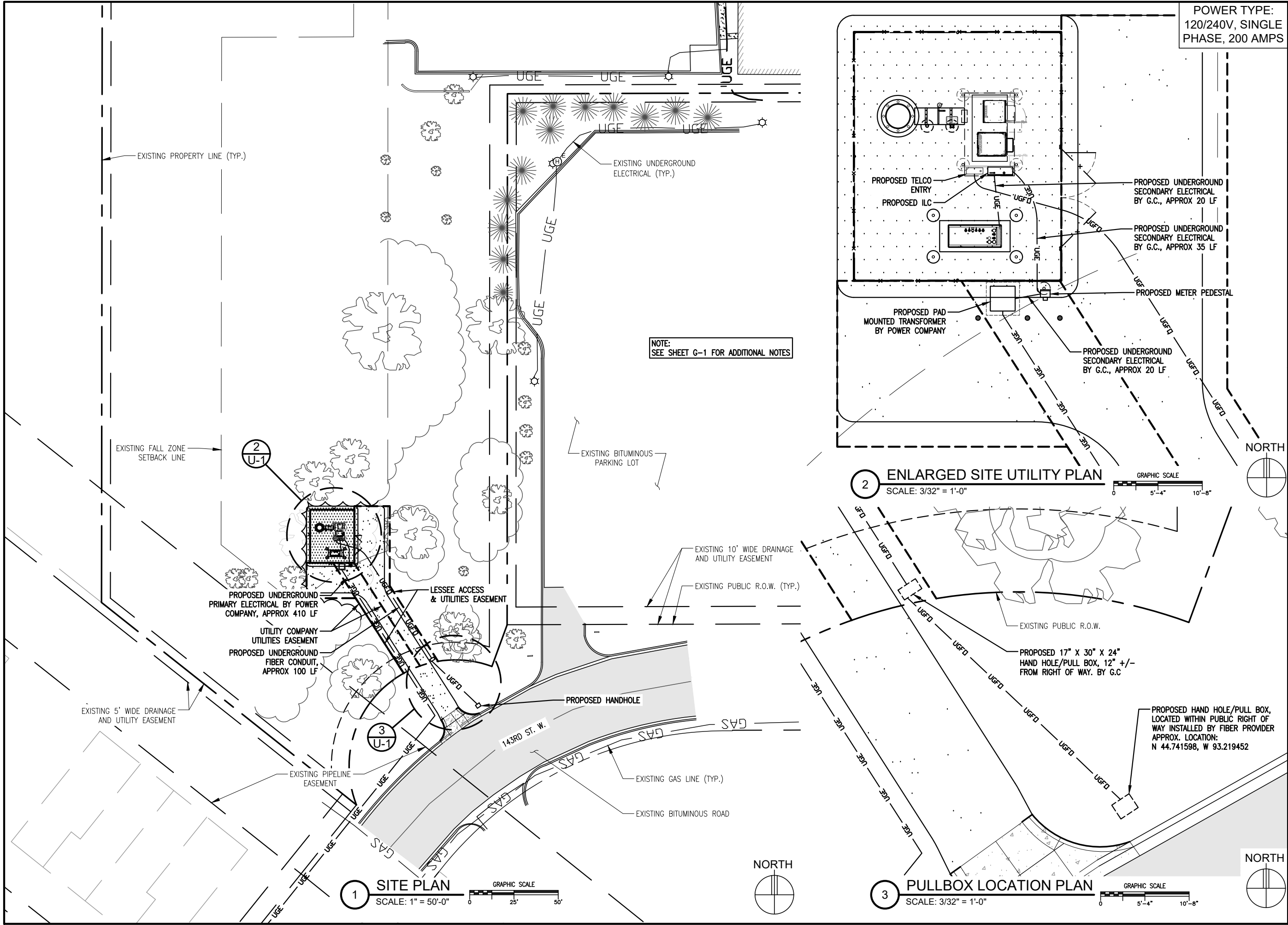
MIN
TOFFEE

CEDAR AVENUE
APPLE VALLEY, MN 55124

SHEET CONTENTS:
GROUNDING PLAN
GROUNDING DETAIL INDEX

DRAWN BY:	CJW
CHECKED BY:	BMS
REV. A	10-15-24
REV. B	11-12-24
REV. C	01-13-25

G-2



DESIGN 1

9973 VALLEY VIEW RD.
EDEN PRAIRIE, MN 55344
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WWW.DESIGN1EP.COM

verizon

10801 BUSH LAKE ROAD
BLOOMINGTON, MN 55438
(952) 946-4700

PROJECT
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LOC. CODE: 265804

MIN TOFFEE

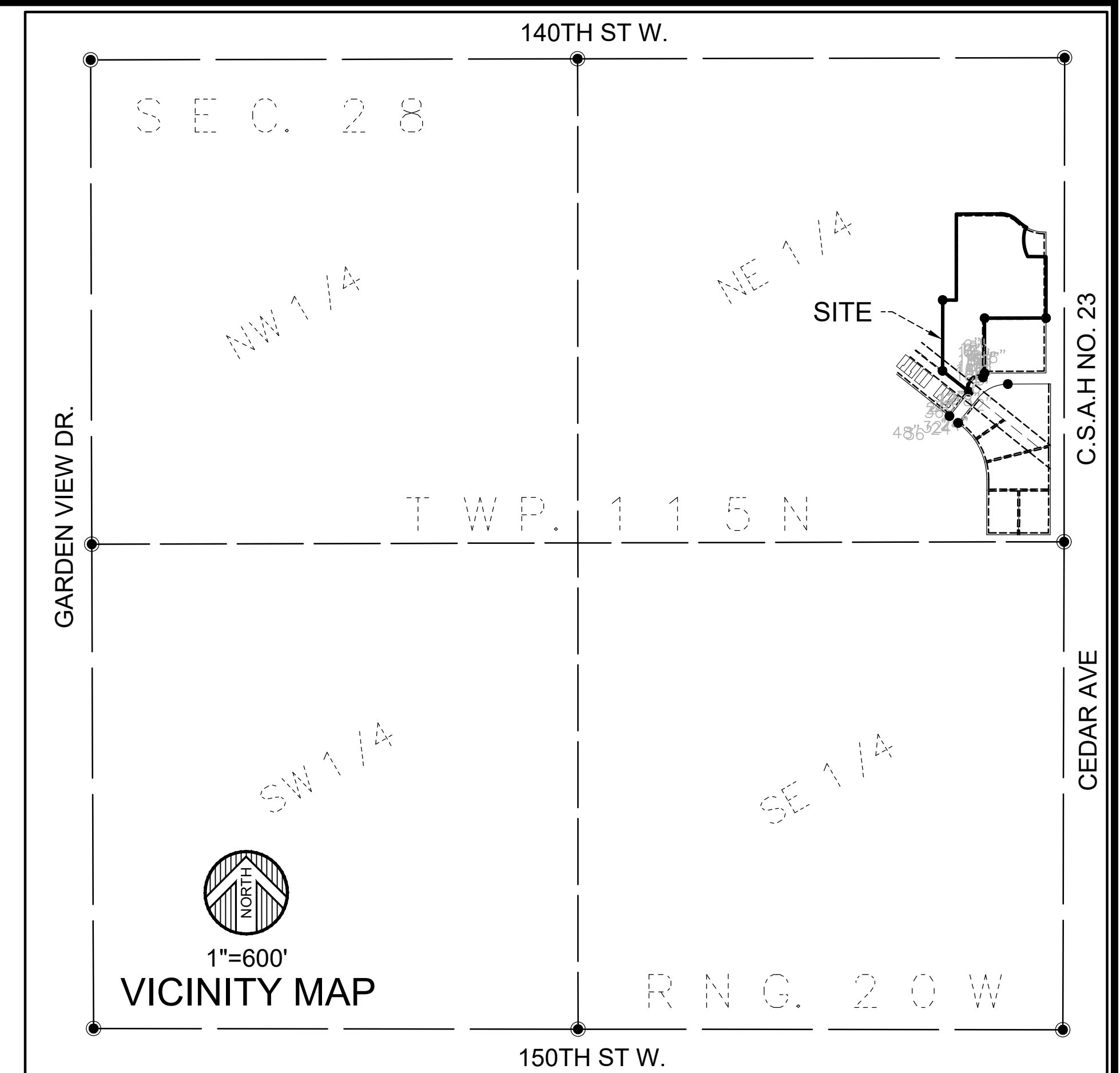
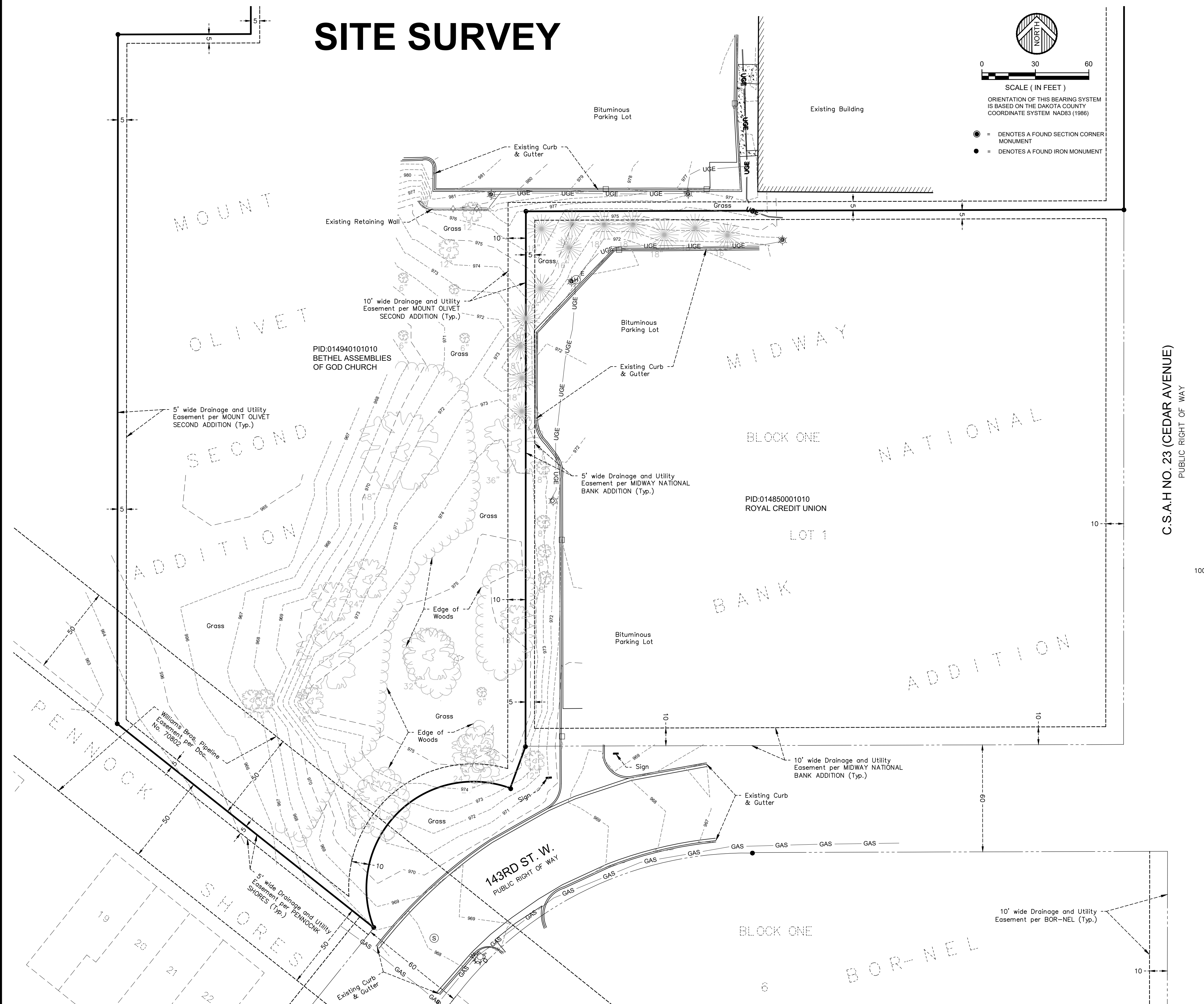
CEDAR AVENUE
APPLE VALLEY, MN 55124

SHEET CONTENTS:
SITE UTILITY PLAN
PULLBOX LOCATION PLAN









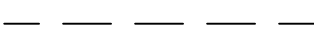




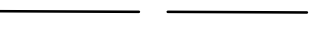
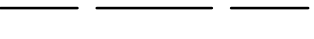


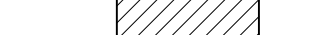
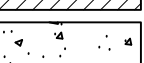

DRAWN BY:	CJW
CHECKED BY:	BMS
REV. A	10-15-24
REV. B	11-12-24
REV. C	01-13-25

U-1

SITE SURVEY



LEGEND

- | | |
|---|----------------------|
|  | TREE-DECIDUOUS |
|  | TREE- CONIFER |
|  | ELECTRIC LIGHT POLE |
|  | ELECTRIC MANHOLE |
|  | STORM CATCH BASIN |
|  | WATER CURB STOP |
|  | HYDRANT |
|  | SANITARY MANHOLE |
|  | RETAINING WALL |
|  | EDGE OF FIELD |
|  | EDGE OF WOODS |
|  | UNDERGROUND ELECTRIC |
|  | UNDERGROUND GAS |
|  | BOUNDARY LINE |
|  | SECTION LINE |
|  | QUARTER LINE |
|  | RIGHT OF WAY LINE |
|  | PARCEL LINE |
|  | BUILDING WALL HATCH |
|  | CONCRETE SURFACE |

SURVEYOR NOTES:

- 1.) Utilities are per observed evidence, and markings from GOPHER STATE ONE CALL, Locate Request Ticket No. 241913049, dated July 9, 2024 also per HANCE LOCATING & SERVICES INC.
- 2.) This survey was prepared for Design 1.

DESIGN 1

SITE NAME:
MIN TOFFEE

Dakota County, MN

[illegible]

I HEREBY CERTIFY THAT THIS DOCUMENT WAS
PREPARED BY ME OR UNDER MY DIRECT SUPERVISION
AND THAT I AM A DULY LICENSED LAND SURVEYOR
UNDER THE LAWS OF THE STATE OF MISSISSIPPI.

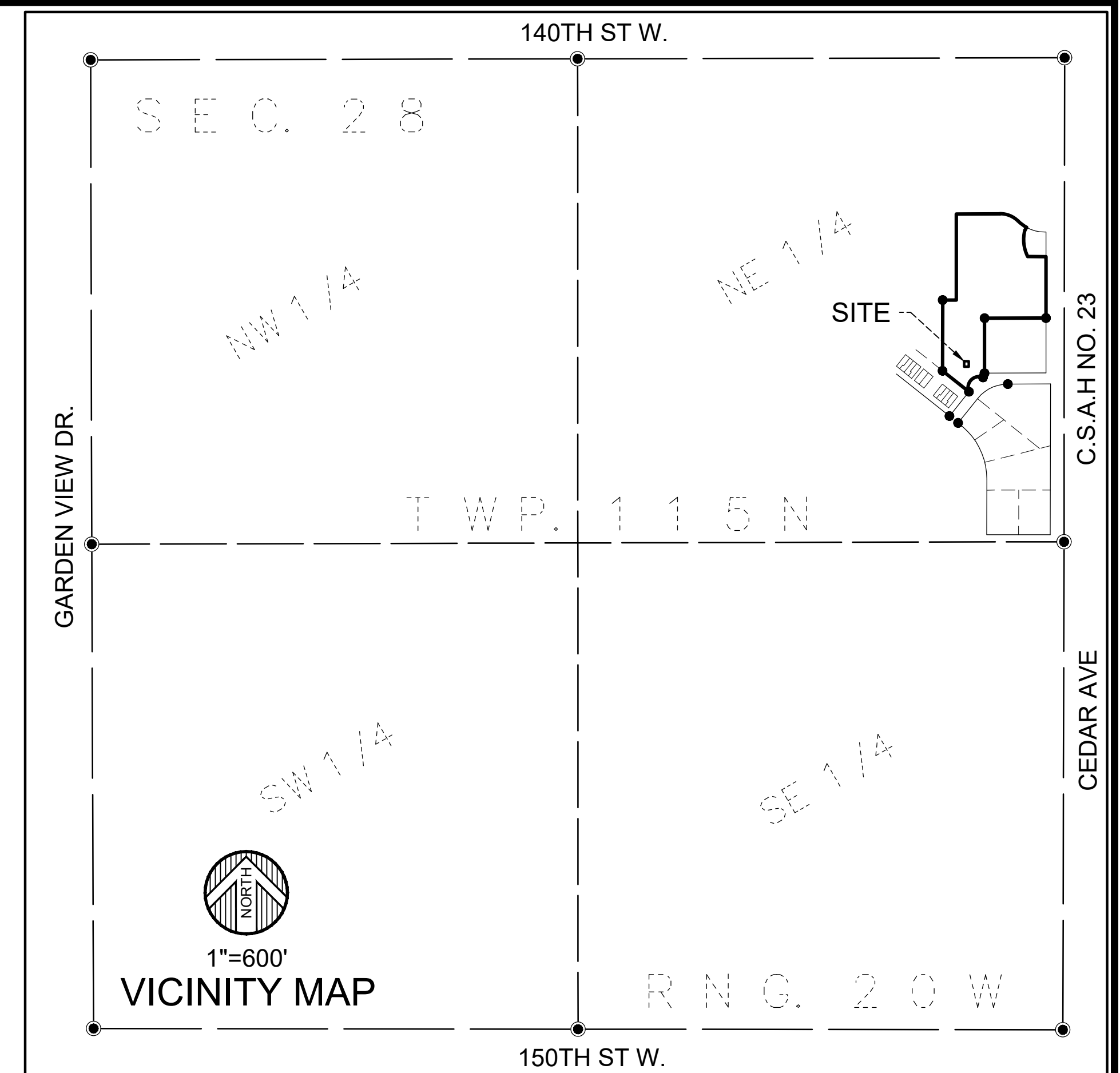
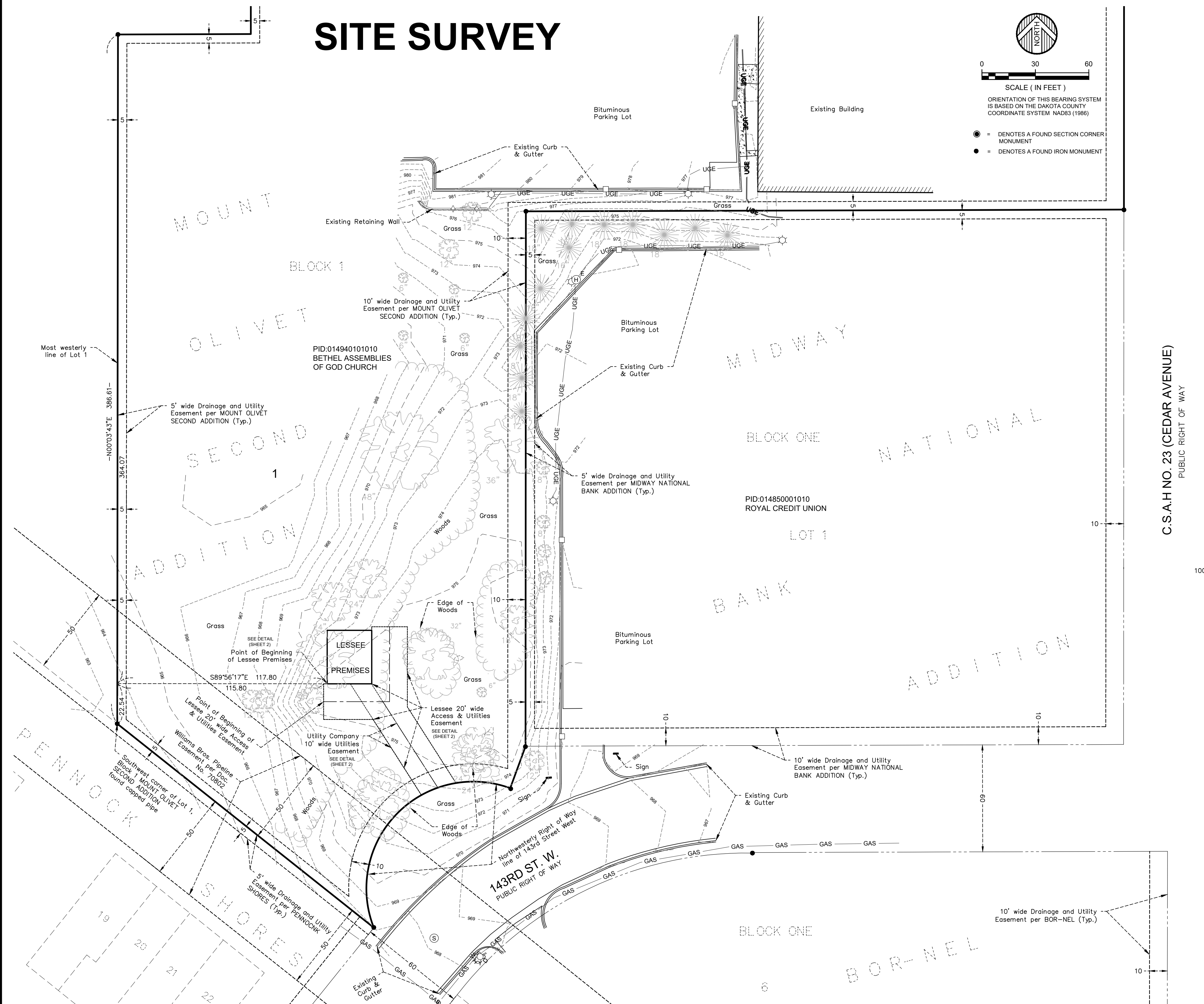
PRELIMINARY

SIGNATURE: _____ BRYAN T. BALCOMB, L.S.
DATE: 7/23/24 LICENSE # 42594

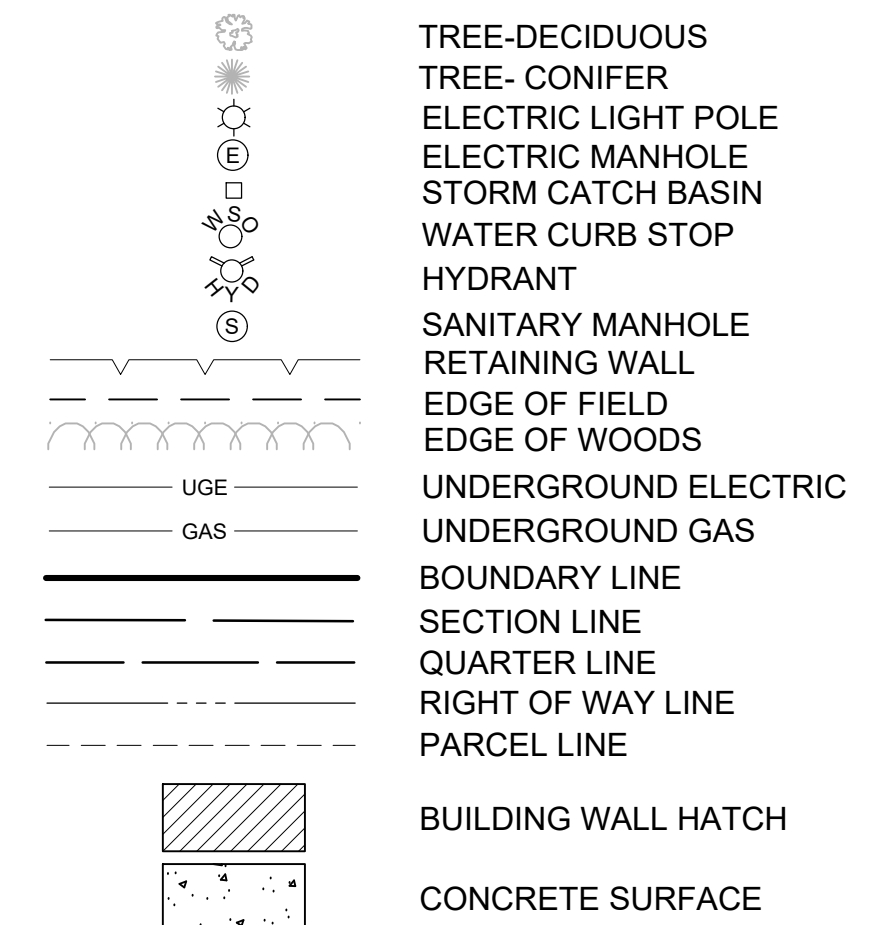


WIDSETH
ARCHITECTS ■ ENGINEERS ■ SCIENTISTS ■ SURVEYORS

SITE SURVEY



LEGEND



SURVEYOR NOTES:

- 1.) Utilities are per observed evidence, and markings from GOPHER STATE ONE CALL Locate Request Ticket No. 241913049, dated July 9, 2024 also per HANCE LOCATING & SERVICES INC.
- 2.) This survey was prepared for Design 1.
- 3.) This survey was completed without the benefit of a title report. There maybe additional easements that affect the subject property that are not shown on the survey.
- 4.) The Lessee Premises together with all Lessee and Access and Utilities Easements are within the area described in the Property Description contained herein.

SHEET 1 OF 2 SHEETS

© 2024 WIDSETH SMITH NOLTING & ASSOCIATES, INC.

DESIGN 1

SITE NAME:
MIN TOFFEE

Dakota County, MN

No.	Date	REVISIONS						By	CHK	APP'
FIELD WORK: 7/17/24				CHECKED BY: BTB			DRAWN BY:			NTD

I HEREBY CERTIFY THAT THIS DOCUMENT WAS
PREPARED BY ME OR UNDER MY DIRECT SUPERVISION
AND THAT I AM A DULY LICENSED LAND SURVEYOR
UNDER THE LAWS OF THE STATE OF MINNESOTA.

SIGNATURE: Bryan T. Balcome
BRYAN T. BALCOME, L.S.
DATE: 11/15/24 LICENSE # 42594

FULL SCALE ON 22"x34"
HALF SCALE ON 11"x17"

2024-11176

WIDSETH
ARCHITECTS ■ ENGINEERS ■ SCIENTISTS ■ SURVEYORS

SITE SURVEY

LESSEE PREMISES DESCRIPTION:

That part of Lot 1, Block 1, MOUNT OLIVET SECOND ADDITION, according to the recorded plat thereof, Dakota County, Minnesota, described as follows:

Commencing at the southwest corner of said Lot 1 ; thence North 0 degrees 03 minutes 43 seconds East along the most westerly line of said Lot 1, a distance of 22.54 feet; thence South 89 degrees 56 minutes 17 seconds East, a distance of 117.80 feet to the Point of Beginning of the premises to be described; thence South 90 degrees 00 minutes 00 seconds East, a distance of 25.00 feet; thence North 0 degrees 00 minutes 00 seconds East, a distance of 30.00 feet; thence North 90 degrees 00 minutes 00 seconds West, a distance of 25.00 feet; thence South 0 degrees 00 minutes 00 seconds West, a distance of 30.00 feet to the Point of Beginning.

LESSEE ACCESS AND UTILITIES EASEMENT DESCRIPTION:

A 20.00 foot wide easement for ingress, egress and utility purposes over, under and across Lot 1, Block 1, MOUNT OLIVET SECOND ADDITION, according to the recorded plat thereof, Dakota County, Minnesota, the centerline of said easement is described as follows:

Commencing at the southwest corner of said Lot 1; thence North 0 degrees 03 minutes 43 seconds East along the most westerly line of said Lot 1, a distance of 22.54 feet; thence South 89 degrees 56 minutes 17 seconds East, a distance of 115.80 feet; thence South 0 degrees 00 minutes 00 seconds West, a distance of 10.00 feet to the Point of Beginning of the centerline to be described; thence South 90 degrees 00 minutes 00 seconds East, a distance of 42.21 feet to a point hereinafter referred to as "Point A"; thence continue South 90 degrees 00 minutes 00 seconds East, a distance of 3.79 feet; thence North 0 degrees 00 minutes 00 seconds East, a distance of 42.00 feet and said centerline there terminating.

TOGETHER WITH

A 20.00 foot wide easement for ingress, egress and utility purposes over, under and across said Lot 1, the centerline of said easement is described as follows:

Beginning at the previously described Point "A"; thence South 32 degrees 35 minutes 30 seconds East, a distance of 57.30 feet to the northwesterly right of way line of 143rd Street West and said centerline there terminating.

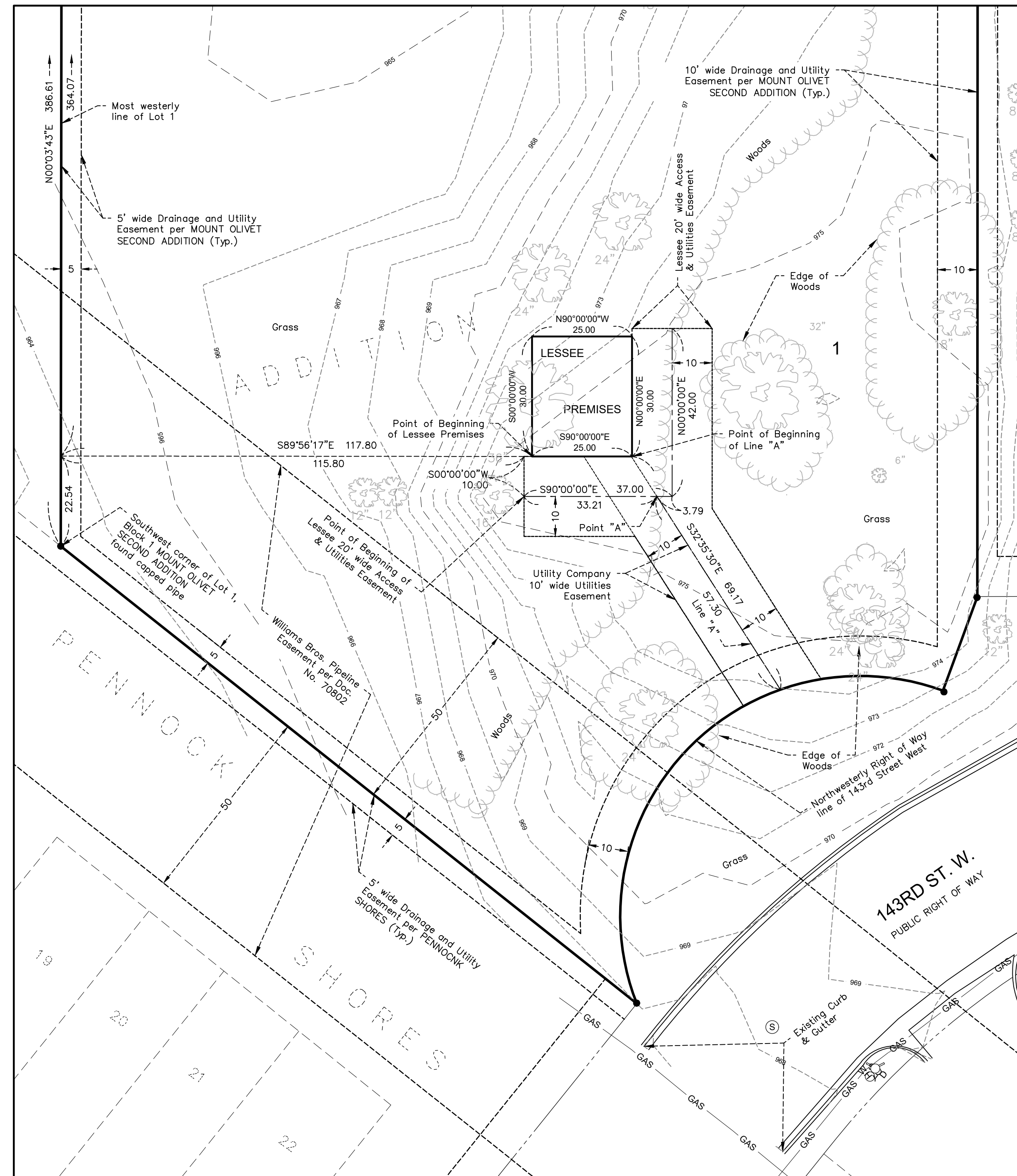
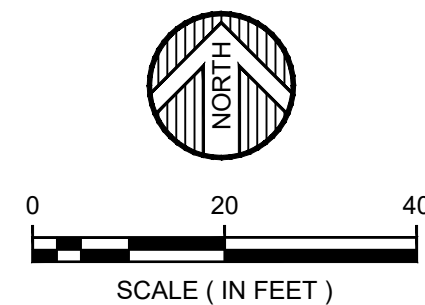
The sidelines of said easement shall be shortened or lengthened to terminate at said northwesterly right of way line of 143rd Street West.

UTILITY COMPANY UTILITIES EASEMENT DESCRIPTION:

A 10.00 foot wide easement for utility purposes over, under and across Lot 1, Block 1, MOUNT OLIVET SECOND ADDITION, according to the recorded plat thereof, Dakota County, Minnesota, lying between 0.00 feet and 10.00 feet right (southwesterly) of the following described Line "A".

Commencing at the southwest corner of said Lot 1; thence North 0 degrees 03 minutes 43 seconds East along the most westerly line of said Lot 1, a distance of 22.54 feet; thence South 89 degrees 56 minutes 17 seconds East, a distance of 117.80 feet; thence South 90 degrees 00 minutes 00 seconds East, a distance of 25.00 feet to the Point of Beginning of said Line "A"; thence South 32 degrees 35 minutes 30 seconds East, a distance of 69.17 feet to the northwesterly right of way line of 143rd Street West and said Line "A" there terminating.

The sideline of said easement shall be shortened or lengthened to terminate at said northwesterly right of way line of 143rd Street West and at a line bearing North 90 degrees 00 minutes 00 seconds West from the Point of Beginning.



DETAIL

SHEET 2 OF 2 SHEETS

© 2024 WIDSETH SMITH NOLTING & ASSOCIATES, INC.

DESIGN 1

SITE NAME:
MIN TOFFEE

Dakota County, MN

No.	Date	REVISIONS					By	CHK	APP'D
	FIELD WORK: 7/17/24	CHECKED BY: BTB	DRAWN BY:						NTG

I HEREBY CERTIFY THAT THIS DOCUMENT WAS
PREPARED BY ME OR UNDER MY DIRECT SUPERVISION
AND THAT I AM A DULY LICENSED LAND SURVEYOR
UNDER THE LAWS OF THE STATE OF MINNESOTA.

SIGNATURE: Bryan T. Balcome
BRYAN T. BALCOME, L.S.
DATE: 11/15/24 LICENSE # 42594

FULL SCALE ON 22"x34"
HALF SCALE ON 11"x17"

2024-11176



WIDSETH
ARCHITECTS ■ ENGINEERS ■ SCIENTISTS ■ SURVEYORS

January 15, 2025

Brian Schriener
Design 1 of Eden Prairie
9973 Valley View Road
Eden Prairie, MN 55344

RE: Proposed 86' Monopole for MIN TOFFEE, MN

Dear Mr. Schriener,

Upon receipt of order, we propose to design and supply the above-referenced monopole for an Basic Wind Speed of 109 mph without ice and 50 mph with 1.5" ice, Risk Category II, Site-specific Exposure Category, and Topographic Category 1, in accordance with the Telecommunications Industry Association Standard ANSI/TIA-222-H.

When designed according to this standard, the wind pressures and steel strength capacities include several safety factors. Therefore, it is highly unlikely that the monopole will fail structurally in a wind event where the design wind speed is exceeded within the range of the built-in safety factors.

Should the wind speed increase beyond the capacity of the built-in safety factors, to the point of failure of one or more structural elements, the most likely location of the failure would be within the monopole shaft, above the base plate. Assuming that the wind pressure profile is similar to that used to design the monopole, the monopole will buckle at the location of the highest combined stress ratio within the monopole shaft. This is likely to result in the portion of the monopole above leaning over and remaining in a permanently deformed condition. *Please note that this letter only applies to the above-referenced monopole designed and manufactured by Sabre Industries.* This would effectively result in a fall radius less than or equal to 50% of the monopole height.

PROFESSIONAL ENGINEER

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the Laws of the State of Minnesota.

Sincerely,

Thomas T. Wilson, P.E.
Design Engineer

Print Name **THOMAS T. WILSON**

Signature 

Date 1/15/2025 License **#60302**



January 14, 2025

City of Apple Valley
Community Development & Planning
7100 West 147th Street
Apple Valley, MN 55124

Re: Verizon Wireless Co-location Letter of Intent (Site Name: "MIN Toffee")
Site Location: 14201 Cedar Avenue, Apple Valley, MN 55124
Parcel ID: 01.494.0101.010

To Whom It May Concern:

Pursuant to §155.385.B.14.c of the City of Apple Valley Code of Ordinances, Verizon submits this Letter of Intent for commitment to shared use of this proposed tower, so long as there is no negative structural impact upon the tower, there is no disruption to the service provided, and reasonable business terms are agreeable.

Thank you for your consideration.

Sincerely,

A handwritten signature in black ink, appearing to read "Jeff Armour", written over a blue horizontal line.
[Jeffrey Armour \(Jan 14, 2025 15:14 CST\)](#)

Jeff Armour
Associate Director - Great Plains
Network Real Estate and Outreach

TO: Sydnee Stroeing, Associate Planner

FROM: Evan Acosta, Assistant City Engineer

DATE: February 27, 2025

SUBJECT: Bethel Assemblies Church Tower CUP plans dated 1/13/2025

Sydnee,

The following are comments regarding the Bethel Assemblies Church Tower CUP Plans dated January 13, 2025. Please include these items as conditions to approval.

General

1. All work and infrastructure within public easements or right of way shall be to City standards.
2. Provide a narrative of how the buildings will be constructed and any impacts. The narrative shall include the following:
 - a. Shoring (if applicable)
 - b. Material Storage.
 - c. Haul routes to and from the site.
 - d. Phasing
3. No construction work shall begin prior to a preconstruction meeting conference with a Public works and a Building Inspections representative.
4. Provide a copy of the approval letter from the Department of Labor and Industry (DOLI), if applicable, prior to construction.
5. Public Work Department (952-953-2400) shall be notified a minimum of 48 hours for any required water main shut downs and/or connections.

Permits

6. Provide a copy of all executed permits prior to construction.
7. Department of Labor and Industry (DOLI) shall review private utilities.
8. A right of way permit will be required for all work within public easements or right of way.
9. A Natural Resource Management Permit (NRMP) will be required prior to any land disturbing activity commences.

Site

10. Show locations of proposed lighting fixtures for parking lots and site.
11. Final site plan to be approved by the City Engineer
12. The City will require the new driveway entrance to be a Non-Residential Driveway (Concrete Entrance). See City Detail plate STR-5.
 - The detail on sheet A-1 should be changed to reflect City Plate STR-5.
13. The City requires that sidewalk is extended from the existing driveway to the east of the proposed access to the west property line.
 - The sidewalk shall be 6' in width and built per city detail STR-35
 - STR-35 shall be shown on the plans
 - Proposed handholes shall be located outside of the sidewalk.
14. All driveways must be paved surface (concrete or asphalt).
 - The plans currently show a gravel driveway access.

Landscape and Natural Resources

15. Tree inventory is required for all affected trees located in work zone, and any replacement tree planting will need to follow the 15-10-5 diversity rule.
16. Final landscaping plan to be approved by Natural Resources Coordinator.

14301 Guthrie Ave.
Apple Valley, MN 55124
3-3-25
[REDACTED]

Planning Commission
City of Apple Valley
7100 147th Street
Apple Valley, MN 55124

Dear Sir or Madam:

The letter to the editor in the Dakota
County Tribune regarding the proposed 86 ft cell
tower was interesting.

According to the FCC, cell towers are safe.
The amount of radiation emitted from them
is very minimal.

Apple Valley High School has a cell tower
on one of the stadium's light poles. I can see
it when the sun shines on it.

There hasn't been any rental problems in
this neighborhood.
And, our property values has increased
according to our tax bill.

Sincerely,
Phyllis Peter
PHYLLIS PETER

Breanna Vincent

From: Richard Greenlee <[REDACTED]>
Sent: Tuesday, March 4, 2025 9:29 AM
To: Community Development
Subject: wireless communication tower

You don't often get email from [REDACTED]. [Learn why this is important](#)

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

To the planning commission,
I'm no expert but this looks like a bad idea. Why would someone want to put a communication tower in a residential area....There are schools and daycare centers that would be near the tower. There is lots of information available about RF exposure 24 hours a day 365 days a year. We would be putting our community at risk.
Sincerely Richard Greenlee

Breanna Vincent

From: Richard Greenlee [REDACTED] >
Sent: Tuesday, March 4, 2025 9:29 AM
To: Community Development
Subject: Wireless Communication Tower

You don't often get email from [REDACTED]. [Learn why this is important](#)

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Dear Planning Department,

My husband and I reside approximately 500 yards away from where the proposed communication tower is going to be located. I was shocked to hear that Bethel Assemblies of God Church is okay with RF Effects-Increased cancer risk, headaches,, sleep issues, genetic damage, changes to the reproductive system, memory deficits, and impacts to the nervous system especially when a daycare is so close to their church! Not to mention members of their own congregation and homeowners that live close by to the proposed area. They either are not aware of the side effects or they are extremely money hungry!

It should be brought to everyone's attention that the effects of radiation absorption are far more serious in children than adults because their brains and organ systems are still developing.

For our children's and grandchildren's sakes, please do not allow this tower to be located in the proposed area.

Thank You,
Deborah Greenlee

CITY OF APPLE VALLEY
RESOLUTION NO. 2025 - ____

A RESOLUTION APPROVING A CONDITIONAL USE PERMIT
FOR 86' TALL WIRELESS COMMUNICATIONS MONOPOLE IN "P" (INSTITUTIONAL)
ZONE AND ATTACHING CONDITIONS THERETO

WHEREAS, pursuant to Minnesota Statutes 462.357 the City of Apple Valley has adopted, as Title XV of the City Code of Ordinances, zoning regulations to control land uses throughout the City; and

WHEREAS, said regulations provide that wireless communication towers may be allowed within a "P" (Institutional) zoning district and in accordance with specific performance standards, as a conditional use; and

WHEREAS, approval of a Conditional Use Permit for the installation of a wireless communications monopole tower has been requested by Buell Consulting, Inc., on behalf of Celco Partnership, and the property owner, Bethel Assemblies of God Church, on property legally described as Lot 1, Block 1, Mount Olivet Second Addition; and

WHEREAS, on **DATE**, a public hearing before the Apple Valley Planning Commission was held for the review of the Conditional Use Permit request; and

WHEREAS, on **DATE**, the Apple Valley Planning Commission recommended approval of the Conditional Use Permit request subject to certain conditions; and

WHEREAS, the Apple Valley City Council approved a Conditional Use Permit for a wireless communications monopole tower on the Property on January 12, 2017, as memorialized in Resolution No. 2017-11 and recorded as Document No. 772669 ("2017 CUP"); and

WHEREAS, no wireless communications monopole tower was installed on the Property pursuant to the 2017 CUP and accordingly, the 2017 CUP has since lapsed and is no longer valid.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Apple Valley, Dakota County, Minnesota, that a Conditional Use Permit for a wireless communications monopole tower on property legally described as Lot 1, Block 1, Mount Olivet Second Addition is approved subject to compliance with the City Code and the following conditions:

1. The construction and operation of the wireless communications monopole tower shall be in conformance with the Site Plan (Sheet A-1) dated **DATE** and the Enlarged Site Plan (Sheet A-2) dated **DATE**.
2. The antennas shall be flush-mounted to the monopole in accordance with the North Elevation Plan (Sheet T-1) dated **DATE**.

3. A building permit and electrical permit shall be obtained from the Building Inspections Department prior to any construction on the site.
4. Tower construction, maintenance, and operation shall comply with the communications tower requirements set forth in the City code, Section 155.385.
5. A qualified and licensed professional engineer shall submit certified construction plans which are in conformance with the following: the latest structural standards; acceptable engineering methods and practices and the National Electrical code.
6. The telecommunication service applicant shall provide verification of written final authorization/agreement with the landowner for the placement of the tower on the property prior to issuance of the building permit.
7. Subject to all conditions noted in the City Engineer's memo dated **DATE**.
8. Landscaping that provides year-round screening shall be installed adjacent to 143rd St W. A landscaping plan shall be submitted for review and approval prior to the issuance of a building permit.
9. The property owner shall maintain the existing trees surrounding the tower and equipment pad area that serve as screening. If these trees are determined to be insufficient in screening the tower area, additional screening measures may be required.
10. A tree preservation concept shall be submitted prior to the issuance of a Natural Resources Management Permit (NRMP).
11. A qualified and licensed professional engineer shall certify that the cell tower is designed in all aspects to accommodate both the operator's antenna and one additional user.
12. The base of the tower shall be enclosed with a fence at least six feet in height, constructed of a durable, maintenance-free material that effectively screens the mechanical equipment. The proposed fence material shall be submitted for review and approval before a building permit is issued.
13. The 12-foot-wide access driveway shall be paved with either concrete or bituminous material from and including the driveway apron abutting the public right of way to the security fence.
14. The tower's surface color shall be selected to blend with the surrounding area as effectively as possible and shall be reviewed and approved by the City's Planning Department prior to the issuance of a building permit.

15. The Conditional Use Permit may be revoked for cause if the terms of (1) through (14) preceding are not adhered to or met while the tower is in place.

ADOPTED this ____ day of _____, 2025.

Clint Hooppaw, Mayor

ATTEST:

Christina M. Scipioni, City Clerk

CERTIFICATE

I, Christina Scipioni, Apple Valley City Clerk, hereby certify that the forgoing is a true and correct copy of a resolution adopted by the City Council on **DATE**, the original of which is in my possession, dated this ____ day of _____, 2025.

Christina M. Scipioni, City Clerk

THIS INSTRUMENT WAS DRAFTED BY:

City of Apple Valley, Minnesota
Attn: Community Development Department
7100 147th Street West
Apple Valley, MN 55124
(952) 953-2500
Project No. PC25-02-C



ITEM:

7.A.

PLANNING COMMISSION MEETING DATE:

March 5, 2025

SECTION:

Other Business

Description:

Apple Valley Bike and Pedestrian Plan Update - 2025

Staff Contact:

Tim Benetti, Community Development Director

Department / Division:

Community Development Department

ACTION REQUESTED:

Receive an update from City Staff on the proposed Apple Valley Bike and Pedestrian Plan for 2025.

SUMMARY:

The City of Apple Valley is in the process of updating its Bicycle and Pedestrian Master Plan for the community. The purpose of the Plan is to provide a roadmap for the City to make updates, identify any concerns or issues, such as gaps in existing trails and sidewalks, and provide solutions, alternatives and alternatives to installing improvements to the bike/ped network over the next five to ten years.

The Plan is intended to lay the foundation for improving the trail and sidewalks systems throughout the community. The Plan can also help to identify issues involved in walking and biking throughout Apple Valley, so that a more complete transportation system is created adding multi-modal choices for users, and making alternative modes of transportation more possible, convenient, and safe.

Staff will provide a brief presentation at the March 5th meeting and review the schedule for moving this plan forward.

BACKGROUND:

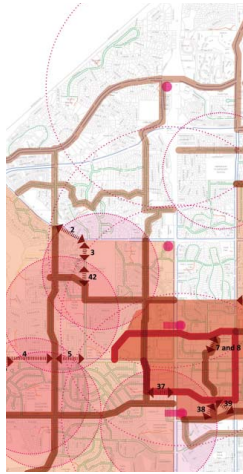
The last related update the City made on planning for similar bicycle and pedestrian systems was in the "Bike Walk Apple Valley Plan" of 2010. This updated plan is being funded by a Statewide Health Improvement Partnership (SHIP) grant managed through Dakota County.

BUDGET IMPACT:

N/A

ATTACHMENTS:

Presentation



BikeWalk Apple Valley

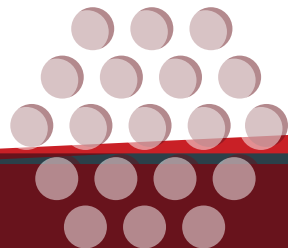
A trail and sidewalk plan for Apple Valley, Minnesota



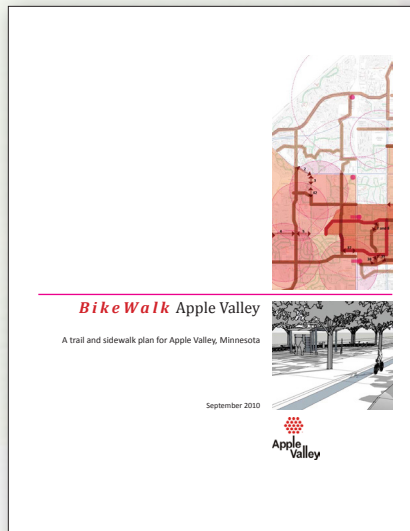
September 2010



APPLE VALLEY BIKE and PEDESTRIAN PLAN UPDATE



Update the 2010 Bike Walk Apple Valley plan



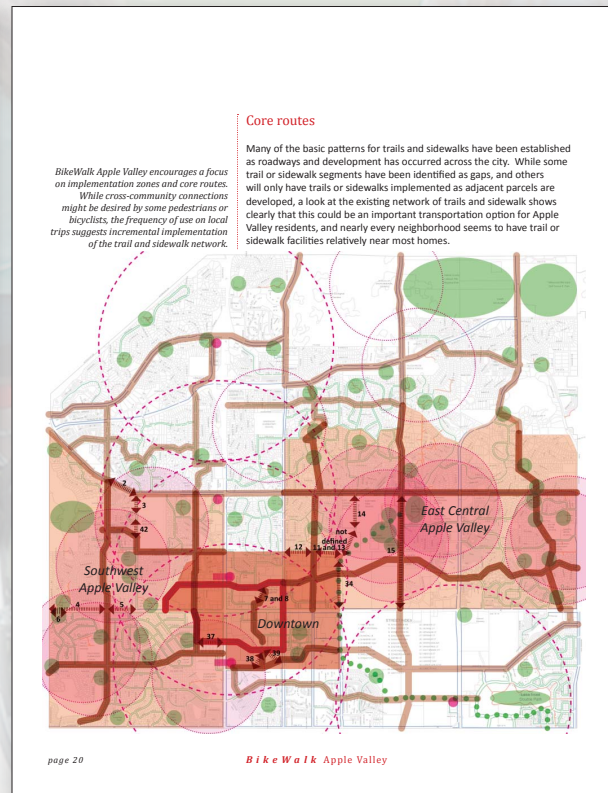
What is still relevant?

Which content should be reused?

How is this used today?

What worked well in this plan?

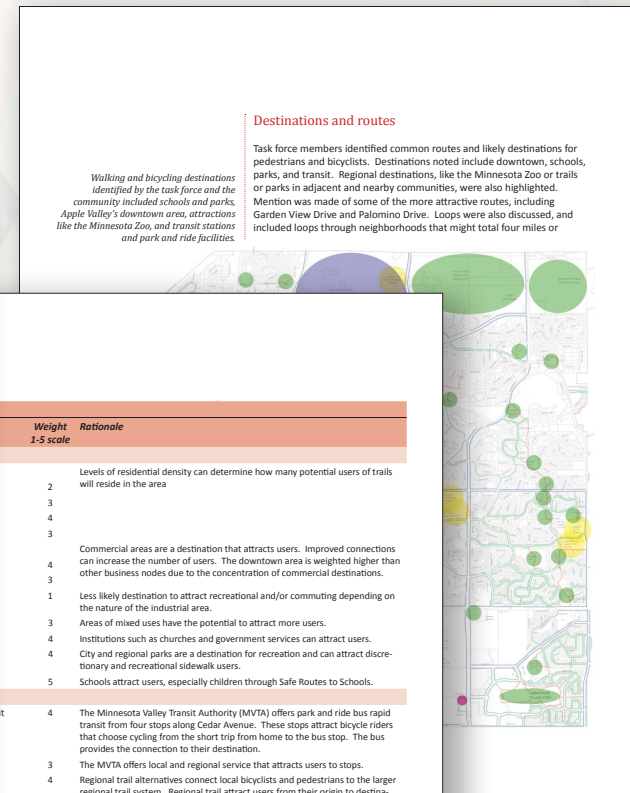
What did not work well?



No alternative	4	No sidewalk exists on either side of the street. Improvements would connection a gap between the endpoints of two sidewalks.
Alternative connection		A sidewalk exists on one side of a street. Users may choose an alternative; expanding the system may be redundant or increase access depending on location.
• Potential connection expansion	2	A parallel sidewalk would be more heavily weighted if it improved accessibility to destinations on both sides of the right-of-way.
• Connection expansion restricted	1	If a sidewalk exists and the gap is located near an unexpandable location and/or provided no access, these gaps are lighter lower.

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Bike Walk Apple Valley



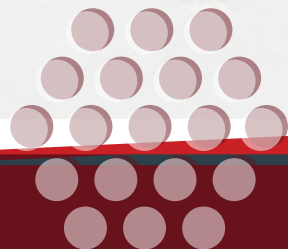
Weight	Rationale
1-5 scale	
2	Levels of residential density can determine how many potential users of trails will reside in the area
3	Commercial areas are a destination that attracts users. Improved connections can increase the number of users. The downtown area is weighted higher than other business nodes due to the concentration of commercial destinations.
4	Less likely destination to attract recreational and/or commuting depending on the nature of the industrial area.
3	Areas of mixed uses have the potential to attract more users.
4	Institutions such as churches and government services can attract users.
4	City and regional parks are a destination for recreation and can attract discretionary and recreational sidewalk users.
5	Schools attract users, especially children through Safe Routes to Schools.
4	The Minnesota Valley Transit Authority (MVTA) offers park and ride bus rapid transit from four stops along Cedar Avenue. These stops attract bicycle riders that choose cycling from the short trip from home to the bus stop. The bus provides the connection to their destination.
3	The MVTA offers local and regional service that attracts users to stops.
4	Regional trail alternatives connect local bicyclists and pedestrians to the larger regional trail system. Regional trail attract users from their origin to destinations, whether for recreation or commuting.
3	The downtown area is defined by a series of streets that comprise the Ring Route, which was identified in the 1987 Commercial Area Planning Study.

Bike Walk Apple Valley

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Who are the Stakeholders?

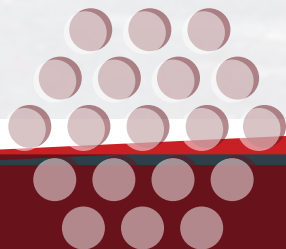
- ▶ **Hard-to-reach populations**
- ▶ **Community organizations / representatives to invite to listening sessions**
- ▶ **ISD 196**
- ▶ **Dakota County**
- ▶ **Chamber of Commerce/local Businesses**
- ▶ **Parks and Recreation Advisory Commission (PRAC)**
- ▶ **Planning Commission (PC)**
- ▶ **Traffic Safety Advisory Committee (TSAC)**
- ▶ **Police and Fire**
- ▶ **City Council**





The Mission Statement:

“The Bike Ped Plan Update will serve as a tool for the City of Apple Valley to continue to enhance mobility, safety, health, and quality of life for its residents. The plan update will serve as a roadmap towards creating and maintaining a connected and equitable transportation network.”

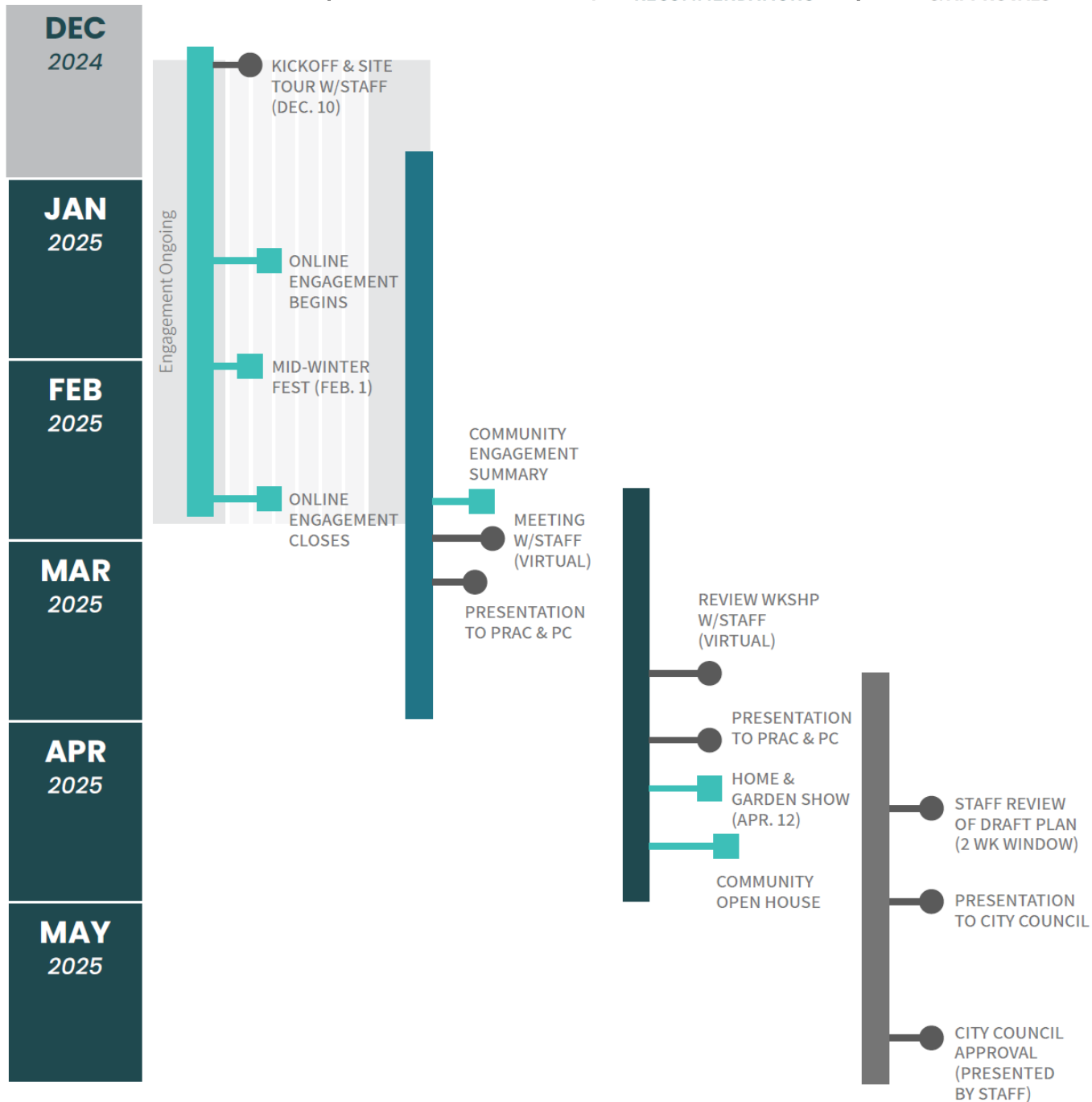


TASK 1
PROJECT ORGANIZATION

TASK 2
INVENTORY & ANALYSIS

TASK 3
PLAN & SYSTEM
RECOMMENDATIONS

TASK 4
FINAL PLAN
& APPROVALS





ITEM:

7.B.

PLANNING COMMISSION MEETING DATE:

March 5, 2025

SECTION:

Other Business

Description:

Review of Upcoming Schedule and Other Updates

Staff Contact:

Breanna Vincent, Department Assistant

Department / Division:

Community Development Department

ACTION REQUESTED:

N/A

SUMMARY:

Next Planning Commission Meetings:

Wednesday, March 19, 2025 - 7:00 p.m.

- Applications due by 9:00 a.m. on Wednesday, February 19, 2025.

Wednesday, April 2, 2025 - 7:00 p.m.

- Applications due by 9:00 a.m. on Wednesday, March 5, 2025.

Next City Council Meetings:

- Thursday, March 13, 2025 - 7:00 p.m.
- Thursday, March 27, 2025 - 7:00 p.m.

BACKGROUND:

N/A

BUDGET IMPACT:

N/A