



**Meeting Location: Municipal Center  
7100 147th Street West  
Apple Valley, Minnesota 55124**

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**April 10, 2025**

**CITY COUNCIL INFORMAL MEETING TENTATIVE DISCUSSION ITEMS  
5:30 PM**

1. Council Discussion Items (10 min.)
2. Discuss Proposed Legislation Impacting Local Land Use Decision Making (50 min.)
3. Parks Referendum Update (10 min.)
4. Airport Runway Construction Update (5 min.)
5. Adjourn

**CITY COUNCIL REGULAR MEETING TENTATIVE AGENDA  
7:00 PM**

1. Call to Order and Pledge
2. Approve Agenda
3. Audience - 10 Minutes Total Time Limit - For Items NOT on this Agenda
4. Approve Consent Agenda Items

*Consent Agenda Items are considered routine and will be enacted with a single motion, without discussion, unless a councilmember or citizen requests to have any item separately considered. It will then be moved to the regular agenda for consideration.*

- A. Approve Minutes of March 27, 2025, Regular Meeting
- B. Adopt Resolution Setting Public Hearing at 7:00 p.m. on May 8, 2025, for 2025 Special Assessment Roll No. 697 - Delinquent Utilities
- C. Proclaim June 27 to July 5, 2025, as "The 59th Annual Apple Valley Freedom Days Celebration" and Designate it a Community Festival
- D. Approve Change of Corporate Officers in Connection with On-Sale Liquor License at Texas Roadhouse Holdings, LLC, d/b/a Texas Roadhouse, 5545 157th Street W.
- E. Approve State Gambling Exempt Permit for Apple Valley Rotary

Scholarship Foundation to hold a raffle on May 13, 2025, at Valleywood Golf Course, 4851 McAndrews Road

- F. Approve State Gambling Exempt Permit for Apple Valley Community Crime Prevention Association to hold a raffle on May 4, 2025, at CrossFit Templar, 14608 Felton Court
  - G. Approve the Sale and Purchase Agreement, Including Repurchase Agreement, with Markid Properties II, LLC, for City-Owned Properties Generally Identified as Central Village West Site, located at 7153 153rd St. W. and 7169 152nd St. W.
  - H. Adopt Resolution Amending the Fixed Asset Policy
  - I. Adopt Resolution Approving Plans and Specifications for Project 2025-104, Johnny Cake Ridge Road (147th to 140th Street) Improvements, and Authorizing Advertisement for Receipt of Bids May 6, 2025, at 10:00 a.m.
  - J. Adopt Resolution Approving Plans and Specifications for Project 2025-105, 2025 Street Improvements, and Authorizing Advertisement for Receipt of Bids, on April 29, 2025, at 10:00 a.m.
  - K. Adopt Resolution Awarding Agreement for Project 2025-103, 2025 Micro Surfacing
  - L. Approve Agreement with Ron Kassa Construction, Inc., for Project 2025-118, 2025 Concrete Removal & Replacement Services
  - M. Surplus Parks Equipment
    - 1. Declare Kelley Park Playground Equipment as Surplus and Authorize Disposal or Auction
    - 2. Approve Agreement with Auction Masters, Inc., to Host Online Auction
  - N. Approve Payment to Dakota Electric Association to Bury Overhead Powerlines and Provide Power for Project 2024-189, Redwood Park Reconstruction (2023 Parks Bond Referendum)
  - O. Approve Change Order No. 1 to Agreement with Pro-Tec Design, Inc., for Police Operations - Card Readers and Cameras
  - P. Approve Change Order No. 10 for Project 2021-172, Police Garage
  - Q. Approve Claims and Bills
  - R. Approve Personnel Report
5. Regular Agenda Items
- A. Introduction and Oath of Office of Police Officers Mitchell Taylor and



Ethan Solheid

- B. PHS Apple Valley Senior Housing, Inc. - Orchard Path Phase III Project
  - 1. Hold Public Hearing
  - 2. Adopt Resolution Approving Second Amended and Restated Housing Program and Issuance and Sale of Senior Housing Revenue Bonds, Series 2025, Relating to a Senior Housing and Health Care Project
- C. Adopt Resolution Approving Conditional Use Permit for 86 ft. Tall Wireless Communications Monopole at Bethel Assemblies of God Church, 14201 Cedar Avenue
- D. Airport Runway Construction Update
- 6. Staff and Council Communications
- 7. Approve Calendar of Upcoming Events
- 8. Adjourn

*Regular meetings are broadcast, live, on Charter Communications Cable Channel 180 and on the City's website at [www.applevalleymn.gov](http://www.applevalleymn.gov)*



ITEM:  
COUNCIL MEETING DATE:  
SECTION:

2.  
April 10, 2025  
Informal Agenda Item

**Description:**

Discuss Proposed Legislation Impacting Local Land Use Decision Making (50 min.)

**Staff Contact:**

Tom Lawell, City Administrator

**Department / Division:**

Administration Department

**ACTION REQUESTED:**

Conduct a joint meeting with the Planning Commission to discuss proposed legislation that would impact local land use decision making and require residential development patterns inconsistent with the City's adopted 2024 Comprehensive Plan.

**SUMMARY:**

The Minnesota Legislature is currently considering a number of bills aimed at limiting long-standing city authority over land use and development. These bills include:

- SF 2229 / HF 1987 ("Minnesota Starter Home Act")
- SF 2231 / HF 2140 ("More Homes Right Places Act")
- SF 2286 / HF 2018 ("Transforming Main Street Act")
- SF 1268 / HF 1309 ("People Over Parking Act")

These bills, if adopted, would greatly restrict local government zoning and land use authority and would remove public input in the residential development process. It would also authorize land development contrary to the City's adopted 2040 Comprehensive Plan. For these reasons, on March 27, 2025 the City Council adopted a resolution supporting the retention of city zoning authority and officially opposing proposed legislation seeking to limit local land use decision making (see attached).

As part of the Council's discussion, it was suggested that the members of the Planning Commission be included in the discussion and that a joint meeting between the City Council and Planning Commission be held. Bill status changes quickly at the legislature and staff hopes to be able to provide a current update on the proposed legislation when we meet.

**BACKGROUND:**

The proposed bills focus on the elimination of local control relative to zoning and land use regulations to allow housing developers to build housing with greater density in traditional single-family neighborhoods and elsewhere in the community.

If adopted, the legislation could significantly affect the character of existing single-family neighborhoods in the community by allowing added housing density on each residential lot. It would also force administrative approvals of projects that meet the standards in the bill language and would greatly limit public input on the approval process. Development

proposals in Apple Valley have traditionally followed a very public process with deliberation by the Planning Commission and City Council and public input has always been encouraged. The proposed legislation would move such approvals to the staff level which would limit public transparency and would be contrary to traditional democratic principles.

Specific provisions of concern in each of the proposed bills include:

SF 2229 / HF 1987 - "Minnesota Starter Homes Act"

- Requires duplexes, accessory dwelling units (ADUs), and townhouses be permitted in any zoning district that permits residential use, with some restrictions for townhomes only in newly platted districts and vacant lots.
- Sets strict setback limitations, minimum lot sizes, and maximum lot coverage requirements.
- Limits a city from imposing minimum parking requirements and limits a city's ability to condition approval of a residential permit related to the creation of an HOA, or the inclusion of a service, feature, or common property necessitating an HOA.
- Establishes an administrative approvals process, allowing for only one community meeting before approval of a request and limits a city's ability to use a planned unit development agreement, among other provisions.

SF 2231 / HF 2140 – "More Homes Right Places Act"

- Requires that residential development be permitted use in any zoning district that authorizes commercial uses (except for heavy industrial).
- Sets strict standards related to floor area ratios and height limitations.
- Limits requirements related to construction materials, architectural elements, durability, energy efficiency, building egress, or light access, except as required by the State Building Code, and limits a city from imposing minimum parking requirements.
- Requires a city to establish an administrative approval process related to these developments, requires approval in a strict time frame, and allows for only one community meeting prior to approval of the request.

SF 2286 / HF 2018 - "Transforming Main Street Act"

- Requires municipalities to enact ordinances creating mixed-use housing zones and to create commercial corridor districts that encompass every lot in the city with frontage on a municipal state-aid street.
- Requires cities to authorize the following housing types in residential mixed-use zones: single-family, townhouse, duplex, triplex, four-plex and ADUs.
- "Urban" municipality is defined as cities other than a city of the first class adjacent to or has a border within one mile of the border of a city greater than 150,000 population. "Non urban" municipality is a city greater than 10,000 population and not an urban municipality or city of the first class.
- Required housing types must be allowed on at least 50 percent of the area within a city zoned to permit residential use for "non urban" municipalities, and 75 percent of the area zoned residential for "urban" municipalities.
- Requires establishing an administrative approvals process. Cities may not require more than

one community meeting prior to approving a request.

- Sets a failure to comply section. If a city fails to adopt new standards that meets requirements by certain dates based on city type, any type of mixed housing would then be allowed without restriction on any lot zoned to allow residential use.

#### SF 1268 / HF 1309 - "People Over Parking Act"

- Removes the ability for cities to set minimum parking mandates, except for ordinances related to disability parking spaces.

Land development within the City of Apple Valley is currently guided by our 2040 Comprehensive Plan which was developed by the Planning Commission and City Council in collaboration with citizens, community and business organizations, school districts and many others, and which was approved by the Metropolitan Council. This legislation would negate important provisions in our approved 2040 Comprehensive Plan and would jeopardize long-range planning efforts involving the City's essential infrastructure (roads, water mains, sewer lines and stormwater management systems), threatening to overwhelm these systems.

The legislation places no limits on the number of units a given community would be forced to add and significant increases in housing density would result in added infrastructure costs which should not become the responsibility of existing residents and businesses. We are also concerned about possible environmental harm caused by excessive storm water flow caused by increased impervious surface related to the incremental densification of our housing stock.

We are also concerned that the appropriation of commercially guided property, which would be allowed for multi-family housing development with no restriction on the number of units, would also have long-term impacts on the City's commercial/industrial tax base and would limit the City's attraction of head of household jobs to the community.

Our local legislative delegation, comprised of Senator Erin Maye Quade and Representatives Robert Bierman and John Huot, have been informed of the City's concerns relative to these bills. When the delegation visited with the City Council on January 9, 2025 local preemption of zoning and land use development was already a known concern for this legislative session. City support for local zoning authority was expressed at that time.

Once the bills were introduced this session, Mayor Hooppaw and staff contacted our local delegation to express concern over the bills. The resolution adopted by the City Council on March 27, 2025 has been sent to the delegation. The delegation was also invited to attend the April 10, 2025 joint meeting of the City Council and Planning Commission.

We encourage our legislators to continue to work with cities to arrive at compromise language that helps support the production of affordable housing without diminishing local authority and the rights of the public to engage with their local officials on matters related to their neighborhoods.

**BUDGET IMPACT:**

Unknown, but potentially significant, depending on the number of new multi-family housing units ultimately created within existing single-family neighborhoods and on property currently guided for commercial use.

**ATTACHMENTS:**

Resolution

Exhibit

Presentation

CITY OF APPLE VALLEY  
RESOLUTION NO. 2025-48

A RESOLUTION SUPPORTING RETENTION OF CITY ZONING AUTHORITY AND  
OPPOSING PROPOSED LEGISLATION SEEKING TO LIMIT LOCAL LAND USE  
DECISION MAKING

WHEREAS, the Minnesota State Legislature is currently considering proposed legislation aimed at limiting long-standing city authority over local land use and development; and

WHEREAS, bills currently being considered include SF 2229 / HF 1987 (“Minnesota Starter Home Act”), SF 2231 / HF 2140 (“More Homes Right Places Act”), SF 2286 / HF 2018 (“Transforming Main Street Act”) and SF 1268 / HF 1309 (“People Over Parking Act”); and

WHEREAS, the legislation, if adopted, would greatly restrict local government zoning and land use authority and would severely limit public input related to the residential development process; and

WHEREAS, the legislation could significantly affect the character of existing single-family neighborhoods in the community by allowing greater housing density on each residential lot; and

WHEREAS, the legislation forces administrative approvals of projects that meet the standards in the bill language and prohibits public input on the approval process before the Planning Commission and City Council; and

WHEREAS, land development within the City of Apple Valley is currently guided by its 2040 Comprehensive Plan which was developed in collaboration with citizens, community and business organizations, school districts and many others, and which was approved by the Metropolitan Council; and

WHEREAS, these bills, if adopted, would overturn this approved 2040 Comprehensive Plan and would jeopardize long-range planning efforts involving the City’s essential infrastructure (roads, water mains, sewer lines and stormwater management systems), threatening to overwhelm these systems; and

WHEREAS, significant increases in housing density will result in added infrastructure costs which should not become the responsibility of existing residents and businesses. Without a remedy, this legislation could result in property tax increases over time; and

WHEREAS, the proposed legislation is an attempt to address housing availability and affordability challenges by inappropriately limiting city authority over zoning and land use decisions, transferring that authority to the state government; and

WHEREAS, these proposed measures fail to adequately address housing affordability and offer no guarantees that cost savings realized by housing developers would translate into lower housing costs for prospective homeowners or renters.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Apple Valley, Dakota County, Minnesota, strongly supports the retention of city zoning authority and opposes the proposed legislation that would broadly limit local zoning and land use decision making related to residential development.

BE IT FURTHER RESOLVED that it urges the legislature to recognize the negative impacts associated with this proposed legislation and to withhold action on the bills until suitable amendment language can be developed in consultation with the League of Minnesota Cities and other municipal groups.

ADOPTED this 27th day of March, 2025.

  
\_\_\_\_\_  
Clint Hooppaw, Mayor

ATTEST:

  
\_\_\_\_\_  
Christina M. Scipioni, City Clerk



## City of Apple Valley

### Concerns with 2025 Proposed Housing Bills (SF2229/HF1987, SF2231/HF2140, SF2286/HF2018, SF1268/HF1309)

- The City of Apple Valley strongly opposes SF2229/HF1987, SF2231/HF2140, SF2286/HF2018 and SF1268/HF1309.
- These bills would greatly restrict local government zoning and land use authority and would remove public input in the residential development process. This is counter to our shared democratic ideals.
- The proposed legislation has the potential to undo years of thoughtful community engagement. It also would instantly subject residents to the prospect of a significant change of character in their neighborhood. The bill provides no recourse to residents concerned about these changes and deprives them of their right to petition local government to redress their grievances.
- These bills would overturn the long-range local Comprehensive Plans adopted by cities within the metropolitan area. These carefully crafted Comprehensive Plans are updated every ten years in accordance with regional systems plans issued by the Metropolitan Council. These bills represent a wholesale abandonment of these planning efforts.
- A community's Comprehensive Plan is developed in collaboration with citizens, community and business organizations, school districts and many others. Citizen-led Planning Commissions and City Councils devote hundreds of hours to balance interests and forge a community consensus on the future of their community. Abandonment of that process is unwise and misguided.



- A community's Comprehensive Plan guides the development of its key municipal infrastructure components such as roads, water mains, sewer lines, and stormwater management systems. Land use density affects all these systems and cannot be changed overnight.
- Increased density will result in added costs. Unless state funding mechanisms are created, citizens will be forced to bear the cost of increasing the capacity of infrastructure improvements to accommodate added growth. Absent a permanent and sufficient funding source, this bill will increase property taxes.
- Forcing all commercially zoned property in a community to accommodate multi-family housing redirects land intended to provide jobs for the community into yet more housing. This creates an imbalance in long-range community planning efforts and will force more people to commute longer distances to their places of employment. Arbitrarily opening all commercial land to housing is not the answer. As we seek to be more sustainable and green, housing needs to be connected to nearby jobs.
- These bills would significantly preempt local government zoning authority. Mayors and Councilmembers are duly elected by their citizens and are in the best position to make decisions on behalf of their community.
- These bills attempt to create a "one-size-fits-all" approach which does not respect the uniqueness of communities across the state.
- These bills are uniformly opposed by the League of Minnesota Cities, Metro Cities, and other local government associations.
- Given the magnitude of the impacts associated with these bills, the legislature should take a step back and provide more time to work on a bill that better respects decades worth of planning and infrastructure investment in our communities. We look forward to working with you on crafting a better approach.



## **City of Apple Valley**

### **The Importance of Maintaining a Proper Balance of Housing and Jobs within a Community**

The City of Apple Valley worked with the community for over two years to develop its 2040 Comprehensive Plan. It carefully considered the land use goals of the community and concluded additional commercial/industrial development was needed for the following reasons:

- The City's 2040 Comprehensive Plan states that the main goal of Apple Valley's economic development strategy is to continue to increase local employment; specifically, to increase the number of jobs that pay well enough to sustain a household. Attracting large employers to the area remains a high priority.
- A key consideration in the planning process is seeking a balance of jobs and housing. Too few jobs relative to available housing stock means residents will have to travel outside the community for employment. Increased commercial/industrial development provides added employment opportunities and helps to shorten commuting distances, thereby reducing highway congestion, air pollution and environmental harm.
- A standard measure of jobs-housing balance is the ratio of jobs to households. The American Planning Association recommends a ratio of jobs to households of 1.3 to 1.7. Apple Valley's current jobs per household ratio is only 0.77. Apple Valley needs to up its ratio and zoning is the proper tool to guide this transformation.
- The vast majority of vacant land in Apple Valley is guided for commercial/industrial development to increase employment opportunities, increase tax base, and help alleviate tax burdens on residents. SF2229/HF1987, SF2231/HF2140, SF2286/HF2018 and SF1268/HF1309, as currently written, would eliminate the City's ability to achieve this goal by removing needed zoning control and opening commercially guided property to yet more housing.

# **Joint City Council / Planning Commission Meeting**

## **Update on Minnesota Legislature Housing Bills**

**April 10, 2025**




1

## **Background**

- Many housing bills introduced this legislative session aimed at increasing the production of housing.
- Many go too far and result in the loss of local control over land use development with far reaching consequences.
- City Council Adopted Resolution on March 27.
- RESOLUTION SUPPORTING RETENTION OF CITY ZONING AUTHORITY AND OPPOSING PROPOSED LEGISLATION SEEKING TO LIMIT LOCAL LAND USE DECISION MAKING
- Suggested that a joint City Council/Planning Commission meeting be held.

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# Advocates for Proposed Legislation




## An agenda to build more homes from border-to-border

**PROBLEM:**

### Not Enough Homes

Every Minnesotan belongs in a home that is safe and affordable, yet this American Dream is increasingly out of reach.

**BY THE NUMBERS:**



**100,000:**

Number of homes needed - to own and rent - for an adequate housing supply

**600,000:**


Minnesotans who are paying more than 30% of their income on housing costs.

**38:**

The average age of a first-time homebuyer

**0:**

Number of counties in Minnesota where the median-income family can afford the median-priced home.



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## Yes to Homes Agenda – Who we are

The Yes to Homes Coalition is the broad and bipartisan group of leaders and organizations from across the state that includes:

ISAIAH	NATIONAL ASSOCIATION OF SOCIAL WORKERS, MN CHAPTER
NEIGHBORS FOR MORE NEIGHBORS	SUSTAINABLE DEVELOPERS COLLABORATIVE
HABITAT FOR HUMANITY OF MINNESOTA	AARP MN
AFRICAN CAREER EDUCATION AND RESOURCE, INC.	WILDER FOUNDATION
LONDON GROUP	YIGBY MN
CENTRAL MN HABITAT FOR HUMANITY	DOYENNE DEVELOPMENT
MINNESOTA HOUSING PARTNERSHIP	GREATER MINNESOTA HOUSING FUND
SUSTAIN SAINT PAUL	SEIU HEALTHCARE MN & IA
HOUSING FIRST MINNESOTA	D.W. JONES, INC.
ENGAGE WINONA	HOUSING JUSTICE CENTER
MINNESOTA CONSORTIUM OF COMMUNITY DEVELOPERS	CENTRAL MINNESOTA BUILDERS ASSOCIATION
AUTISM SOCIETY OF MINNESOTA	GREATER MN HOUSING FUND
MOVE MINNESOTA ACTION	SIERRA CLUB

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## Current Status

- Four primary bills of concern:
- SF 2229 / HF 1987 (“Minnesota Starter Home Act”)
- SF 2231 / HF 2140 (“More Homes Right Places Act”)
- SF 2286 / HF 2018 (“Transforming Main Street Act”)
- SF 1268 / HF 1309 (“People Over Parking Act”)

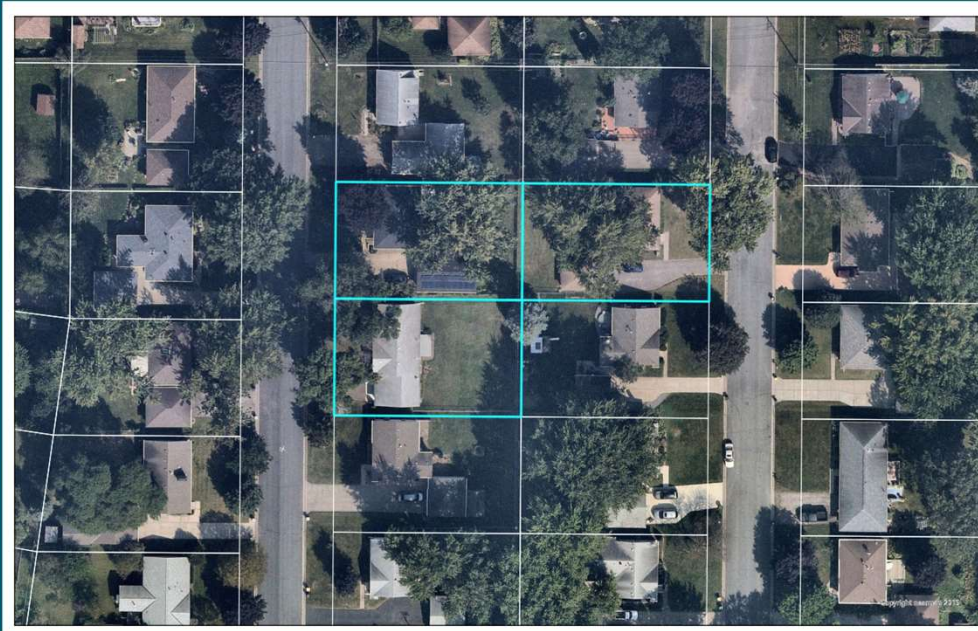
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## SF 2229 / HF 1987 (“Minnesota Starter Home Act”)

- Would require cities to:
- Permit at least two units on any single-family zoned lot and allow accessory dwelling units on lots with single-family homes.
- Limit minimum lot sizes to one-eighth acre (5,445 square feet) for duplexes and single-family homes.
- Prohibit minimum lot sizes for townhomes larger than 1,500 square feet.
- Allows at least 80% lot coverage and restricts floor area ratio and setbacks.

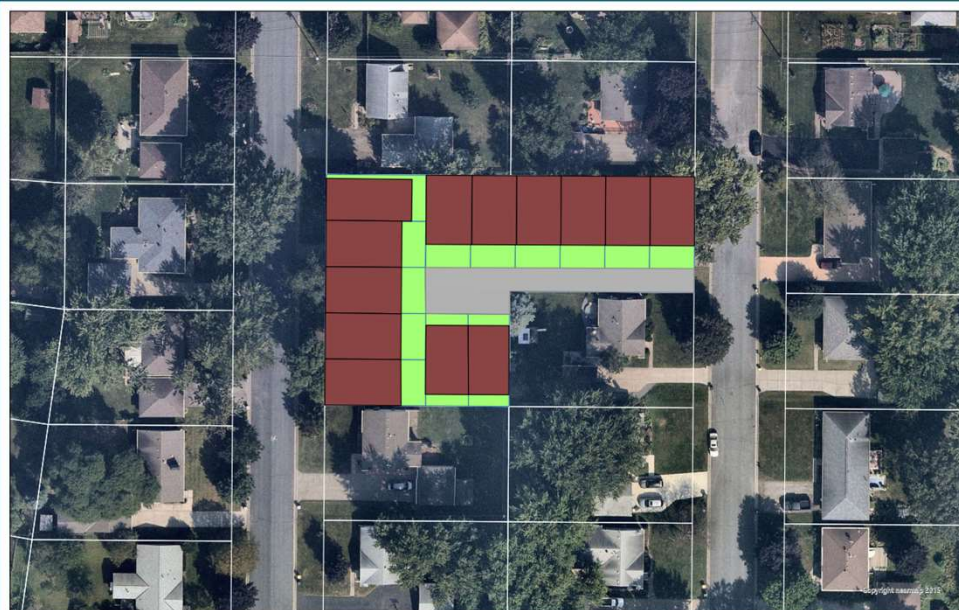
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Source: City of Eagan

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Conversion of single family lots-~9,000 sf  
13 townhome units-minimum 60 ft lot depth  
Zero setback-80% maximum building coverage

Source: City of Eagan

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## **SF 2229 / HF 1987 (“Minnesota Starter Home Act”)**

- Prohibits minimum parking requirements for any development.
- Requires an administrative review approval process for residential developments with no more than one public meeting (not hearing).
- Contains contradictory language that could result in legal challenges during implementation.

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## **SF 2231 / HF 2140 (“More Homes Right Places Act”)**

- Upzone 50% of residential areas to allow townhomes, duplexes, triplexes by right, or any combination of development to permit an average density of one unit per 4,000 square feet.
- First-, second-, and third-class cities must create “commercial corridor districts” along municipal state-aid streets, allowing higher density development per acre.

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## **SF 2231 / HF 2140 (“More Homes Right Places Act”)**

- Limit setbacks, floor area ratio, lot coverage, and minimum square footage rules in mixed-use housing zones.
- Prohibit minimum unit sizes, construction material requirements, and local design standards beyond state building codes.
- Eliminate minimum parking requirements for all developments.
- Limit usage of planned unit developments and conditional use permits.
- Require an administrative approval process with no more than one public meeting (not a hearing).

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## **SF 2286 / HF 2018 (“Transforming Main Street Act”)**

- Require all cities to permit multifamily and mixed-use development in any commercial zoning district, except for heavy industrial zones.
- Allow cities to require that developments authorized in the bill include commercial use on the ground floor but only if the development is replacing existing commercial or industrial structures.
- Limits city review of projects under 300 units, prohibiting consideration of traffic, noise, or nuisance concerns.
- Requires all metro-area cities to allow multifamily buildings up to 75 feet tall in commercial districts.

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## **SF 2286 / HF 2018 (“Transforming Main Street Act”)**

- Prohibit cities from requiring egress, durability, or energy efficiency standards, and limits any setback and lot coverage requirements beyond those required for commercial buildings.
- Eliminate parking minimums for all new developments.
- Require cities to award density bonuses for affordable housing.
- Mandate an administrative review process with no more than one public meeting (not hearing).
- Contains contradictory language that could result in legal challenges during implementation.

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## **SF 1268 / HF 1309 (“People Over Parking Act”)**

- Prohibit all cities from requiring minimum parking spaces for any new development including commercial, industrial, and residential.
- Allow cities to specify disabled parking requirements.

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## Concerns

- “One size fits all” approach is not workable.
- Would greatly restrict local government zoning and land use authority.
- Would remove meaningful public input in the residential development process.
- Would subject current residents to the prospect of significant change of character in their neighborhood.
- Overturns development assumptions used in the preparation of Apple Valley’s adopted 2040 Comprehensive Plan.

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## Concerns

- Provides no limits on how much additional housing could be added.
- Could overwhelm municipal infrastructure (roads, water mains, sewer lines, and stormwater management systems).
- No mechanism provided to make new development pay for added costs - could financially impact existing property owners.
- Vagueness in the proposed language may lead to future legal challenges.
- Forces all commercially zoned property to accommodate multi-family housing.

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## Concerns

- Our long-range planning to add more commercial/industrial tax base and head of household jobs to the community could be impacted.
- Greater commercial/industrial tax base helps to lower the property tax burden for Apple Valley residents.
- A standard measure of jobs-housing balance is the ratio of jobs to households. The American Planning Association recommends a ratio of jobs to households of 1.3 to 1.7.
- Apple Valley's current jobs per household ratio is only 0.77.
- Apple Valley needs to up its ratio and zoning is the proper tool to guide this transformation.

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## Dakota County Taxable Market Value Comparison of Residential/Apartments to Commercial/Industrial Tax Year 2025 Payable 2026

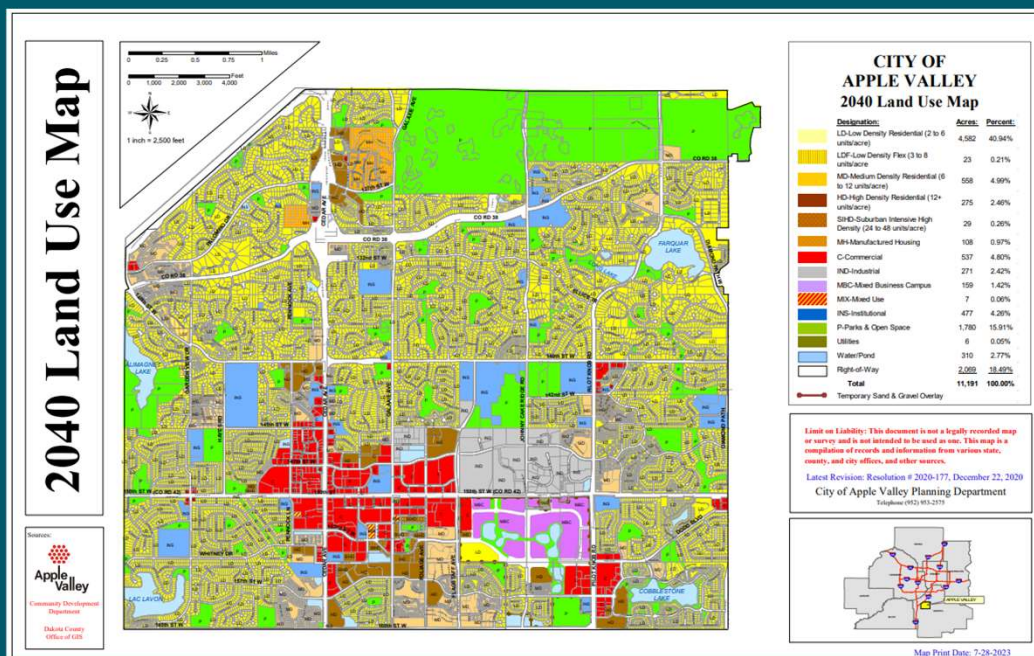
	Residential & Apartments	Commercial/ Industrial	Ratio C/I to Housing
Apple Valley	\$7,493,656,865	\$780,181,200	10.41%
Burnsville	\$7,501,924,137	\$1,984,718,000	26.46%
Eagan	\$10,170,683,639	\$3,082,749,900	30.31%
Lakeville	\$11,980,348,876	\$1,550,500,100	12.94%
Rosemount	\$4,480,959,981	\$599,898,800	13.39%

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## Dakota County Comparison of Commercial/Industrial Value Per Capita 2024

	Population	Commercial/ Industrial	Ratio C/I to Population
Apple Valley	56,252	\$780,181,200	\$13,869
Burnsville	65,327	\$1,984,718,000	\$30,381
Eagan	69,299	\$3,082,749,900	\$44,485
Lakeville	75,217	\$1,550,500,100	\$20,614
Rosemount	26,965	\$599,898,800	\$22,247

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## What's Next?

- Bills already heard in the House Housing Finance and Policy Committee and the Senate Housing and Homelessness Prevention Committee.
- Bills were scheduled to be heard by House Elections Finance and Government Operations Committee and the Senate State and Local Government Committee prior to upcoming legislative deadline of April 4- MEETING WAS CANCELLED.
- Bills technically did not meet legislative committee deadlines.
- Provisions from any of the bills could be amended onto other bills as they get negotiated in the weeks ahead.
- Legislature adjournment on May 19.

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## Apple Valley Legislative Delegation



Senator  
District 56  
Erin Maye Quade  
651-296-4120  
[Sen.Erin.Mayequade@mnsenate.gov](mailto:Sen.Erin.Mayequade@mnsenate.gov)



Representative  
District 56A  
Robert Bierman  
651-296-5506  
[Rep.Robert.Bierman@House.mn.gov](mailto:Rep.Robert.Bierman@House.mn.gov)



Representative  
District 56B  
John Huot  
651-296-4306  
[Rep.John.Huot@House.mn.gov](mailto:Rep.John.Huot@House.mn.gov)

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# Discussion





ITEM:

3.

COUNCIL MEETING DATE:

April 10, 2025

SECTION:

Informal Agenda Item

**Description:**

Parks Referendum Update (10 min.)

**Staff Contact:**

Eric Carlson, Parks & Recreation Director

**Department / Division:**

Parks and Recreation Department

**ACTION REQUESTED:**

No action is required at this time. Staff will present information on several upcoming parks referendum projects and would welcome feedback from the City Council.

**SUMMARY:**

Staff will provide an update on the following projects:

- Neighborhood Park Improvements
- Hayes Athletic Complex
- Redwood Park
- Kelley Park
- Cobblestone Trail Project
- North Creek Regional Greenway (JCRPW/EVHS)
- Johnny Cake Ridge Park West Pickleball Courts
- Skate Park
- Splash Valley Water Park
- AVCC/AVSC
- Financial

**BACKGROUND:**

For the last several years, the City of Apple Valley has worked with the community to determine the future needs and desires residents have for parks and recreation services. In November 2023, Apple Valley voters approved two separate questions in a special election, authorizing a total of \$73.25 million to invest in parks, trails, natural resources, Kelley Park, Redwood Park, Hayes Arena, the Apple Valley Family Aquatic Center, the Apple Valley Community Center and Senior Center, a youth baseball/softball complex at Hayes Park, and a community pool at Redwood Park.

It will take four to six years to implement the improvements approved by voters. As we develop projects, we will involve residents in the planning process. Information on plans and construction progress will be provided on our website so residents can see what work is planned for each location and how the referendum dollars are being spent.

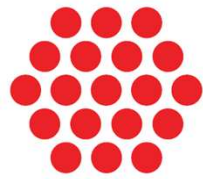
**BUDGET IMPACT:**

N/A

**ATTACHMENTS:**

Presentation





# Apple Valley Parks & Recreation

## 2023 Park Referendum Update Budget Update

April 10, 2025

City of Apple Valley – Parks & Recreation Department

*Experiences That Last A Lifetime*

1

## 2023 Park Referendum – Website/Public

Project	Budget
Hayes Arena	3,900,000
Splash Valley Water Park	8,100,000
Hayes Youth Athletic Complex	5,200,000
Redwood Park	16,100,000
Kelley Park	8,600,000
AVCC/AVSC	10,600,000
Trails	2,000,000
Natural Areas	2,000,000
Parks	16,750,000
	<b>73,250,000</b>



4/11/2025



Apple Valley – Parks & Recreation – Experiences That Last A Lifetime

2

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## 2023 Park Referendum – w/Financing

Project	Budget
Hayes Arena	2,600,000
Splash Valley Water Park	8,100,000
Hayes Youth Athletic Complex	5,200,000
Redwood Park	16,100,000
Kelley Park	8,600,000
AVCC/AVSC	10,600,000
Trails	2,000,000
Natural Areas	2,000,000
Parks	16,750,000
Financing	1,300,000
	<b>73,250,000</b>



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Apple Valley – Parks &amp; Recreation – Experiences That Last a Lifetime

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## Park Amenity Study

Playgrounds	\$5,000,000
Basketball Courts	\$500,000
Tennis Courts	\$2,800,000
Backstops	\$1,300,000
Parking Lots	\$2,200,000
Pickleball Courts	\$1,000,000
Skate Park	\$1,000,000
Park Signage	\$1,000,000
Lighting	\$1,700,000
Trails	\$2,800,000
Irrigation	\$1,200,000
Miscellaneous	\$400,000
Consultants	\$2,500,000
<b>Total</b>	<b>\$23,400,000</b>



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Apple Valley – Parks &amp; Recreation – Experiences That Last a Lifetime

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## Signature Projects

Project	Budget	Anticipated	Difference
Hayes Arena	\$2,600,000	<b>\$2,600,000</b>	\$0
Splash Valley Water Park	\$8,200,000	<b>\$7,700,000</b>	\$500,000
Hayes Youth Athletic Complex	\$5,200,000	<b>\$7,400,000</b>	(\$2,200,000)
Redwood Park	\$16,100,000	<b>\$15,300,000</b>	\$800,000
Kelley Park	\$8,600,000	\$11,300,000	(\$2,700,000)
AVCC/AVSC	\$10,600,000	\$10,600,000	\$0
Natural Areas	\$2,000,000	\$2,000,000	\$0
<b>Total</b>	<b>\$53,300,000</b>	<b>\$56,900,000</b>	<b>(\$3,600,000)</b>

REDWOOD PARK POOL &amp; BATHHOUSE | PATIO



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Apple Valley – Parks &amp; Recreation – Experiences That Last a Lifetime

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## Signature Projects

Project	Budget	Anticipated	Difference
Hayes Arena	\$2,600,000	<b>\$2,600,000</b>	\$0
Splash Valley Water Park	\$8,200,000	<b>\$7,700,000</b>	\$500,000
Hayes Youth Athletic Complex	\$5,200,000	<b>\$7,400,000</b>	(\$2,200,000)
Redwood Park	\$16,100,000	<b>\$15,300,000</b>	\$800,000
<b>Kelley Park</b>	<b>\$8,600,000</b>	<b>\$11,300,000</b>	<b>(\$2,700,000)</b>
<b>AVCC/AVSC</b>	<b>\$10,600,000</b>	<b>\$10,600,000</b>	<b>\$0</b>
Natural Areas	\$2,000,000	\$2,000,000	\$0
<b>Total</b>	<b>\$53,300,000</b>	<b>\$56,900,000</b>	<b>(\$3,600,000)</b>

REDWOOD PARK POOL &amp; BATHHOUSE | POOL



4/11/2025



Apple Valley – Parks &amp; Recreation – Experiences That Last a Lifetime

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## Park/Trail Projects

Project	Budget	Anticipated	Difference
Playgrounds	\$5,000,000	\$5,040,000	(\$40,000)
Basketball	\$500,000	\$500,000	\$0
Tennis	\$2,800,000	\$2,518,000	\$282,000
Backstops	\$1,300,000	\$1,245,000	\$55,000
Parking	\$2,200,000	\$300,000	\$1,900,000
Pickleball	\$1,250,000	\$770,000	\$480,000
Skate Park	\$1,000,000	\$1,000,000	\$0
Park Signs	\$1,000,000	\$1,000,000	\$0
Lighting	\$1,700,000	\$1,620,000	\$80,000
Trails	\$2,000,000	\$3,820,000	(\$1,820,000)
Irrigation	\$1,200,000	\$1,200,000	\$0
Miscellaneous		\$608,000	(\$608,000)
Consultants		\$2,300,000	\$2,300,000
Finance		\$925,000	(\$925,000)
<b>Total</b>	<b>\$19,950,000</b>	<b>\$22,846,000</b>	<b>(\$2,896,000)</b>

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Apple Valley – Parks &amp; Recreation – Experiences That Last a Lifetime

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## Park/Trail Projects

Project	Budget	Anticipated	Difference
Playgrounds	\$5,000,000	\$5,040,000	(\$40,000)
Basketball	\$500,000	\$500,000	\$0
Tennis	\$2,800,000	\$2,518,000	\$282,000
Backstops	\$1,300,000	\$1,245,000	\$55,000
<b>Parking</b>	<b>\$2,200,000</b>	<b>\$300,000</b>	<b>\$1,900,000</b>
Pickleball	\$1,250,000	\$770,000	\$480,000
Skate Park	\$1,000,000	\$1,000,000	\$0
Park Signs	\$1,000,000	\$1,000,000	\$0
<b>Lighting</b>	<b>\$1,700,000</b>	<b>\$1,620,000</b>	<b>\$80,000</b>
Trails	\$2,000,000	\$3,820,000	(\$1,820,000)
Irrigation	\$1,200,000	\$1,200,000	\$0
Miscellaneous		\$608,000	(\$608,000)
Consultants		\$2,300,000	\$2,300,000
Finance		\$925,000	(\$925,000)
<b>Total</b>	<b>\$19,950,000</b>	<b>\$22,846,000</b>	<b>(\$2,896,000)</b>

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Apple Valley – Parks &amp; Recreation – Experiences That Last a Lifetime

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## All Projects

Project	Budget	Anticipated	Difference
Hayes Arena	\$2,600,000	\$2,600,000	\$0
Splash Valley Water Park	\$8,200,000	\$7,700,000	\$500,000
Hayes Youth Athletic Complex	\$5,200,000	\$7,400,000	(\$2,200,000)
Redwood Park	\$16,100,000	\$15,300,000	\$800,000
Kelley Park	\$8,600,000	\$11,300,000	(\$2,700,000)
AVCC/AVSC	\$10,600,000	\$10,600,000	\$0
Natural Areas	\$2,000,000	\$2,000,000	\$0
Parks	\$17,950,000	\$18,101,000	(\$151,000)
Trails	\$2,000,000	\$3,820,000	(\$1,820,000)
Financing		\$925,000	(\$925,000)
<b>Total</b>	<b>\$73,250,000</b>	<b>\$79,746,000</b>	<b>(\$6,496,000)</b>



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Apple Valley – Parks &amp; Recreation – Experiences That Last a Lifetime

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## All Projects

Project	Budget	Anticipated	Difference
Hayes Arena	\$2,600,000	\$2,600,000	\$0
Splash Valley Water Park	\$8,200,000	\$7,700,000	\$500,000
Hayes Youth Athletic Complex	\$5,200,000	\$7,400,000	(\$2,200,000)
Redwood Park	\$16,100,000	\$15,300,000	\$800,000
Kelley Park	\$8,600,000	\$11,300,000	(\$2,700,000)
AVCC/AVSC	\$10,600,000	\$10,600,000	\$0
Natural Areas	\$2,000,000	\$2,000,000	\$0
Parks	\$17,950,000	\$18,101,000	(\$151,000)
Trails	\$2,000,000	\$3,820,000	(\$1,820,000)
Financing		\$925,000	(\$925,000)
<b>Total</b>	<b>\$73,250,000</b>	<b>\$79,746,000</b>	<b>(\$6,496,000)</b>



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Apple Valley – Parks &amp; Recreation – Experiences That Last a Lifetime

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## Funding Sources

	Amount
2024 Bond Sales	\$16,000,000
2025 Bond Sales	\$29,000,000
2026 Bond Sales	\$28,250,000
Bond Premium	\$1,000,000
Grants	\$1,867,891
Interest Earnings	\$1,175,000
Park Dedication	\$2,300,000
Miscellaneous	\$2,295,000
<b>Total</b>	<b>\$81,887,891</b>



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 Apple Valley – Parks & Recreation – Experiences That Last a Lifetime

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## Financial Recap

Project	Budget	Anticipated	Difference
Hayes Arena	\$2,600,000	\$2,600,000	\$0
Splash Valley Water Park	\$8,200,000	\$7,700,000	\$500,000
Hayes Youth Athletic Complex	\$5,200,000	\$7,400,000	(\$2,200,000)
Redwood Park	\$16,100,000	\$15,300,000	\$800,000
Kelley Park	\$8,600,000	\$11,300,000	(\$2,700,000)
AVCC/AVSC	\$10,600,000	\$10,600,000	\$0
Natural Areas	\$2,000,000	\$2,000,000	\$0
Parks	\$17,950,000	\$18,101,000	(\$151,000)
Trails	\$2,000,000	\$3,820,000	(\$1,820,000)
Financing		\$925,000	(\$925,000)
<b>Total</b>	<b>\$73,250,000</b>	<b>\$79,746,000</b>	<b>(\$6,496,000)</b>
<b>Funding Available</b>		<b>\$81,887,891</b>	
<b>Balance</b>		<b>\$2,141,891</b>	

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 Apple Valley – Parks & Recreation – Experiences That Last a Lifetime

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## Financial Recap

Project	Budget	Anticipated	Difference
Hayes Arena	\$2,600,000	\$2,600,000	\$0
Splash Valley Water Park	\$8,200,000	\$7,700,000	\$500,000
Hayes Youth Athletic Complex	\$5,200,000	\$7,400,000	(\$2,200,000)
Redwood Park	\$16,100,000	\$15,300,000	\$800,000
Kelley Park	\$8,600,000	\$11,300,000	(\$2,700,000)
AVCC/AVSC	\$10,600,000	\$10,600,000	\$0
Natural Areas	\$2,000,000	\$2,000,000	\$0
Parks	\$17,950,000	\$18,101,000	(\$151,000)
Trails	\$2,000,000	\$3,820,000	(\$1,820,000)
Financing		\$925,000	(\$925,000)
<b>Total</b>	<b>\$73,250,000</b>	<b>\$79,746,000</b>	<b>(\$6,496,000)</b>
<b>Funding Available</b>		<b>\$81,887,891</b>	
<b>Balance</b>		<b>\$2,141,891</b>	

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Apple Valley – Parks &amp; Recreation – Experiences That Last a Lifetime

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# Questions?

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ITEM:  
COUNCIL MEETING DATE:  
SECTION:

4.  
April 10, 2025  
Informal Agenda Item

**Description:**

Airport Runway Construction Update (5 min.)

**Staff Contact:**

Charles Grawe, Assistant City Administrator

**Department / Division:**

Administration Department

**ACTION REQUESTED:**

N/A

**SUMMARY:**

Council will receive an update regarding upcoming construction at Minneapolis-St. Paul International Airport. This year, Runway 12R-30L (South Parallel Runway) will be closed for two periods, April 14 to May 23 and August 18 to September 26. These runway closure periods will alter aircraft arrival and departure procedures and will redistribute aircraft overflights and associated noise over surrounding communities, including Apple Valley.

**BACKGROUND:**

N/A

**BUDGET IMPACT:**

N/A

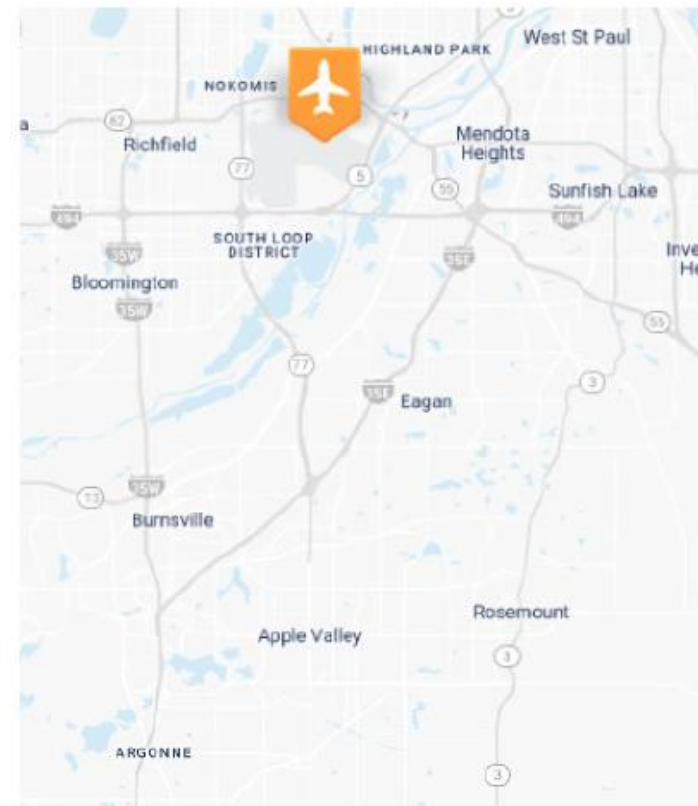
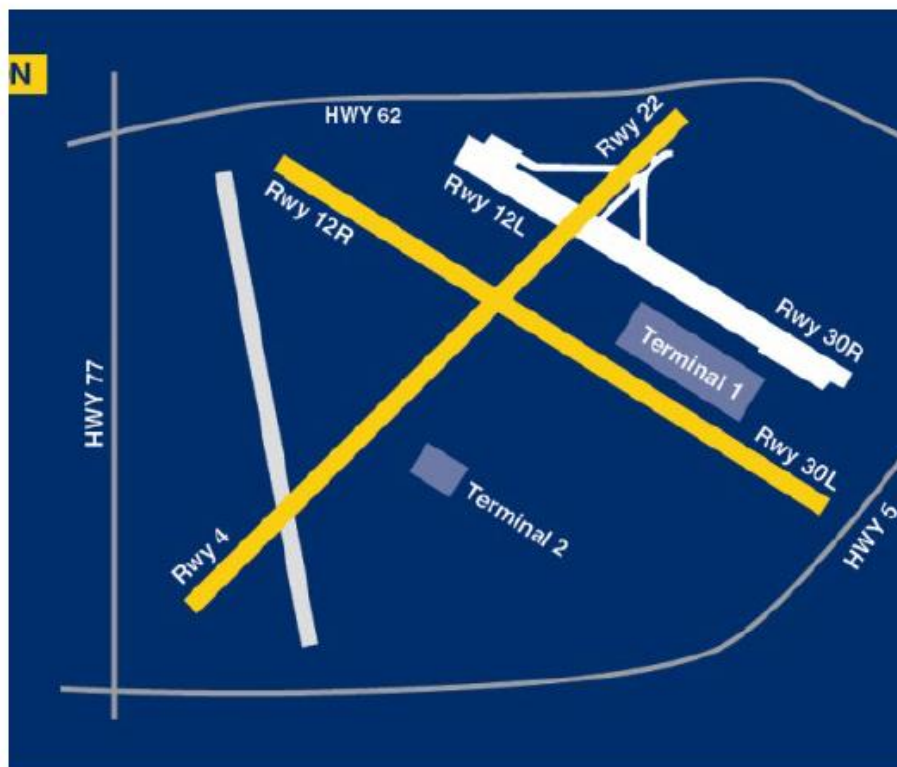
**ATTACHMENTS:**

Map



# MSP Runway Construction

South Parallel Runway Closed April 14<sup>th</sup> to May 23<sup>rd</sup> and August 18<sup>th</sup> to September 26<sup>th</sup>





ITEM:  
COUNCIL MEETING DATE:  
SECTION:

4.A.  
April 10, 2025  
Consent Agenda

<b>Description:</b>	
Approve Minutes of March 27, 2025, Regular Meeting	
<b>Staff Contact:</b>	<b>Department / Division:</b>
Christina M. Scipioni, City Clerk	City Clerk's Office

**ACTION REQUESTED:**

Approve the minutes of the regular meeting of March 27, 2025.

**SUMMARY:**

The minutes from the last regular City Council meeting are attached for review and approval.

**BACKGROUND:**

State statute requires the creation and preservation of meeting minutes which document the official actions and proceedings of public governing bodies.

**BUDGET IMPACT:**

N/A

**ATTACHMENTS:**

Minutes

CITY OF APPLE VALLEY  
Dakota County, Minnesota  
March 27, 2025

Minutes of the regular meeting of the City Council of Apple Valley, Dakota County, Minnesota, held March 27, 2025, at 7:00 p.m., at Apple Valley Municipal Center.

PRESENT: Mayor Hooppaw; Councilmembers Bergman, Grendahl, and Hiebert.

ABSENT: Councilmember Melander.

City staff members present were: City Administrator Lawell, City Clerk Scipioni, City Attorney Hills, Parks and Recreation Director Carlson, Police Chief Francis, Human Resources Manager Haefner, Finance Director Hedberg, Fire Chief Nelson, Public Works Director Saam, and Associate Planner Stroeing.

Mayor Hooppaw called the meeting to order at 7:00 p.m. Everyone took part in the Pledge of Allegiance to the flag.

#### APPROVAL OF AGENDA

MOTION: of Grendahl, seconded by Hiebert, approving the agenda for tonight's meeting, as presented. Ayes - 4 - Nays - 0.

#### AUDIENCE

Mayor Hooppaw asked if anyone was present to address the Council, at this time, on any item not on this meeting's agenda. No one requested to speak.

#### CONSENT AGENDA

Mayor Hooppaw asked if the Council or anyone in the audience wished to pull any item from the consent agenda. There were no requests.

MOTION: of Bergman, seconded by Grendahl, approving all items on the consent agenda with no exceptions. Ayes - 4 - Nays - 0.

#### CONSENT AGENDA ITEMS

MOTION: of Bergman, seconded by Grendahl, approving the minutes of the regular meeting of March 13, 2025, as written. Ayes - 4 - Nays - 0.

MOTION: of Bergman, seconded by Grendahl, proclaiming June 16-22, 2025, as "Mayor's Monarch Pledge Week", and encouraging citizens to participate in pollinator planting that will ensure habitat to nurture and protect monarchs and other pollinators. Ayes - 4 - Nays - 0.

MOTION: of Bergman, seconded by Grendahl, approving renewal of the City's general liability, property, automobile, workers' compensation, umbrella, and other insurance coverage for March 1, 2025, through March 1, 2026, with the League of

Minnesota Cities Insurance Trust at a total premium and agency fee of \$1,554,053.00, as recommended in the Finance Director's memo. Ayes - 4 - Nays - 0.

MOTION: of Bergman, seconded by Grendahl, approving the Sale and Purchase Agreement and Repurchase Agreement with Northland Real Estate Group, LLC, for the sale of Lot 2, Block 1, Fraser Addition. Ayes - 4 - Nays - 0.

MOTION: of Bergman, seconded by Grendahl, adopting **Resolution No. 2025-42** setting a public hearing, at 7:00 p.m., on April 24, 2025, to consider vacating easements on Outlot A, Orchard Place 4th Addition. Ayes - 4 - Nays - 0.

MOTION: of Bergman, seconded by Grendahl, adopting **Resolution No. 2025-43** approving a one-year extension of site plan/building permit authorization and conditional use permit for Les Schwab Tires Development. Ayes - 4 - Nays - 0.

MOTION: of Bergman, seconded by Grendahl, adopting **Resolution No. 2025-44** approving the continuation of cooperative agreement for the Dakota County Community Development Block Grant (CDBG), HOME Investment Partnership, and Emergency Solutions Grant (ESG) Programs for Fiscal Years 2026 through 2028. Ayes - 4 - Nays - 0.

MOTION: of Bergman, seconded by Grendahl, approving the Local Affordable Housing Aid Joint Powers Agreement with Dakota County Community Development Agency, as attached to the Community Development Director's memo, and authorizing the Mayor and City Clerk to sign the same. Ayes - 4 - Nays - 0.

MOTION: of Bergman, seconded by Grendahl, adopting **Resolution No. 2025-45** directing the City Engineer to prepare plans and specifications for Project 2025-101E, 2025 Street and Utility Improvements (Apple Streets Electrical Conversion Phase 1). Ayes - 4 - Nays - 0.

MOTION: of Bergman, seconded by Grendahl, approving continuation of the Commission/Committee Recognition Program, allowing each non-staff member of the Cemetery Advisory Committee, Parks and Recreation Advisory Committee, Planning Commission, Telecommunications Advisory Committee, Traffic Safety Advisory Committee, and Urban Affairs Advisory Committee to receive up to \$720.00 of parks and recreation services, for 2025, as described in the Park and Recreation Director's memo. Ayes - 4 - Nays - 0.

MOTION: of Bergman, seconded by Grendahl, adopting **Resolution No. 2025-46** ordering preparation of the feasibility study for Project 2025-110, Ellice Trail (Johnny Cake Ridge Road to CSAH31) Improvements. Ayes - 4 - Nays - 0.

CITY OF APPLE VALLEY

Dakota County, Minnesota

March 27, 2025

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- MOTION: of Bergman, seconded by Grendahl, approving bidder qualification selection criteria for Project 2024-190, Kelley Park Renovation (2023 Parks Bond Referendum). Ayes - 4 - Nays - 0.
- MOTION: of Bergman, seconded by Grendahl, approving procedures for contract change orders for Project 2024-188, Youth Baseball/Softball Complex Construction (2023 Parks Bond Referendum). Ayes - 4 - Nays - 0.
- MOTION: of Bergman, seconded by Grendahl, approving procedures for contract change orders for Project 2024-189, Redwood Park Reconstruction (2023 Parks Bond Referendum). Ayes - 4 - Nays - 0.
- MOTION: of Bergman, seconded by Grendahl, approving the Purchase Order for Project 2024-189, Redwood Park Reconstruction, with Landscape Structures, Inc., for inclusive playground equipment in the amount of \$1,379,922.59, and authorizing the Mayor and City Clerk to sign the same. (2023 Parks Bond Referendum) Ayes - 4 - Nays - 0.
- MOTION: of Bergman, seconded by Grendahl, approving the Agreement for Project 2024-189, Redwood Park Reconstruction, with Sawtooth Holdings, Inc., d/b/a Flagship Recreation for inclusive playground installation services, in the amount of \$699,239.69, and authorizing the Mayor and City Clerk to sign the same. (2023 Parks Bond Referendum) Ayes - 5 - Nays - 0.
- MOTION: of Bergman, seconded by Grendahl, approving the proposal for Project 2024-189, Redwood Park Reconstruction with VCI Environmental, Inc., for hazardous material abatement services, in the amount of \$6,980.00, and authorizing the Mayor and City Clerk to sign the same. (2023 Parks Bond Referendum) Ayes - 5 - Nays - 0.
- MOTION: of Bergman, seconded by Grendahl, approving the Agreement for Project 2024-153, Pickleball Court Expansion at JCRPW, with Kunkel Electric, for lighting installation, in the amount of \$87,900.00, and authorizing the Mayor and City Clerk to sign the same. (2023 Parks Bond Referendum) Ayes - 5 - Nays - 0.
- MOTION: of Bergman, seconded by Grendahl, approving the Local Trail Connections Grant Agreement for Project 2024-158, Cobblestone Lake Park Trail Improvements with Minnesota Department of Natural Resources, in the amount of \$250,000.00, and authorizing the Mayor and City Clerk to sign the same. (2023 Parks Bond Referendum) Ayes - 5 - Nays - 0.
- MOTION: of Bergman, seconded by Grendahl, approving the Agreement for Project 2025-146, 2025 Outdoor Pool Water Management, with Hawkins, Inc., in the amount of \$74,500.00, and authorizing the Mayor and City Clerk to sign the same. Ayes - 5 - Nays - 0.

CITY OF APPLE VALLEY

Dakota County, Minnesota

March 27, 2025

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MOTION: of Bergman, seconded by Grendahl, adopting **Resolution No. 2025-47** awarding the agreement for Project 2025-101, 2025 Street and Utility Improvements (Apple Streets Phase 1), to McNamara Contracting, Inc., the lowest responsible bidder, in the amount of \$3,451,553.00. Ayes - 5 - Nays - 0.

MOTION: of Bergman, seconded by Grendahl, awarding agreements for the 2025 South Metro Cities Joint Powers Agreement for Project 2025-119, Street Maintenance JPA, to the lowest responsible bidders, in the amount of \$335,919.00, as attached to the Public Works Superintendent's - Streets, memo. Ayes - 5 - Nays - 0.

MOTION: of Bergman, seconded by Grendahl, approving Change Order No. 28 to the agreement with Terra General Contractors, LLC, d/b/a Terra Construction, for Project 2024-187, Family Aquatic Center Improvements, in the amount of an additional \$31,299.00. (2023 Parks Bond Referendum) Ayes - 4 - Nays - 0.

MOTION: of Bergman, seconded by Grendahl, approving Change Order No. 25 to the agreement with Terra General Contractors, LLC, d/b/a Terra Construction, for Project 2024-187, Family Aquatic Center Improvements (2023 Parks Bond Referendum), in the amount of an additional \$7,693.00. Ayes - 4 - Nays - 0.

MOTION: of Bergman, seconded by Grendahl, approving Change Order No. 26 to the agreement with Terra General Contractors, LLC, d/b/a Terra Construction, for Project 2024-187, Family Aquatic Center Improvements (2023 Parks Bond Referendum), in the amount of an additional \$6,050.00. Ayes - 4 - Nays - 0.

MOTION: of Bergman, seconded by Grendahl, approving Change Order No. 27 to the agreement with Terra General Contractors, LLC, d/b/a Terra Construction, for Project 2024-187, Family Aquatic Center Improvements (2023 Parks Bond Referendum), in the amount of an additional \$6,351.00. Ayes - 4 - Nays - 0.

MOTION: of Bergman, seconded by Grendahl, approving Change Order No. 29 to the agreement with Terra General Contractors, LLC, d/b/a Terra Construction, for Project 2024-187, Family Aquatic Center Improvements (2023 Parks Bond Referendum), in the amount of an additional \$17,077.00. Ayes - 4 - Nays - 0.

MOTION: of Bergman, seconded by Grendahl, approving Change Order No. 30 to the agreement with Terra General Contractors, LLC, d/b/a Terra Construction, for Project 2024-187, Family Aquatic Center Improvements (2023 Parks Bond Referendum), in the amount of a deduction \$400.00. Ayes - 4 - Nays - 0.

MOTION: of Bergman, seconded by Grendahl, accepting Project 2017-109, JCRR Improvements, as complete and authorizing final payment on the agreement with McNamara Contracting, Inc., in the amount of \$9,607.00. Ayes - 5 - Nays - 0.

MOTION: of Bergman, seconded by Grendahl, accepting Project 2024-139, 2024 Outdoor Pool Water Management, as complete and authorizing final payment on the contract with Hawkins, Inc., in the amount of \$29,620.83. Ayes - 5 - Nays - 0.

MOTION: of Bergman, seconded by Grendahl, approving the personnel actions as listed in the Personnel Report dated March 27, 2025. Ayes - 4 - Nays - 0.

MOTION: of Bergman, seconded by Grendahl, to pay the claims and bills, check registers dated March 6, 2025, in the amount of \$1,392,549.42, and March 12, 2025, in the amount of \$1,004,150.42. Ayes - 4 - Nays - 0.

#### END OF CONSENT AGENDA

#### PROCLAIM “ARBOR DAY” AND “ARBOR MONTH”

Mr. Saam introduced the proclamation for Arbor Day and Arbor Month. He noted the City Council would be holding a joint tree planting with members of the Dakota Electric Association Board on Thursday, May 8 at 5 p.m. at Diamond Path Park.

MOTION: of Grendahl, seconded by Hiebert, to proclaim April 25, 2025 as “Arbor Day” and May 2025 as “Arbor Month”. Ayes - 4 - Nays - 0.

#### RESOLUTION SUPPORTING RETENTION OF LOCAL ZONING AUTHORITY AND OPPOSING PROPOSED LEGISLATION

Mr. Lawell presented information regarding several bills currently under consideration by the Minnesota Legislature that would limit long-standing city authority over land use and development. The bills include: SF 2229 / HF 1987 (“Minnesota Starter Home Act”), SF 2231 / HF 2140 (“More Homes Right Places Act”), SF 2286 / HF 2018 (“Transforming Main Street Act”), and SF 1268 / HF 1309 (“People Over Parking Act”).

Council discussion followed.

MOTION: of Bergman, seconded by Grendahl, adopting **Resolution No. 2025-48** supporting retention of city zoning authority and opposing proposed legislation seeking to limit local land use decision making. Ayes - 4 - Nays - 0.

Mr. Tom Goodwin, 13015 Garvin Brook Lane, spoke in opposition to the proposed legislation and in support of the City Council resolution.

#### COMMUNICATIONS

Mr. Lawell stated the Nordstrom Rack grand opening is Thursday, April 3 at 8 a.m. The Apple Valley Home and Garden Expo is on April 12 from 9 a.m. to 3 p.m. at Eastview High School.

Mayor Hooppaw stated he attended the grand opening of Urban Air.

Councilmember Bergman commended the Parks and Recreation Department for all the projects they are currently undertaking.

Mr. Carlson summarized the projects currently underway, which include a park signage update, Splash Valley Waterpark improvements, Redwood Park improvements, Hayes Youth Baseball/Softball Complex reconstruction, Kelley Park Improvements, Cobblestone Park trail resurfacing, pickleball court expansion, skate park construction, and five neighborhood park projects.

#### CALENDAR OF UPCOMING EVENTS

MOTION: of Grendahl, seconded by Hiebert, approving the calendar of upcoming events as included in the Deputy City Clerk's memo, and noting that each event listed is hereby deemed a Special Meeting of the City Council. Ayes - 4 - Nays - 0.

MOTION: of Grendahl, seconded by Hiebert, to adjourn. Ayes - 4 - Nays - 0.

The meeting was adjourned at 7:53 p.m.

Respectfully Submitted,

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Christina M. Scipioni, City Clerk

Approved by the Apple Valley City Council  
on April 10, 2025.

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Clint Hooppaw, Mayor





ITEM:  
COUNCIL MEETING DATE:  
SECTION:

4.B.  
April 10, 2025  
Consent Agenda

**Description:**

Adopt Resolution Setting Public Hearing at 7:00 p.m. on May 8, 2025, for 2025 Special Assessment Roll No. 697 - Delinquent Utilities

**Staff Contact:**

Joe Rotz, Assistant Finance Director

**Department / Division:**

Finance Department

**ACTION REQUESTED:**

Motion to adopt the resolution approving 2025 Special Assessment Roll No. 697, for hearing purposes, in the total amount of \$163,625.43 for delinquent utility charges, and setting the public hearing, at 7:00 p.m., on May 8, 2025.

**SUMMARY:**

Attached are the public hearing documents for the 2025 Special Assessment Roll No. 697 for delinquent utility account charges. In addition to water and sewer charges, the utility account may also include charges for mowing and/or snow removal. The Council is asked to adopt a resolution calling for a public hearing to be held May 8, 2025. Attached to the resolution is a list of delinquent accounts that will receive a certification notice notifying them of the hearing date and of the proposed certification amount.

**BACKGROUND:**

The process followed is to complete a certification process of delinquent accounts twice per year. This twice-per-year process is unusual for metro area cities but protects the City by accelerating the process of establishing the unpaid amounts as a lien on the property and avoiding issues that may arise by properties changing hands or property owners filing bankruptcy. The certification process also serves as the City's collection process.

The spring certification process started with 581 letters being sent February 25, 2025, to all customers who had a delinquent balance, notifying them that if the account was not paid by March 19, 2025, the delinquent amounts would be included in the certification process for collection. Once this payment deadline passed, a list of 394 remaining unpaid delinquent accounts was prepared on March 25, 2025. This list now includes 394 accounts for the certification process. Following the Council calling for a public hearing, a certification letter will be sent to the delinquent accounts notifying them of the public hearing and the proposed certification amount. Following the public hearing on May 8, 2025, and Council adoption of an assessment roll, property owners will have 30 days to pay at City offices prior to the list being certified to the county for collection.

Currently, the total amount of the proposed assessment is \$163,625.43 and represents 394 accounts. This amount is lower than the Fall 2024 certification total of \$168,058.17 which included 443 accounts. It is more than the spring 2024 amount of \$160,685 which included 379 accounts.

History of recent certifications:

		Amount Certified	Number of Accounts	Average
2025	Spring	\$163,625	394	\$415
2024	Fall	\$168,058	443	\$379
2024	Spring	\$160,685	379	\$424
2023	Fall	\$151,034	407	\$371
2023	Spring	\$118,311	253	\$468
2022	Fall	\$160,525	416	\$385
2022	Spring	\$146,264	333	\$439
2021	Fall	\$143,688	398	\$361
2021	Spring	\$133,045	385	\$346
2020	Fall	\$139,379	451	\$309
2020	Spring	\$115,688	429	\$270

**BUDGET IMPACT:**

The ultimate adoption of the assessment roll and the collection of the certified amounts will result in avoiding the writing off of \$163,625.43 of previously billed utility revenues.

**ATTACHMENTS:**

Resolution  
Exhibit  
Exhibit

EXTRACT OF MINUTES OF MEETING  
OF THE CITY COUNCIL OF THE  
CITY OF APPLE VALLEY, DAKOTA COUNTY  
MINNESOTA, HELD ON APRIL 10, 2025

Pursuant to due call and notice thereof, a regular meeting of the City Council of the City of Apple Valley, Dakota County, Minnesota, was held at the Municipal Center in said municipality on the 10th day of April 2025, at 7:00 o'clock p.m.

The following members were present:

and the following were absent:

\* \* \* \* \*

The Assistant Finance Director presented proposed assessment roll 697 with a copy being attached here to as Exhibit B.

The Assistant Finance Director stated that the foregoing assessment roll was prepared by finance department staff, in accordance with the instructions of the Council. The Council reviewed the assessment roll and ordered that it be placed on file and open to public inspection in the office of the City Clerk.

Member XXX introduced Resolution No. 2025-xx and moved its adoption:

CITY OF APPLE VALLEY  
RESOLUTION NO. 2025-

RESOLUTION PROVIDING FOR PUBLIC HEARING ON SPECIAL ASSESSMENTS

BE IT RESOLVED by the City Council of the City of Apple Valley, Dakota County, Minnesota, as follows:

1. The assessment roll, as set forth in Exhibit B of this Resolution and as now on file in the office of the Clerk, are hereby approved as proposed assessments for said delinquent utility account charges. The Council shall meet at the Apple Valley Municipal Center on the 8th day of May, 2025, starting at 7:00 o'clock p.m. for the purpose of passing upon said assessments and hearing all objections thereto.

2. The Clerk is hereby authorized and directed to cause notices of said meeting to be mailed, as provided by law, and to be published once in the City's official newspaper, no less than two (2) weeks before the date of said meeting, which notices shall be in substantially the following form:

SEE FORM ATTACHED AS EXHIBIT A

3. Each and all of the terms and provisions of said form of notice are hereby adopted as the terms and conditions by which the Council shall be governed in hearing and passing upon the objections to said assessments, as fully as though the same were separately set forth and resolved herein.

ADOPTED this 10th day of April, 2025.

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Clint Hooppaw, Mayor

ATTEST:

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Christina M. Scipioni, City Clerk

\* \* \* \* \*

The motion for the adoption of the foregoing Resolution was duly seconded by Member  
XXX upon a vote being taken thereon, the following voted in favor:

and the following voted against the same:

**Exhibit A**  
**RESOLUTION NUMBER 2025-**  
**NOTICE OF PUBLIC HEARING ON PROPOSED ASSESSMENT ROLLS IN THE**  
**CITY OF APPLE VALLEY, DAKOTA COUNTY, MINNESOTA**

NOTICE IS HEREBY GIVEN that the City Council of the City of Apple Valley will meet at the Municipal Center, 7100 147th Street W., or by electronic means, on the 8th of May, 2025, at 7:00 o'clock p.m., or as soon thereafter as possible, to hear and pass upon all objections, if any, to the proposed assessments for delinquent water/sewer charges as hereinafter described.

The proposed assessment roll is on file with the Clerk and open to public inspection by all persons interested therein. The assessments against each piece of property will be payable, unless prepaid, in one installment as hereinafter described. The installment is to be payable with the general taxes collectible during the year 2026. Interest shall be added at the per annum rate specified on the entire assessment from the date of the resolution levying the assessment until December 31, 2026.

The assessment may be prepaid to the Apple Valley City Clerk, without interest within thirty (30) days following the date of adoption.

<u>Roll 697 - One (1) Installment at 8.0%</u>	<u>Amount</u>
011035025040 ACADEMY VILLAGE	\$413.38
011035030004 ACADEMY VILLAGE	\$286.84
011035080440 ACADEMY VILLAGE	\$471.35
011040001020 ACORN HILL	\$157.70
011165003210 APPLE PONDS	\$429.55
011165004040 APPLE PONDS	\$460.92
011165101030 APPLE PONDS 2ND ADDITION	\$660.19
011165104130 APPLE PONDS 2ND ADDITION	\$324.16
011165105010 APPLE PONDS 2ND ADDITION	\$507.41
011165201050 APPLE PONDS 3RD	\$497.06
011165202120 APPLE PONDS 3RD	\$114.73
011170001210 APPLE VALLEY	\$751.87
011170901020 APPLE VALLEY 10TH ADDITION	\$392.89
011170907030 APPLE VALLEY 10TH ADDITION	\$565.23
011171001080 APPLE VALLEY 11TH	\$302.91
011171001190 APPLE VALLEY 11TH	\$515.35
011171001350 APPLE VALLEY 11TH	\$477.23
011171003130 APPLE VALLEY 11TH	\$252.93
011171003170 APPLE VALLEY 11TH	\$703.99
011171101140 APPLE VALLEY 12TH ADDITION	\$329.31
011171108110 APPLE VALLEY 12TH ADDITION	\$450.29
011171201050 APPLE VALLEY 13TH ADDITION	\$280.80
011170102040 APPLE VALLEY 2ND	\$661.26
011170103090 APPLE VALLEY 2ND	\$485.09
011170103260 APPLE VALLEY 2ND	\$198.45
011170203051 APPLE VALLEY 3RD	\$543.70
011170206230 APPLE VALLEY 3RD	\$742.60
011170211110 APPLE VALLEY 3RD	\$499.46

<u>Roll 697 - One (1) Installment at 8.0%</u>	<u>Amount</u>
011170302070 APPLE VALLEY 4TH	\$485.95
011170302110 APPLE VALLEY 4TH	\$435.65
011170304090 APPLE VALLEY 4TH	\$217.13
011170304130 APPLE VALLEY 4TH	\$439.12
011170307090 APPLE VALLEY 4TH	\$302.60
011170308020 APPLE VALLEY 4TH	\$420.32
011170308180 APPLE VALLEY 4TH	\$257.91
011170309010 APPLE VALLEY 4TH	\$410.21
011170502050 APPLE VALLEY 6TH	\$205.94
011170506050 APPLE VALLEY 6TH	\$505.37
011170601090 APPLE VALLEY 7TH	\$428.95
011170604010 APPLE VALLEY 7TH	\$528.08
011170606020 APPLE VALLEY 7TH	\$1,239.00
011170607130 APPLE VALLEY 7TH	\$300.45
011170608040 APPLE VALLEY 7TH	\$339.04
011170608130 APPLE VALLEY 7TH	\$648.33
011170702010 APPLE VALLEY 8TH	\$350.19
011170706090 APPLE VALLEY 8TH	\$428.69
011170707010 APPLE VALLEY 8TH	\$388.85
011170707060 APPLE VALLEY 8TH	\$389.57
011170709070 APPLE VALLEY 8TH	\$365.85
011170712120 APPLE VALLEY 8TH	\$338.00
011170800020 APPLE VALLEY 9TH	\$675.49
011170802060 APPLE VALLEY 9TH	\$818.66
011175004120 APPLE VALLEY EAST	\$348.77
011175304020 APPLE VALLEY EAST 4TH	\$427.38
011175402010 APPLE VALLEY EAST 5TH ADD	\$235.75
011175501030 APPLE VALLEY EAST 6TH	\$284.97
011175501080 APPLE VALLEY EAST 6TH	\$376.41
011470102030 BOB'S GARDEN VIEW 2ND	\$72.30
011470103070 BOB'S GARDEN VIEW 2ND	\$459.10
011470103080 BOB'S GARDEN VIEW 2ND	\$375.18
011470103100 BOB'S GARDEN VIEW 2ND	\$465.67
011470203060 BOBS GARDEN VIEW 3RD ADD	\$172.40
011470303050 BOBS GARDEN VIEW 4TH ADD	\$455.56
011515002040 BRIAR KNOLL 1ST ADD	\$566.99
011520101070 BRIAR OAKS OF APPLE VALLEY 2ND ADDITION	\$513.14
011520105010 BRIAR OAKS OF APPLE VALLEY 2ND ADDITION	\$409.25
011520105030 BRIAR OAKS OF APPLE VALLEY 2ND ADDITION	\$541.55
011520105130 BRIAR OAKS OF APPLE VALLEY 2ND ADDITION	\$180.03
011520001060 BRIAR OAKS OF AV	\$332.70
011630003160 CARROLLTON ESTATES	\$379.45
011630003210 CARROLLTON ESTATES	\$558.17
011630003360 CARROLLTON ESTATES	\$920.15

<u>Roll 697 - One (1) Installment at 8.0%</u>	<u>Amount</u>
011630101120 CARROLLTON ESTATES 2ND	\$295.33
011630204130 CARROLLTON ESTATES 3RD ADD	\$171.13
011630303270 CARROLLTON ESTATES 4TH ADD	\$441.79
011640302140 CARROLLWOOD VILLAGE 4TH	\$326.56
011640401250 CARROLLWOOD VILLAGE 5TH	\$315.08
011658004060 CEDAR ISLE ESTATES	\$474.44
011658102130 CEDAR ISLE ESTATES 2ND	\$795.43
011659002060 CEDAR ISLE VILLAGE HOMES	\$418.57
011659102100 CEDAR ISLE VILLAGE HOMES 2ND	\$523.63
011700201090 CHATEAU ESTATES 3RD ADD	\$730.92
011715001120 CHERRY OAK ESTATES	\$488.00
011715001130 CHERRY OAK ESTATES	\$239.28
011715102040 CHERRY OAKS ESTATES 2ND	\$503.63
011715201020 CHERRY OAKS ESTATES 3RD	\$452.74
011805002060 COBBLESTONE LAKE	\$690.11
011805004100 COBBLESTONE LAKE	\$555.91
011805004160 COBBLESTONE LAKE	\$110.46
011805206030 COBBLESTONE LAKE 3RD ADD	\$478.33
011806006010 COBBLESTONE LAKE SOUTH SHORE	\$159.51
011806103010 COBBLESTONE LAKE SOUTH SHORE 2ND ADDITIO	\$81.98
011806206020 COBBLESTONE LAKE SOUTH SHORE 3RD	\$755.06
011806206070 COBBLESTONE LAKE SOUTH SHORE 3RD	\$634.64
011806207090 COBBLESTONE LAKE SOUTH SHORE 3RD	\$455.03
011810001040 COBBLESTONE LAKEVIEW	\$453.88
011810001190 COBBLESTONE LAKEVIEW	\$486.78
011807501090 COBBLESTONE MANOR	\$561.40
011807501160 COBBLESTONE MANOR	\$239.49
011807501170 COBBLESTONE MANOR	\$433.36
011807701100 COBBLESTONE MANOR 3RD	\$374.19
011807702190 COBBLESTONE MANOR 3RD	\$412.21
011815003102 COBBLESTONES I	\$451.06
011815101010 COBBLESTONES I REPLAT	\$458.22
011815101020 COBBLESTONES I REPLAT	\$380.40
011830003010 CORTLAND	\$857.29
011830404030 CORTLAND FIFTH ADDITION	\$483.08
011990002080 DELANEY PARK 1ST ADDITION	\$451.97
011990201040 DELANEY PARK 3RD	\$536.63
011990201050 DELANEY PARK 3RD	\$420.97
012050001180 DIAMOND PATH	\$408.62
012050002230 DIAMOND PATH	\$242.46
012050002250 DIAMOND PATH	\$440.24
012050002280 DIAMOND PATH	\$412.18
012050003320 DIAMOND PATH	\$188.88
012050003420 DIAMOND PATH	\$558.57

<u>Roll 697 - One (1) Installment at 8.0%</u>	<u>Amount</u>
012051101011 DIAMOND PATH 12TH ADDITION	\$365.00
012050102060 DIAMOND PATH 2ND ADDITION	\$365.66
012050104010 DIAMOND PATH 2ND ADDITION	\$570.65
012050201200 DIAMOND PATH 3RD	\$404.41
012050202070 DIAMOND PATH 3RD	\$434.03
012050205010 DIAMOND PATH 3RD	\$433.50
012050208080 DIAMOND PATH 3RD	\$445.34
012050208100 DIAMOND PATH 3RD	\$273.54
012050208110 DIAMOND PATH 3RD	\$555.22
012050208190 DIAMOND PATH 3RD	\$486.98
012050301040 DIAMOND PATH 4TH	\$447.29
012050302090 DIAMOND PATH 4TH	\$228.31
012050302160 DIAMOND PATH 4TH	\$577.60
012050302230 DIAMOND PATH 4TH	\$403.33
012050402170 DIAMOND PATH 5TH	\$475.01
012050402270 DIAMOND PATH 5TH	\$199.66
012050501009 DIAMOND PATH 6TH	\$260.39
012050501026 DIAMOND PATH 6TH	\$140.19
012050501037 DIAMOND PATH 6TH	\$355.83
012050501052 DIAMOND PATH 6TH	\$471.52
012050501053 DIAMOND PATH 6TH	\$415.59
012050501107 DIAMOND PATH 6TH	\$194.76
012050501112 DIAMOND PATH 6TH	\$189.17
012050501132 DIAMOND PATH 6TH	\$378.90
012050501133 DIAMOND PATH 6TH	\$450.34
012050601110 DIAMOND PATH 7TH ADDITION	\$343.41
012050801150 DIAMOND PATH 9TH ADDITION	\$356.81
012050802250 DIAMOND PATH 9TH ADDITION	\$425.92
012054002020 DIAMOND PATH TOWNHOMES CIC NO 130	\$271.23
012245005020 EAGLE RIDGE ESTATES	\$433.20
012245101090 EAGLE RIDGE ESTATES 2ND	\$360.68
012245102030 EAGLE RIDGE ESTATES 2ND	\$489.06
012320001020 EASTWOOD RIDGE	\$499.67
012320101020 EASTWOOD RIDGE 2ND ADDITION	\$664.41
012320101100 EASTWOOD RIDGE 2ND ADDITION	\$366.71
012320103040 EASTWOOD RIDGE 2ND ADDITION	\$296.26
012370001410 EMERALD POINT	\$416.79
012370201060 EMERALD POINT 3RD	\$395.72
012370201090 EMERALD POINT 3RD	\$419.58
012565003070 FARQUAR HILLS	\$346.05
012565003230 FARQUAR HILLS	\$645.55
012750302010 FOREST PARK ESTATES 4TH ADDITION	\$521.43
012755001040 FOREST POINT	\$532.13
013100000010 GARDENVIEW MANOR 2ND	\$567.51



<u>Roll 697 - One (1) Installment at 8.0%</u>	<u>Amount</u>
013100005150 GARDENVIEW MANOR 2ND	\$642.27
013100008010 GARDENVIEW MANOR 2ND	\$113.01
012895001140 GARDENVIEW PLACE	\$369.80
012895001580 GARDENVIEW PLACE	\$249.17
013060101010 GOLFVIEW 2ND ADDITION	\$467.06
013100902100 GREENLEAF 10TH	\$540.24
013101001070 GREENLEAF 11TH	\$231.72
013101001100 GREENLEAF 11TH	\$486.89
013101001810 GREENLEAF 11TH	\$273.68
013101002060 GREENLEAF 11TH	\$415.01
013100102050 GREENLEAF 2ND	\$375.46
013100104320 GREENLEAF 2ND	\$188.82
013100106100 GREENLEAF 2ND	\$121.95
013100106180 GREENLEAF 2ND	\$462.62
013100110130 GREENLEAF 2ND	\$490.49
013100201100 GREENLEAF 3RD ADDITION	\$476.06
013100203140 GREENLEAF 3RD ADDITION	\$226.50
013100307030 GREENLEAF 4TH ADDITION	\$272.03
013100308080 GREENLEAF 4TH ADDITION	\$477.21
013100308100 GREENLEAF 4TH ADDITION	\$460.17
013100308150 GREENLEAF 4TH ADDITION	\$170.32
013100311070 GREENLEAF 4TH ADDITION	\$194.31
013100402040 GREENLEAF 5TH	\$514.97
013100403090 GREENLEAF 5TH	\$600.38
013100405340 GREENLEAF 5TH	\$819.50
013100502160 GREENLEAF 6TH	\$226.41
013100503030 GREENLEAF 6TH	\$221.06
013100505110 GREENLEAF 6TH	\$296.98
013100511030 GREENLEAF 6TH	\$513.11
013100606100 GREENLEAF 7TH	\$566.21
013100606120 GREENLEAF 7TH	\$422.57
013100606170 GREENLEAF 7TH	\$199.45
013100606210 GREENLEAF 7TH	\$113.43
013100705140 GREENLEAF 8TH	\$473.77
013100810060 GREENLEAF 9TH ADDITION	\$492.34
013105101020 GREENLEAF PARK ESTATES 2ND	\$136.70
013105101050 GREENLEAF PARK ESTATES 2ND	\$192.75
013110002030 GREENLEAF TOWNHOUSES	\$162.39
013110004050 GREENLEAF TOWNHOUSES	\$341.55
013110103010 GREENLEAF TOWNHOUSES 2ND	\$151.22
013110105010 GREENLEAF TOWNHOUSES 2ND	\$313.37
013110106010 GREENLEAF TOWNHOUSES 2ND	\$479.90
013110202010 GREENLEAF TOWNHOUSES 3RD	\$390.94
013110203020 GREENLEAF TOWNHOUSES 3RD	\$192.33

<u>Roll 697 - One (1) Installment at 8.0%</u>	<u>Amount</u>
013110207030 GREENLEAF TOWNHOUSES 3RD	\$304.97
013180002140 HALLWOOD HIGHLANDS	\$336.62
013215001004 HAWTHORNE	\$528.79
013215001012 HAWTHORNE	\$417.91
013215001026 HAWTHORNE	\$547.03
013215001033 HAWTHORNE	\$160.00
013215001045 HAWTHORNE	\$424.68
013215001046 HAWTHORNE	\$347.91
013215001053 HAWTHORNE	\$338.67
013215001072 HAWTHORNE	\$421.29
013215001091 HAWTHORNE	\$114.40
013215001158 HAWTHORNE	\$611.00
013215001171 HAWTHORNE	\$701.86
013215001177 HAWTHORNE	\$287.58
013215101007 HAWTHORNE 2ND	\$913.88
013215101010 HAWTHORNE 2ND	\$150.89
013215101050 HAWTHORNE 2ND	\$208.01
013215101057 HAWTHORNE 2ND	\$408.42
013215101064 HAWTHORNE 2ND	\$587.78
013215101101 HAWTHORNE 2ND	\$610.29
013225003030 HEARTHSTONE	\$888.46
013280101070 HIDDEN PONDS 2ND	\$312.56
013280101080 HIDDEN PONDS 2ND	\$292.78
013390301030 HIDDEN PONDS 4TH	\$290.47
013385002150 HUNTERS RIDGE	\$146.20
013390002010 HUNTERS WOOD	\$427.31
013415004180 HUNTINGTON	\$481.86
013450001250 HYLAND POINTE SHORES	\$422.90
013450001260 HYLAND POINTE SHORES	\$528.94
013450001360 HYLAND POINTE SHORES	\$589.26
013450101110 HYLAND POINTE SHORES 2ND ADD	\$310.84
014310001020 KWIK TRIP ADDITION	\$1,152.14
014420204120 LAC LAVON SHORES 3RD ADD	\$540.62
014402001030 LB AT ORCHARD PLACE	\$265.43
014442001030 LB AT ORCHARD PLACE	\$271.64
014465001050 LEBANON HILLS 1ST ADD	\$516.71
014570001020 LOCH ADDITION	\$247.93
014580001120 LONGRIDGE	\$577.88
014580005020 LONGRIDGE	\$397.93
014580005190 LONGRIDGE	\$536.68
014580102070 LONGRIDGE 2ND	\$610.72
014580103270 LONGRIDGE 2ND	\$578.27
014580108370 LONGRIDGE 2ND	\$812.85
014717501020 MAJESTIC RIDGE	\$501.27

<u>Roll 697 - One (1) Installment at 8.0%</u>	<u>Amount</u>
014820002040 MEADOWLARK GLEN	\$257.08
014820101010 MEADOWLARK GLEN 2ND ADD	\$423.78
014910001160 MORNINGVIEW	\$451.15
014910002220 MORNINGVIEW	\$339.04
014910104020 MORNINGVIEW 2ND ADDITION	\$845.72
014910104030 MORNINGVIEW 2ND ADDITION	\$132.95
014910205030 MORNINGVIEW 3RD ADDITION	\$423.12
014910211030 MORNINGVIEW 3RD ADDITION	\$398.35
014910305010 MORNINGVIEW 4TH	\$520.53
014910308030 MORNINGVIEW 4TH	\$427.06
014910312040 MORNINGVIEW 4TH	\$376.13
014910316040 MORNINGVIEW 4TH	\$482.73
014910501150 MORNINGVIEW 6TH	\$469.57
014910502010 MORNINGVIEW 6TH	\$129.52
014910601480 MORNINGVIEW 7TH	\$278.27
014910601510 MORNINGVIEW 7TH	\$569.59
014910602050 MORNINGVIEW 7TH	\$379.21
014910602190 MORNINGVIEW 7TH	\$485.05
015201101170 NORDIC WOODS 12TH ADDITION	\$600.68
015200002080 NORDIC WOODS 1ST ADDITION	\$558.55
015200101040 NORDIC WOODS 2ND	\$250.37
015200101160 NORDIC WOODS 2ND	\$554.26
015350002020 OAK RIDGE PARK	\$403.54
015350004010 OAK RIDGE PARK	\$409.99
015350004060 OAK RIDGE PARK	\$235.40
015589301020 ORCHARD PLACE 4TH ADDITION	\$91.06
015645001020 OXFORD HOLLOW	\$426.65
015645008020 OXFORD HOLLOW	\$352.68
015660101130 PALOMINO HILLS 2ND	\$512.92
015660202080 PALOMINO HILLS 3RD	\$255.76
015660202100 PALOMINO HILLS 3RD	\$529.10
015660202140 PALOMINO HILLS 3RD	\$558.62
015660301170 PALOMINO HILLS 4TH	\$516.56
015660303240 PALOMINO HILLS 4TH	\$552.03
015660303280 PALOMINO HILLS 4TH	\$371.74
015660306080 PALOMINO HILLS 4TH	\$369.77
015677502320 PALOMINO WOODS	\$330.70
015677503120 PALOMINO WOODS	\$505.53
015677504100 PALOMINO WOODS	\$496.02
015677505070 PALOMINO WOODS	\$598.25
015677507050 PALOMINO WOODS	\$324.80
015677510020 PALOMINO WOODS	\$548.09
015677510110 PALOMINO WOODS	\$351.56
015677510120 PALOMINO WOODS	\$318.21

<u>Roll 697 - One (1) Installment at 8.0%</u>	<u>Amount</u>
015705001300 PENNOCK SHORES	\$321.25
015750001030 PILOT KNOB ESTATES 1ST	\$405.43
015750001100 PILOT KNOB ESTATES 1ST	\$392.74
015750201070 PILOT KNOB ESTATES 3RD	\$430.00
015750302050 PILOT KNOB ESTATES 4TH ADDITION	\$186.21
015750401030 PILOT KNOB ESTATES 5TH ADDITION	\$333.13
015750601200 PILOT KNOB ESTATES 7TH	\$318.44
015750601220 PILOT KNOB ESTATES 7TH	\$448.45
015750602110 PILOT KNOB ESTATES 7TH	\$349.16
015750602170 PILOT KNOB ESTATES 7TH	\$154.99
015750701090 PILOT KNOB ESTATES 8TH	\$403.99
015750701460 PILOT KNOB ESTATES 8TH	\$123.30
015750701480 PILOT KNOB ESTATES 8TH	\$149.11
015750801440 PILOT KNOB ESTATES 9TH ADDITION	\$211.01
015765002010 PINECREST	\$326.72
015765101140 PINECREST 2ND ADDITION	\$242.46
015765102040 PINECREST 2ND ADDITION	\$221.06
015767501070 PINECREST TOWNHOMES	\$535.34
015767501100 PINECREST TOWNHOMES	\$451.72
015767501200 PINECREST TOWNHOMES	\$332.11
015767501240 PINECREST TOWNHOMES	\$581.00
016160201010 QUARRY PONDS 3RD	\$597.16
016160403110 QUARRY PONDS FIFTH ADDITION	\$327.43
016280001450 RADCLIFF TOWNHOMES	\$406.14
016340001020 REGATTA	\$182.30
016340003360 REGATTA	\$380.37
016340020120 REGATTA	\$126.90
016340020120 REGATTA	\$1,228.91
016340101010 REGATTA 2ND ADDITION	\$126.90
016340101010 REGATTA 2ND ADDITION	\$1,755.15
016340101030 REGATTA 2ND ADDITION	\$126.90
016340101030 REGATTA 2ND ADDITION	\$1,344.59
016340129200 REGATTA 2ND ADDITION	\$397.76
016340207020 REGATTA 3RD ADDITION	\$244.78
016340221030 REGATTA 3RD ADDITION	\$266.05
016344101040 REGENTS POINT 2ND	\$612.09
016460001020 ROLLING RIDGE	\$1,007.00
016460004070 ROLLING RIDGE	\$369.21
016620001070 SALEM WOODS ADDITION	\$272.69
016620001130 SALEM WOODS ADDITION	\$245.00
016650004090 SCOTT HIGHLANDS	\$279.96
016650004230 SCOTT HIGHLANDS	\$383.16
016650102200 SCOTT HIGHLANDS 2ND	\$279.96
016650102310 SCOTT HIGHLANDS 2ND	\$504.59

<u>Roll 697 - One (1) Installment at 8.0%</u>	<u>Amount</u>
016650206070 SCOTT HIGHLANDS 3RD	\$312.60
016650207020 SCOTT HIGHLANDS 3RD	\$395.97
016650303010 SCOTT HIGHLANDS 4TH	\$385.11
016650303240 SCOTT HIGHLANDS 4TH	\$563.51
016650306030 SCOTT HIGHLANDS 4TH	\$424.49
016650306060 SCOTT HIGHLANDS 4TH	\$366.43
016650307020 SCOTT HIGHLANDS 4TH	\$315.69
016670004140 SCOTTSBRIAR 1ST	\$484.76
016670005050 SCOTTSBRIAR 1ST	\$466.79
016670005070 SCOTTSBRIAR 1ST	\$425.45
016670005100 SCOTTSBRIAR 1ST	\$466.26
016670005210 SCOTTSBRIAR 1ST	\$367.95
016670008030 SCOTTSBRIAR 1ST	\$433.87
016670101090 SCOTTSBRIAR 2ND	\$525.77
016670103140 SCOTTSBRIAR 2ND	\$437.95
016670104080 SCOTTSBRIAR 2ND	\$303.61
010130077032 SECTION 13 TWN 115 RANGE 20	\$209.52
017250001010 STONEWOOD 1ST ADDITION	\$430.82
017250002050 STONEWOOD 1ST ADDITION	\$278.28
017310001030 SUMMERFIELD	\$433.97
017310002050 SUMMERFIELD	\$156.54
017310101010 SUMMERFIELD 2ND ADDITION	\$405.38
017310201060 SUMMERFIELD 3RD ADDITION	\$322.56
017310202100 SUMMERFIELD 3RD ADDITION	\$286.22
017585003030 THE HIGHLANDS	\$205.26
017585003070 THE HIGHLANDS	\$635.14
017595001180 THE OAKS OF APPLE VALLEY	\$239.49
017595003130 THE OAKS OF APPLE VALLEY	\$251.09
017595203110 THE OAKS OF APPLE VALLEY II	\$584.89
017595601070 THE OAKS OF APPLE VALLEY IV	\$648.78
017620002020 THE WOODWINDS 1ST ADDITION	\$378.61
017620002050 THE WOODWINDS 1ST ADDITION	\$255.24
017640001030 TIMBER RIDGE TOWNHOMES	\$208.26
017690001210 TOUSIGNANTS PRAIRIE CROSSING	\$122.67
017690001220 TOUSIGNANTS PRAIRIE CROSSING	\$753.84
017690005260 TOUSIGNANTS PRAIRIE CROSSING	\$326.59
017700002030 TOWNHOUSE 4TH ADDN	\$454.15
017700003060 TOWNHOUSE 4TH ADDN	\$344.98
017700004060 TOWNHOUSE 4TH ADDN	\$552.38
017700010010 TOWNHOUSE 4TH ADDN	\$423.91
017700012030 TOWNHOUSE 4TH ADDN	\$433.23
018130102110 VALLEY MEADOWS 2ND ADD	\$194.50
018132001220 VALLEY OAKS TOWNHOMES	\$200.00
018132001290 VALLEY OAKS TOWNHOMES	\$688.81

<u>Roll 697 - One (1) Installment at 8.0%</u>	<u>Amount</u>
018140001150 VALLEY SOUTH	\$299.27
018140002040 VALLEY SOUTH	\$198.27
018140002070 VALLEY SOUTH	\$476.00
018140002120 VALLEY SOUTH	\$452.92
018145401030 VALLEY WAY VILLAGE 5TH ADDITION	\$462.06
018145601020 VALLEY WAY VILLAGE 7TH ADDITION	\$422.25
018145601270 VALLEY WAY VILLAGE 7TH ADDITION	\$381.34
018145701090 VALLEY WAY VILLAGE 8TH ADDITION	\$123.22
018325004090 WATERFORD VILLAGE	\$670.14
018419002010 WILDWOOD	\$316.22
018419402050 WILDWOOD 5TH ADDITION	\$469.81
018419501010 WILDWOOD 6TH ADDITION	\$140.32
018472501030 WOODSIDE ESTATES	\$425.54
018528001020 WYNDEMERE ADDITION	\$547.99
TOTAL ASSESSMENTS	<u>\$163,625.43</u>

Written or oral objections will be considered. No appeal may be taken as to the amount of any assessment unless written objection, signed by the affected property owner, is filed with the City Clerk prior to the hearing or presented to the presiding officer at the hearing. If the City Council meets by electronic means, delivery of a written objection may be made by presentment of the objection to the Finance Director at the Municipal Center during the meeting. An owner may appeal an assessment to the district court pursuant to M.S.A. 429.081 by serving notice of the appeal upon the Mayor or Clerk of the City of Apple Valley within thirty (30) days after the adoption of the assessment and filing such notice with the District Court of Dakota County within ten (10) days after service upon the Mayor or Clerk.

DATED this 10th day of April, 2025.

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Christina M. Scipioni, City Clerk  
City of Apple Valley  
7100 147th Street W.  
Apple Valley, MN 55124

**Exhibit B**  
**Resolution Number 2025-\_\_**  
**Delinquent Utility Accounts**  
**Assessment Roll # 697**

Property ID #	Name	Address	City/State/Zip	Plat Name	Account #	Amount
011035025040	RESIDENT	8266 144TH ST W	APPLE VALLEY, MN 5512	ACADEMY VILLAGE	0588082665	\$413.38
011035030004	ANGELA ECKERT	8343 143RD ST W	APPLE VALLEY, MN 5512	ACADEMY VILLAGE	0585083435	\$286.84
011035080440	DYLAN SEVERSON	8440 144TH ST W	APPLE VALLEY, MN 5512	ACADEMY VILLAGE	0588084406	\$471.35
011040001020	SHANNON LONDO	12905 GALAXIE PL	APPLE VALLEY, MN 5512	ACORN HILL	0877262643	\$157.70
011165003210	ERIC ASLESON	7361 UPPER 157TH ST W	APPLE VALLEY, MN 5512	APPLE PONDS	0209073616	\$429.55
011165004040	PHOUNSAVATH PHALAVONG	7250 157TH ST W	APPLE VALLEY, MN 5512	APPLE PONDS	0208072502	\$460.92
011165101030	BRIAN CARVER	15910 GARRETT PATH	APPLE VALLEY, MN 5512	APPLE PONDS 2ND ADDITION	0060159108	\$660.19
011165104130	BASHIRU ALLISON	7070 UPPER 157TH ST W	APPLE VALLEY, MN 5512	APPLE PONDS 2ND ADDITION	0209070703	\$324.16
011165105010	DOUGLAS NIZNIK	7235 UPPER 157TH ST W	APPLE VALLEY, MN 5512	APPLE PONDS 2ND ADDITION	0209072352	\$507.41
011165201050	JOSE GOMEZ	15852 GALVESTON AVE	APPLE VALLEY, MN 5512	APPLE PONDS 3RD	0107158527	\$497.06
011165202120	LYNNE KROOK	7191 158TH ST W	APPLE VALLEY, MN 5512	APPLE PONDS 3RD	0210071914	\$114.73
011170001210	JENNIFER LAWRENCE	144 SPRUCE DR	APPLE VALLEY, MN 5512	APPLE VALLEY	0402001446	\$751.87
011170901020	JAMIE A EVERETTS	72 COUNTY ROAD 42	APPLE VALLEY, MN 5512	APPLE VALLEY 10TH ADDITION	0019000726	\$392.89
011170907030	DOMINICK SILVA-FLEMING	822 REGENT DR	APPLE VALLEY, MN 5512	APPLE VALLEY 10TH ADDITION	0091008225	\$565.23
011171001080	DIAGO A PAQUETTE TENBEAR	256 COUNTY ROAD 42	APPLE VALLEY, MN 5512	APPLE VALLEY 11TH	0019002565	\$302.91
011171001190	JEFF CARPENTER	1067 LOWELL DR	APPLE VALLEY, MN 5512	APPLE VALLEY 11TH	0055010670	\$515.35
011171001350	CHRISTINE KONAKOWITZ	1005 BALDWIN DR	APPLE VALLEY, MN 5512	APPLE VALLEY 11TH	0004010052	\$477.23
011171003130	JENNIFER LENNARTSON	1082 LOWELL DR	APPLE VALLEY, MN 5512	APPLE VALLEY 11TH	0055010829	\$252.93
011171003170	DARREN SJOBERG	1071 RAMSDELL DR	APPLE VALLEY, MN 5512	APPLE VALLEY 11TH	0079010714	\$703.99
011171101140	ALLEN MATACZYNSKI	943 HOPEWELL LN	APPLE VALLEY, MN 5512	APPLE VALLEY 12TH ADDITION	0046009435	\$329.31
011171108110	LIZABETH HORTNER	877 HOPEWELL LN	APPLE VALLEY, MN 5512	APPLE VALLEY 12TH ADDITION	0046008775	\$450.29
011171201050	LINDSAY GUTIERREZ	1088 WHITNEY DR	APPLE VALLEY, MN 5512	APPLE VALLEY 13TH ADDITION	0100010881	\$280.80
011170102040	LESLEY KEATON	277 ELM DR	APPLE VALLEY, MN 5512	APPLE VALLEY 2ND	0351002775	\$661.26
011170103090	KIPTON YOST	244 ELM DR	APPLE VALLEY, MN 5512	APPLE VALLEY 2ND	0351002445	\$485.09
011170103260	THOMAS GILBERT	261 WALNUT LN	APPLE VALLEY, MN 5512	APPLE VALLEY 2ND	0414002614	\$198.45
011170203051	JENNIFER DUOOS	452 WALNUT LN	APPLE VALLEY, MN 5512	APPLE VALLEY 3RD	0414004529	\$543.70
011170206230	LILIANA MOLLOY	233 PINWOOD DR	APPLE VALLEY, MN 5512	APPLE VALLEY 3RD	0393002338	\$742.60
011170211110	JACOB R GOODERUM	175 JUNIPER LN	APPLE VALLEY, MN 5512	APPLE VALLEY 3RD	0372001756	\$499.46
011170302070	RICHARD PARKER	136 COUNTY ROAD 42	APPLE VALLEY, MN 5512	APPLE VALLEY 4TH	0019001369	\$485.95
011170302110	BEN JOHNSON	112 COUNTY ROAD 42	APPLE VALLEY, MN 5512	APPLE VALLEY 4TH	0019001120	\$435.65
011170304090	ANGUELY MENDEZ	904 ORIOLE DR	APPLE VALLEY, MN 5512	APPLE VALLEY 4TH	0070009046	\$217.13
011170304130	THOMAS MCKENNA	884 ORIOLE DR	APPLE VALLEY, MN 5512	APPLE VALLEY 4TH	0070008840	\$439.12
011170307090	MICHELLE FREEMAN	909 MINJON DR	APPLE VALLEY, MN 5512	APPLE VALLEY 4TH	0058009091	\$302.60
011170308020	JAMIEYA BOLIN-JOHNSON	948 CORTLAND DR	APPLE VALLEY, MN 5512	APPLE VALLEY 4TH	0013009483	\$420.32
011170308180	COARDES LEWIS	933 BEACON LN	APPLE VALLEY, MN 5512	APPLE VALLEY 4TH	0007009333	\$257.91
011170309010	AARON ODEGAR	964 BEACON LN	APPLE VALLEY, MN 5512	APPLE VALLEY 4TH	0007009648	\$410.21
011170502050	CHRISTINA M HELMS	840 CORTLAND DR	APPLE VALLEY, MN 5512	APPLE VALLEY 6TH	0013008402	\$205.94
011170506050	JIM VOGEL	933 WHITNEY DR	APPLE VALLEY, MN 5512	APPLE VALLEY 6TH	0100009339	\$505.37
011170601090	SADUMA SALAD	168 COUNTY ROAD 42	APPLE VALLEY, MN 5512	APPLE VALLEY 7TH	0019001682	\$428.95
011170604010	KENNETH C THOMAS	975 CORTLAND DR	APPLE VALLEY, MN 5512	APPLE VALLEY 7TH	0013009756	\$528.08
011170606020	NICHOLE MORRISSEY	928 REDWELL LN	APPLE VALLEY, MN 5512	APPLE VALLEY 7TH	0082009281	\$1,239.00
011170607130	TAYLOR WALKER	965 WHITNEY DR	APPLE VALLEY, MN 5512	APPLE VALLEY 7TH	0100009651	\$300.45
011170608040	ROBERT G SMALE	984 WHITNEY DR	APPLE VALLEY, MN 5512	APPLE VALLEY 7TH	0100009842	\$339.04
011170608130	ADAM REED	948 WHITNEY DR	APPLE VALLEY, MN 5512	APPLE VALLEY 7TH	0100009487	\$648.33
011170702010	RICHARD HANOUSEK	869 MCINTOSH DR	APPLE VALLEY, MN 5512	APPLE VALLEY 8TH	0061008692	\$350.19
011170706090	VALERIE L SAUL-TAYLOR	816 MCINTOSH DR	APPLE VALLEY, MN 5512	APPLE VALLEY 8TH	0061008163	\$428.69
011170707010	MARSHA ABDULLAH	892 MCINTOSH DR	APPLE VALLEY, MN 5512	APPLE VALLEY 8TH	0061008924	\$388.85
011170707060	LINDSAY JACOBS	872 MCINTOSH DR	APPLE VALLEY, MN 5512	APPLE VALLEY 8TH	0061008726	\$389.57
011170709070	HUGH O'DONNELL	825 ORIOLE DR	APPLE VALLEY, MN 5512	APPLE VALLEY 8TH	0070008253	\$365.85
011170712120	DAVID KOPET	779 NEWELL DR	APPLE VALLEY, MN 5512	APPLE VALLEY 8TH	0067007797	\$338.00
011170800020	CHAD PIERCE	989 GARDEN VIEW DR	APPLE VALLEY, MN 5512	APPLE VALLEY 9TH	0034009892	\$675.49
011170802060	JESSICA KEMP	915 GARDEN VIEW DR	APPLE VALLEY, MN 5512	APPLE VALLEY 9TH	0034009157	\$818.66
011175004120	MARK N LIDKE	15142 DUNBAR BLVD	APPLE VALLEY, MN 5512	APPLE VALLEY EAST	0025151422	\$348.77
011175304020	BRAD RUTH	15472 DREXEL WAY	APPLE VALLEY, MN 5512	APPLE VALLEY EAST 4TH	0657154724	\$427.38
011175402010	YOSEF ASSEFA	4565 152ND ST W	APPLE VALLEY, MN 5512	APPLE VALLEY EAST 5TH ADD	0202045652	\$235.75
011175501030	MICHAEL ROBERTSON	15115 DUNBAR CT	APPLE VALLEY, MN 5512	APPLE VALLEY EAST 6TH	0026151157	\$284.97
011175501080	DIANNE MORITZ	15105 DUNBAR CT	APPLE VALLEY, MN 5512	APPLE VALLEY EAST 6TH	0026151058	\$376.41
011470102030	MICHELE SPEECE	169 COUNTY ROAD 42	APPLE VALLEY, MN 5512	BOB'S GARDEN VIEW 2ND	0345001693	\$72.30
011470103070	TIGIST GETACHEW MENGESHA	125 WALNUT CIR	APPLE VALLEY, MN 5512	BOB'S GARDEN VIEW 2ND	0411001254	\$459.10
011470103080	NATASHIA THURIK	129 WALNUT CIR	APPLE VALLEY, MN 5512	BOB'S GARDEN VIEW 2ND	0411001296	\$375.18
011470103100	DENA M ROBERTS	137 WALNUT CIR	APPLE VALLEY, MN 5512	BOB'S GARDEN VIEW 2ND	0411001379	\$465.67
011470203060	DAVID AMMON	192 WALNUT LN	APPLE VALLEY, MN 5512	BOBS GARDEN VIEW 3RD ADD	0414001921	\$172.40
011470303050	JUDY WENNBURG	144 OAKWOOD RD	APPLE VALLEY, MN 5512	BOBS GARDEN VIEW 4TH ADD	0381001441	\$455.56
011515002040	KULMIYE PROPERTY L.L.C.	5060 127TH ST W	APPLE VALLEY, MN 5512	BRIAR KNOLL 1ST ADD	0773050608	\$566.99
011520101070	RORY BERNSTEIN	12067 GENTRY CT	APPLE VALLEY, MN 5512	BRIAR OAKS OF APPLE VALLEY 2ND ADDITIO	0744120675	\$513.14
011520105010	JULIE LONDGREN	7138 121ST ST W	APPLE VALLEY, MN 5512	BRIAR OAKS OF APPLE VALLEY 2ND ADDITIO	0774071384	\$409.25
011520105030	LYNN KOSLOSKE	7162 121ST ST W	APPLE VALLEY, MN 5512	BRIAR OAKS OF APPLE VALLEY 2ND ADDITIO	0774071624	\$541.55
011520105130	WOODROE FRANKLIN	12114 GENTRY LN	APPLE VALLEY, MN 5512	BRIAR OAKS OF APPLE VALLEY 2ND ADDITIO	0743121146	\$180.03
011520001060	SCOTT FISHER	7025 121ST ST W	APPLE VALLEY, MN 5512	BRIAR OAKS OF AV	0774070253	\$332.70
011630003160	RESIDENT	8059 UPPER 145TH ST W	APPLE VALLEY, MN 5512	CARROLLTON ESTATES	0318080591	\$379.45
011630003210	TIGIST DILAMO	8125 UPPER 145TH ST W	APPLE VALLEY, MN 5512	CARROLLTON ESTATES	0318081250	\$558.17
011630003360	ROBERTO ACOSTA	14532 HAYES RD	APPLE VALLEY, MN 5512	CARROLLTON ESTATES	0360145326	\$920.15
011630101120	FAITH CRUMP	14639 HARRINGTON PL	APPLE VALLEY, MN 5512	CARROLLTON ESTATES 2ND	0418146391	\$295.33
011630204130	WILLIAM BOYD	8054 LOWER 147TH ST W	APPLE VALLEY, MN 5512	CARROLLTON ESTATES 3RD ADD	0334080542	\$171.13
011630303270	COLLEEN HOLLIE	14850 HAVEN DR	APPLE VALLEY, MN 5512	CARROLLTON ESTATES 4TH ADD	0419148503	\$441.79
011640302140	FARAEH AWALE	14025 140TH CT W	APPLE VALLEY, MN 5512	CARROLLWOOD VILLAGE 4TH	0587140258	\$326.56
011640401250	MATTHEW BARTELS	7853 GLENDA CT	APPLE VALLEY, MN 5512	CARROLLWOOD VILLAGE 5TH	0353078534	\$315.08
011658004060	BOBBI WATTS	14222 FREEPORT TRL	APPLE VALLEY, MN 5512	CEDAR ISLE ESTATES	0708142223	\$474.44
011658102130	JUDITH ESCAMILA	14015 FREEPORT CT	APPLE VALLEY, MN 5512	CEDAR ISLE ESTATES 2ND	0738140155	\$795.43
011659002060	LINDSAY WILDER	14443 FLAX WAY	APPLE VALLEY, MN 5512	CEDAR ISLE VILLAGE HOMES	0852144439	\$418.57
011659102100	BRIAN BALLINGER	14354 FLORA CT	APPLE VALLEY, MN 5512	CEDAR ISLE VILLAGE HOMES 2ND	0741143543	\$523.63
011700201090	MAHA SAADEH	8230 HAVELOCK CT	APPLE VALLEY, MN 5512	CHATEAU ESTATES 3RD ADD	0533082307	\$730.92
011715001120	YVONNE NGANDO	13413 GEORGIA CIR	APPLE VALLEY, MN 5512	CHERRY OAK ESTATES	0761134133	\$488.00
011715001130	SEKAI MIDZI	13405 GEORGIA CIR	APPLE VALLEY, MN 5512	CHERRY OAK ESTATES	0761134059	\$239.28
011715102040	AARON MAY	13476 GENEVA WAY	APPLE VALLEY, MN 5512	CHERRY OAKS ESTATES 2ND	0756134767	\$503.63
011715201020	ISAAC GEEDI	13417 GENEVA WAY	APPLE VALLEY, MN 5512	CHERRY OAKS ESTATES 3RD	0756134171	\$452.74
011805002060	JENNIFER KOHORST	15715 DIAMOND WAY	APPLE VALLEY, MN 5512	COBBLESTONE LAKE	0154157158	\$690.11
011805004100	MAHDI UYUSF	15842 DRAWSTONE TRL	APPLE VALLEY, MN 5512	COBBLESTONE LAKE	0116158427	\$555.91
011805004160	HOLLY ROGNLIE	15866 DRAWSTONE TRL	APPLE VALLEY, MN 5512	COBBLESTONE LAKE	0116158666	\$110.46
011805206030	ERIC BENSON	15665 DUNCAN PATH	APPLE VALLEY, MN 5512	COBBLESTONE LAKE 3RD ADD	0877260158	\$478.33

**Exhibit B**  
**Resolution Number 2025-\_\_**  
**Delinquent Utility Accounts**  
**Assessment Roll # 697**

Property ID #	Name	Address	City/State/Zip	Plat Name	Account #	Amount
011806006010	TODD FOSSAND	4796 159TH ST W	APPLE VALLEY, MN 5512	COBBLESTONE LAKE SOUTH SHORE	0877261333	\$159.51
011806103010	FAIZA DHIIS	15846 COBBLESTONE LAKE P	APPLE VALLEY, MN 5512	COBBLESTONE LAKE SOUTH SHORE 2ND AD	0877260423	\$81.98
011806206020	MOHAMED ALI	15872 EASTCHESTER RD	APPLE VALLEY, MN 5512	COBBLESTONE LAKE SOUTH SHORE 3RD	0877261398	\$755.06
011806206070	ERIC S ALLEN	15877 DUXBURY LN	APPLE VALLEY, MN 5512	COBBLESTONE LAKE SOUTH SHORE 3RD	0877261813	\$634.64
011806207090	SHARIFF RASOUL	4930 159TH ST W	APPLE VALLEY, MN 5512	COBBLESTONE LAKE SOUTH SHORE 3RD	0877261443	\$455.03
011810001040	JILLIAN MUSSELMAN	13677 HOLYOKE LN	APPLE VALLEY, MN 5512	COBBLESTONE LAKEVIEW	0365136775	\$453.88
011810001190	JASON BROWN	13771 HOLYOKE LN	APPLE VALLEY, MN 5512	COBBLESTONE LAKEVIEW	0365137716	\$486.78
011807501090	TOYO SOSSOU	13383 HUGHES CT	APPLE VALLEY, MN 5512	COBBLESTONE MANOR	0254133830	\$561.40
011807501160	ISAIAH A ROBINSON	13354 HUGHES CT	APPLE VALLEY, MN 5512	COBBLESTONE MANOR	0254133541	\$239.49
011807501170	TIA JOLLIFF	13356 HUGHES CT	APPLE VALLEY, MN 5512	COBBLESTONE MANOR	0254133566	\$433.36
011807701100	KRYSTEL KRUEGER	8625 134TH ST W	APPLE VALLEY, MN 5512	COBBLESTONE MANOR 3RD	0583086257	\$374.19
011807702190	MARLENE SPATS	8578 134TH ST W	APPLE VALLEY, MN 5512	COBBLESTONE MANOR 3RD	0583085788	\$412.21
011815003102	HOSSAM AFIFI	8657 135TH ST W	APPLE VALLEY, MN 5512	COBBLESTONES I	0584086579	\$451.06
011815101010	DAVID C ANDERSON	8637 135TH ST W	APPLE VALLEY, MN 5512	COBBLESTONES I REPLAT	0584086371	\$458.22
011815101020	WENDY ROGERS	8635 135TH ST W	APPLE VALLEY, MN 5512	COBBLESTONES I REPLAT	0584086355	\$380.40
011830003010	ROBERT MARSH	15430 EAGLE BAY WAY	APPLE VALLEY, MN 5512	CORTLAND	0877262573	\$857.29
011830404030	JEANNA GAISER	5113 151ST ST W	APPLE VALLEY, MN 5512	CORTLAND FIFTH ADDITION	0877266668	\$483.08
011990002080	BRIAN MORRILL	5186 144TH ST W	APPLE VALLEY, MN 5512	DELANEY PARK 1ST ADDITION	0170051864	\$451.97
011990201040	MARK SAUER	14593 EMBRY PATH	APPLE VALLEY, MN 5512	DELANEY PARK 3RD	0032145938	\$536.63
011990201050	TOM BISHOP	14607 EMBRY PATH	APPLE VALLEY, MN 5512	DELANEY PARK 3RD	0032146076	\$420.97
012050001180	JASON SKOVROTEN	14698 DUNBAR CT	APPLE VALLEY, MN 5512	DIAMOND PATH	0026146983	\$408.62
012050002230	JEANNE EBONGUE TAPO	14693 DENMARK CT	APPLE VALLEY, MN 5512	DIAMOND PATH	0645146931	\$242.46
012050002250	JASON LINDNER	14685 DENMARK CT	APPLE VALLEY, MN 5512	DIAMOND PATH	0645146857	\$440.24
012050002280	FRANK STUMPF	14673 DENMARK CT	APPLE VALLEY, MN 5512	DIAMOND PATH	0645146733	\$412.18
012050003320	CORLIN FRANZMEIER	14700 DORY CT	APPLE VALLEY, MN 5512	DIAMOND PATH	0663147001	\$188.88
012050003420	ROBYN EVERETT	14729 DORY CT	APPLE VALLEY, MN 5512	DIAMOND PATH	0663147290	\$558.57
012051101011	DAVID ISACKSON	14585 EMBASSY AVE	APPLE VALLEY, MN 5512	DIAMOND PATH 12TH ADDITION	0652145859	\$365.00
012050102060	BRIAN MARSCHEL	4510 148TH CT W	APPLE VALLEY, MN 5512	DIAMOND PATH 2ND ADDITION	0190045102	\$365.66
012050104010	MELISSA CRYER	4549 149TH CT W	APPLE VALLEY, MN 5512	DIAMOND PATH 2ND ADDITION	0195045495	\$570.65
012050201200	PAUL BROWN	5178 148TH PATH W	APPLE VALLEY, MN 5512	DIAMOND PATH 3RD	0192051785	\$404.41
012050202070	JOSEPH BETLEY	14898 EASTER AVE	APPLE VALLEY, MN 5512	DIAMOND PATH 3RD	0660148986	\$434.03
012050205010	JOHN KNOTZ	14992 DUNDEE AVE	APPLE VALLEY, MN 5512	DIAMOND PATH 3RD	0029149927	\$433.50
012050208080	TRACY BIRCH	5031 148TH PATH W	APPLE VALLEY, MN 5512	DIAMOND PATH 3RD	0192050316	\$445.34
012050208100	TIERNIE HEIM	4997 148TH PATH W	APPLE VALLEY, MN 5512	DIAMOND PATH 3RD	0192049979	\$273.54
012050208110	JARED PERO	4985 148TH PATH W	APPLE VALLEY, MN 5512	DIAMOND PATH 3RD	0192049854	\$555.22
012050208190	SALAH JAMA	14732 DURHAM CT	APPLE VALLEY, MN 5512	DIAMOND PATH 3RD	0027147329	\$486.98
012050301040	JAMES ARNOLD	14940 ECHO WAY	APPLE VALLEY, MN 5512	DIAMOND PATH 4TH	0033149400	\$447.29
012050302090	CHRISTOPHER OLSEN	14788 ECHO WAY	APPLE VALLEY, MN 5512	DIAMOND PATH 4TH	0033147883	\$228.31
012050302160	MOHMUD HAGUF	14850 ECHO WAY	APPLE VALLEY, MN 5512	DIAMOND PATH 4TH	0033148501	\$577.60
012050302230	ROBERT B MASK JR	14918 ECHO WAY	APPLE VALLEY, MN 5512	DIAMOND PATH 4TH	0033149186	\$403.33
012050402170	ALLEN HALCOMB	5367 UPPER 147TH ST W	APPLE VALLEY, MN 5512	DIAMOND PATH 5TH	0869053672	\$475.01
012050402270	AMY BAKER	5347 UPPER 147TH ST W	APPLE VALLEY, MN 5512	DIAMOND PATH 5TH	0869053474	\$199.66
012050501009	JOSEPH SORMANA	14746 EMBRY PATH	APPLE VALLEY, MN 5512	DIAMOND PATH 6TH	0032147462	\$260.39
012050501026	DANA ROCHA	14710 EMBRY PATH	APPLE VALLEY, MN 5512	DIAMOND PATH 6TH	0032147108	\$140.19
012050501037	RANDI HANSEN	14692 EMBRY PATH	APPLE VALLEY, MN 5512	DIAMOND PATH 6TH	0032146928	\$355.83
012050501052	DARRIN CHANCE-WATER OFF	5090 147TH ST W	APPLE VALLEY, MN 5512	DIAMOND PATH 6TH	0184050902	\$471.52
012050501053	DARRIN BERGSTROM	14676 EMBRY PATH	APPLE VALLEY, MN 5512	DIAMOND PATH 6TH	0032146761	\$415.59
012050501107	AMBER MUSER	5121 148TH ST W	APPLE VALLEY, MN 5512	DIAMOND PATH 6TH	0191051216	\$194.76
012050501112	PIERCE WASMUND	5157 148TH ST W	APPLE VALLEY, MN 5512	DIAMOND PATH 6TH	0191051570	\$189.17
012050501132	SUSAN ANDERSON	14792 EMBRY PATH	APPLE VALLEY, MN 5512	DIAMOND PATH 6TH	0032147926	\$378.90
012050501133	JULIE LUNDSTROM	5175 148TH ST W	APPLE VALLEY, MN 5512	DIAMOND PATH 6TH	0191051752	\$450.34
012050601110	REX HARRIS	5019 147TH ST W	APPLE VALLEY, MN 5512	DIAMOND PATH 7TH ADDITION	0184050191	\$343.41
012050801150	NICHOLAS CAPITAL INC	5251 149TH ST W	APPLE VALLEY, MN 5512	DIAMOND PATH 9TH ADDITION	0196052516	\$356.81
012050802250	MUKANGA KASONGO	5178 148TH ST W	APPLE VALLEY, MN 5512	DIAMOND PATH 9TH ADDITION	0191051786	\$425.92
012054002020	PATRICK SAGER	12977 ECHO LN	APPLE VALLEY, MN 5512	DIAMOND PATH TOWNHOMES CIC NO 130	0629129770	\$271.23
012245005020	MARY NEAL	13720 GEORGIA DR	APPLE VALLEY, MN 5512	EAGLE RIDGE ESTATES	0761137201	\$433.20
012245101090	HAIDER ALNOMANI	13629 GLASGOW LN	APPLE VALLEY, MN 5512	EAGLE RIDGE ESTATES 2ND	0767136298	\$360.68
012245102030	ANGELA JOHNSON	13594 GLASGOW LN	APPLE VALLEY, MN 5512	EAGLE RIDGE ESTATES 2ND	0767135944	\$489.06
012320001020	IBRAHIM KAMARA	13320 CEDAR AVE	APPLE VALLEY, MN 5512	EASTWOOD RIDGE	0630133209	\$499.67
012320101020	MONIQUE HARRIS	12859 GARRETT CT	APPLE VALLEY, MN 5512	EASTWOOD RIDGE 2ND ADDITION	0877261518	\$664.41
012320101100	TODD KUBINSKI	12832 GARRETT CT	APPLE VALLEY, MN 5512	EASTWOOD RIDGE 2ND ADDITION	0877261558	\$366.71
012320103040	CRAIG SADLAK	7008 128TH STREET CT W	APPLE VALLEY, MN 5512	EASTWOOD RIDGE 2ND ADDITION	0877262153	\$296.26
012370001410	MICHELLE J O'DONNELL	5330 EMERALD WAY	APPLE VALLEY, MN 5512	EMERALD POINT	0632053306	\$416.79
012370201060	GREGORY BELL	5378 EMERALD WAY	APPLE VALLEY, MN 5512	EMERALD POINT 3RD	0632053785	\$395.72
012370201090	JEFF HUNTER	5372 EMERALD WAY	APPLE VALLEY, MN 5512	EMERALD POINT 3RD	0632053728	\$419.58
012565003070	CHARLES NORKUNAS	13470 ELKWOOD DR	APPLE VALLEY, MN 5512	FARQUAR HILLS	0664134107	\$346.05
012565003230	JARROD M BEACH	13532 LOWER ELKWOOD CT	APPLE VALLEY, MN 5512	FARQUAR HILLS	0662135320	\$645.55
012750302010	SETH GERARD	8675 HOLLAND AVE	APPLE VALLEY, MN 5512	FOREST PARK ESTATES 4TH ADDITION	0535086751	\$521.43
012755001040	BRANDON WILSON	13101 HERITAGE WAY	APPLE VALLEY, MN 5512	FOREST POINT	0343131013	\$532.13
013100000010	GRETCHEN KOSHIRE	6843 135TH ST W	APPLE VALLEY, MN 5512	GARDENVIEW MANOR 2ND	0811068430	\$567.51
013100005150	HEATHER KAUCHMAN	6945 137TH CT W	APPLE VALLEY, MN 5512	GARDENVIEW MANOR 2ND	0820069452	\$642.27
013100008010	MEGAN MALM	13774 FORDHAM AVE	APPLE VALLEY, MN 5512	GARDENVIEW MANOR 2ND	0724137744	\$113.01
012895001140	TAMIKO MITCHELL	14335 HICKORY WAY	APPLE VALLEY, MN 5512	GARDENVIEW PLACE	0424143358	\$369.80
012895001580	AMANDA KEEGAN	14393 HICKORY WAY	APPLE VALLEY, MN 5512	GARDENVIEW PLACE	0424143937	\$249.17
013060101010	DESIRAE CHRISTENSEN	8677 135TH ST W	APPLE VALLEY, MN 5512	GOLFVIEW 2ND ADDITION	0584086777	\$467.06
013100902100	BRIAHNA MERRITT	13045 FERNANDO AVE	APPLE VALLEY, MN 5512	GREENLEAF 10TH	0691130458	\$540.24
013101001070	JOEL KINTOP	14127 ENSLEY CT	APPLE VALLEY, MN 5512	GREENLEAF 11TH	0656141276	\$231.72
013101001100	STEVEN FRANKE	14100 ENSLEY CT	APPLE VALLEY, MN 5512	GREENLEAF 11TH	0656141003	\$486.89
013101001810	JIM NELSON	4927 142ND PATH W	APPLE VALLEY, MN 5512	GREENLEAF 11TH	0840049278	\$273.68
013101002060	RICHARD C SMITH	5276 142ND PATH W	APPLE VALLEY, MN 5512	GREENLEAF 11TH	0840052769	\$415.01
013100102050	CHRIS AYMOND	13422 FLAGSTAFF AVE	APPLE VALLEY, MN 5512	GREENLEAF 2ND	0715134221	\$375.46
013100104320	BOBBY CRANE	13321 FLAGSTAFF AVE	APPLE VALLEY, MN 5512	GREENLEAF 2ND	0715133215	\$188.82
013100106100	DANIELLE AYON	6905 133RD ST W	APPLE VALLEY, MN 5512	GREENLEAF 2ND	0799069053	\$121.95
013100106180	JOANNE E PHILHOWER-HIRNER	6991 133RD ST W	APPLE VALLEY, MN 5512	GREENLEAF 2ND	0799069913	\$462.62
013100110130	STEVE ODEGAR	13325 FORDHAM AVE	APPLE VALLEY, MN 5512	GREENLEAF 2ND	0724133255	\$490.49
013100201100	JENNIFER PATTERSON	13331 FINDLAY WAY	APPLE VALLEY, MN 5512	GREENLEAF 3RD ADDITION	0712133317	\$476.06
013100203140	JASON GRABAU	13361 GREENLEAF CT	APPLE VALLEY, MN 5512	GREENLEAF 3RD ADDITION	0775133618	\$226.50
013100307030	CHRISTINE JUNNILA	13524 FERRIS AVE	APPLE VALLEY, MN 5512	GREENLEAF 4TH ADDITION	0697135246	\$272.03
013100308080	ROGER & PHYLLIS POKORNY	6276 137TH CT W	APPLE VALLEY, MN 5512	GREENLEAF 4TH ADDITION	0820062762	\$477.21
013100308100	BRETT LEXLEX	6260 137TH CT W	APPLE VALLEY, MN 5512	GREENLEAF 4TH ADDITION	0820062606	\$460.17



**Exhibit B**  
**Resolution Number 2025-\_\_**  
**Delinquent Utility Accounts**  
**Assessment Roll # 697**

Property ID #	Name	Address	City/State/Zip	Plat Name	Account #	Amount
013100308150	TODD PRISSEL	6220 137TH ST W	APPLE VALLEY, MN 5512	GREENLEAF 4TH ADDITION	0823062207	\$170.32
013100311070	ERIC BERENZ	6161 FERNANDO CT	APPLE VALLEY, MN 5512	GREENLEAF 4TH ADDITION	0694061619	\$194.31
013100402040	PAULA WILLETTE	13047 FINDLAY WAY	APPLE VALLEY, MN 5512	GREENLEAF 5TH	0712130479	\$514.97
013100403090	CARRIE KUNTZ	13053 FINDLAY AVE	APPLE VALLEY, MN 5512	GREENLEAF 5TH	0706130535	\$600.38
013100405340	RONALD E HART	13041 FINCH WAY	APPLE VALLEY, MN 5512	GREENLEAF 5TH	0703130413	\$819.50
013100502160	JOHN CRAIG	13933 EVEREST AVE	APPLE VALLEY, MN 5512	GREENLEAF 6TH	0673139337	\$226.41
013100503030	KEVIN J JOHNSON	13900 EVEREST AVE	APPLE VALLEY, MN 5512	GREENLEAF 6TH	0673139006	\$221.06
013100505110	CHRISTOPHER KEENAN	5695 138TH STREET CT W	APPLE VALLEY, MN 5512	GREENLEAF 6TH	0829056955	\$296.98
013100511030	AMY LOSIE	13467 EVEREST AVE	APPLE VALLEY, MN 5512	GREENLEAF 6TH	0673134676	\$513.11
013100606100	MICHAEL D KERN	5668 139TH STREET CT W	APPLE VALLEY, MN 5512	GREENLEAF 7TH	0832056687	\$566.21
013100606120	JAMES A DILLY	5648 139TH STREET CT W	APPLE VALLEY, MN 5512	GREENLEAF 7TH	0832056489	\$422.57
013100606170	MEGHAN DUGAN	5671 139TH STREET CT W	APPLE VALLEY, MN 5512	GREENLEAF 7TH	0832056711	\$199.45
013100606210	RENEE REIBEL	13846 EVELETH CT	APPLE VALLEY, MN 5512	GREENLEAF 7TH	0670138464	\$113.43
013100705140	GARY L STECKMAN	5536 133RD STREET CT W	APPLE VALLEY, MN 5512	GREENLEAF 8TH	0797055369	\$473.77
013100810060	KELLY ROOT	5810 130TH STREET CT W	APPLE VALLEY, MN 5512	GREENLEAF 9TH ADDITION	0780058107	\$492.34
013105101020	SYBILLA MATERLA	13853 FAIRLAWN AVE	APPLE VALLEY, MN 5512	GREENLEAF PARK ESTATES 2ND	0685138533	\$136.70
013105101050	ANA BAZAN ESPINOZA	13911 FAIRLAWN AVE	APPLE VALLEY, MN 5512	GREENLEAF PARK ESTATES 2ND	0685139119	\$192.75
013110002030	NICOLAS FOLLMER	7039 146TH STREET CT W	APPLE VALLEY, MN 5512	GREENLEAF TOWNHOUSES	0865070399	\$162.39
013110004050	THOMAS BACKUS	7013 146TH STREET CT W	APPLE VALLEY, MN 5512	GREENLEAF TOWNHOUSES	0865070134	\$341.55
013110103010	BRYCE ROSSOW	7451 142ND STREET CT W	APPLE VALLEY, MN 5512	GREENLEAF TOWNHOUSES 2ND	0841074515	\$151.22
013110105010	DOUGLAS MILLER	7481 142ND STREET CT W	APPLE VALLEY, MN 5512	GREENLEAF TOWNHOUSES 2ND	0841074812	\$313.37
013110106010	HELEN HUGELAN	7473 142ND STREET CT W	APPLE VALLEY, MN 5512	GREENLEAF TOWNHOUSES 2ND	0841074739	\$479.90
013110202010	KUMAR IMRIT	7429 143RD STREET CT W	APPLE VALLEY, MN 5512	GREENLEAF TOWNHOUSES 3RD	0853074296	\$390.94
013110203020	MARC BRYNGELSON	7405 143RD STREET CT W	APPLE VALLEY, MN 5512	GREENLEAF TOWNHOUSES 3RD	0853074056	\$192.33
013110207030	MARY L SOUCEK	7382 143RD STREET CT W	APPLE VALLEY, MN 5512	GREENLEAF TOWNHOUSES 3RD	0853073827	\$304.97
013180002140	GAYLE JOHNSON	13453 GRANADA AVE	APPLE VALLEY, MN 5512	HALLWOOD HIGHLANDS	0357134531	\$336.62
013215001004	RIKEYNE NEAL	15723 FOLIAGE AVE	APPLE VALLEY, MN 5512	HAWTHORNE	0143157236	\$528.79
013215001012	JERRY H DAYE JR	15739 FOLIAGE AVE	APPLE VALLEY, MN 5512	HAWTHORNE	0143157392	\$417.91
013215001026	MOHAMED HASSAN	15726 FOX CIR	APPLE VALLEY, MN 5512	HAWTHORNE	0187157266	\$547.03
013215001033	PANG HOUA VANG	15715 FOX CIR	APPLE VALLEY, MN 5512	HAWTHORNE	0187157159	\$160.00
013215001045	SABINDRA SHRESTHA	15738 FRANCE WAY	APPLE VALLEY, MN 5512	HAWTHORNE	0212157380	\$424.68
013215001046	MOHAMED GUHAD	15736 FRANCE WAY	APPLE VALLEY, MN 5512	HAWTHORNE	0212157364	\$347.91
013215001053	LIFANG WU	15718 FRANCE WAY	APPLE VALLEY, MN 5512	HAWTHORNE	0212157182	\$338.67
013215001072	DENNIS MONGOVEN	6717 158TH ST W	APPLE VALLEY, MN 5512	HAWTHORNE	0210067177	\$421.29
013215001091	NEM KHADGE	15869 FOLIAGE AVE	APPLE VALLEY, MN 5512	HAWTHORNE	0143158697	\$114.40
013215001158	ELVIRA VAZQUEZ	15707 FREMONT WAY	APPLE VALLEY, MN 5512	HAWTHORNE	0158157071	\$611.00
013215001171	MICHELLE KELVIE	15743 FREMONT WAY	APPLE VALLEY, MN 5512	HAWTHORNE	0158157436	\$701.86
013215001177	SORIYA HUOT	15738 FRISIAN LN	APPLE VALLEY, MN 5512	HAWTHORNE	0159157385	\$287.58
013215101007	AYAN MOHAMED	6905 158TH ST W	APPLE VALLEY, MN 5512	HAWTHORNE 2ND	0210069058	\$913.88
013215101010	SUSAN RICE	6889 158TH ST W	APPLE VALLEY, MN 5512	HAWTHORNE 2ND	0210068894	\$150.89
013215101050	JOB DONKOR	6828 158TH ST W	APPLE VALLEY, MN 5512	HAWTHORNE 2ND	0210068282	\$208.01
013215101057	RESIDENT	6844 158TH ST W	APPLE VALLEY, MN 5512	HAWTHORNE 2ND	0210068449	\$408.42
013215101064	MATU MANSARAY	15868 FREEDOM LN	APPLE VALLEY, MN 5512	HAWTHORNE 2ND	0157158682	\$587.78
013215101101	MOHAMED MOHAMED	15822 FRISIAN LN	APPLE VALLEY, MN 5512	HAWTHORNE 2ND	0159158227	\$610.29
013225003030	RAMSEY ANSARI	12735 DOVER DR	APPLE VALLEY, MN 5512	HEARTHSTONE	0640127357	\$888.46
013280101070	FELONISE PITCHFORD	12815 GERMANE AVE	APPLE VALLEY, MN 5512	HIDDEN PONDS 2ND	0757128156	\$312.56
013280101080	FELONISE PITCHFORD	12817 GERMANE AVE	APPLE VALLEY, MN 5512	HIDDEN PONDS 2ND	0757128172	\$292.78
013390301030	JAMES REX	8521 PALOMINO DR	APPLE VALLEY, MN 5512	HIDDEN PONDS 4TH	0537085215	\$290.47
013385002150	AARON LANGVIN	12534 DOVER DR	APPLE VALLEY, MN 5512	HUNTERS RIDGE	0640125344	\$146.20
013390002010	MARIAMA J JALLOW	8680 HUNTERS WAY	APPLE VALLEY, MN 5512	HUNTERS WOOD	0541086803	\$427.31
013415004180	DAWN BROTHERS	12744 DURHAM WAY	APPLE VALLEY, MN 5512	HUNTINGTON	0635127446	\$481.86
013450001250	SASHA GOZE	15845 HYLAND POINTE CT	APPLE VALLEY, MN 5512	HYLAND POINTE SHORES	0059158459	\$422.90
013450001260	MARFAM PROPERTIES	15859 HYLAND POINTE CT	APPLE VALLEY, MN 5512	HYLAND POINTE SHORES	0059158590	\$528.94
013450001360	MENA ADAMS	15935 HYLAND POINTE CT	APPLE VALLEY, MN 5512	HYLAND POINTE SHORES	0059159358	\$589.26
013450101110	PAUL PHOUISANGIEM	15978 HYLAND POINTE CT	APPLE VALLEY, MN 5512	HYLAND POINTE SHORES 2ND ADD	0059159788	\$310.84
014310001020	DUSTIN WHITE D.D.S.	8977 HUNTERS WAY	APPLE VALLEY, MN 5512	KWIK TRIP ADDITION	0541089773	\$1,152.14
014420204120	CAUPOLICAN NUNEZ CABRERA	15792 HIGHVIEW DR	APPLE VALLEY, MN 5512	LAC LAVON SHORES 3RD ADD	0056157926	\$540.62
014442001030	CHASE BANK	15580 ENGLISH AVE	APPLE VALLEY, MN 5512	LB AT ORCHARD PLACE	0877268468	\$271.64
014442001030	CHASE BANK IRR	15580 1/2 ENGLISH AVE	APPLE VALLEY, MN 5512	LB AT ORCHARD PLACE	0877268473	\$265.43
014465001050	ASHLEY SCHLEGEL	404 CIMARRON RD	APPLE VALLEY, MN 5512	LEBANON HILLS 1ST ADD	0528004043	\$516.71
014570001020	MICHAEL LOCH	13411 DIAMOND PATH	APPLE VALLEY, MN 5512	LOCH ADDITION	0649134115	\$247.93
014580001120	IDIL JAMA	15684 HARMONY WAY	APPLE VALLEY, MN 5512	LONGRIDGE	0039156847	\$577.88
014580005020	DIRK WALTON	8461 156TH STREET CT W	APPLE VALLEY, MN 5512	LONGRIDGE	0205084617	\$397.93
014580005190	TIMOTHY HAUSER	15669 HEYWOOD CT	APPLE VALLEY, MN 5512	LONGRIDGE	0044156691	\$536.68
014580102070	ERIC C ROE	15872 HAYES TR CT	APPLE VALLEY, MN 5512	LONGRIDGE 2ND	0042158723	\$610.72
014580103270	KRISTIN GARDNER	15705 HAYES TRL	APPLE VALLEY, MN 5512	LONGRIDGE 2ND	0042157055	\$578.27
014580108370	ANDREW CAMPBELL	15947 HARMONY WAY	APPLE VALLEY, MN 5512	LONGRIDGE 2ND	0039159478	\$812.85
014717501020	ROBERT TYLER	13872 GLENDALE CT	APPLE VALLEY, MN 5512	MAJESTIC RIDGE	0630138729	\$501.27
014820002040	LANCE ANDREWS	12755 DIAMOND CT	APPLE VALLEY, MN 5512	MEADOWLARK GLEN	0650127552	\$257.08
014820101010	GREG FUTCHI	12761 ETHELTON WAY	APPLE VALLEY, MN 5512	MEADOWLARK GLEN 2ND ADD	0678127618	\$423.78
014910001160	ALFREDO BRIONES	7899 HALLMARK WAY	APPLE VALLEY, MN 5512	MORNINGVIEW	0023078999	\$451.15
014910002220	PHILLIP RENGEL	15615 HALLMARK PATH	APPLE VALLEY, MN 5512	MORNINGVIEW	0015156159	\$339.04
014910104020	MARIO RICE	7789 157TH ST W	APPLE VALLEY, MN 5512	MORNINGVIEW 2ND ADDITION	0208077899	\$845.72
014910104030	JENNIFER HILLIER	7781 157TH ST W	APPLE VALLEY, MN 5512	MORNINGVIEW 2ND ADDITION	0208077816	\$132.95
014910205030	ANDREW SCHANEN	15704 GRIFFON CT	APPLE VALLEY, MN 5512	MORNINGVIEW 3RD ADDITION	0053157044	\$423.12
014910211030	CARRIE DOWNS	15785 HANNOVER PATH	APPLE VALLEY, MN 5512	MORNINGVIEW 3RD ADDITION	0012157853	\$398.35
014910305010	PAUL OAKES	15840 GRIFFON PATH	APPLE VALLEY, MN 5512	MORNINGVIEW 4TH	0054158405	\$520.53
014910308030	ABIZAIT DOMINGUEZ-RIOS	15850 GRIFFON PATH	APPLE VALLEY, MN 5512	MORNINGVIEW 4TH	0054158504	\$427.06
014910312040	CHRISTOPHER ROBERT HUGHES	15890 GRIFFON PATH	APPLE VALLEY, MN 5512	MORNINGVIEW 4TH	0054158900	\$376.13
014910316040	ANDREW B CLARK	15875 GRANADA AVE	APPLE VALLEY, MN 5512	MORNINGVIEW 4TH	0011158753	\$482.73
014910501150	MICHAEL WALTERS	15775 HANNOVER PATH	APPLE VALLEY, MN 5512	MORNINGVIEW 6TH	0012157754	\$469.57
014910502010	LISA WADE	15706 HANNOVER PATH	APPLE VALLEY, MN 5512	MORNINGVIEW 6TH	0012157069	\$129.52
014910601480	ANDREA KNOWLTON	15889 GOOSEBERRY WAY	APPLE VALLEY, MN 5512	MORNINGVIEW 7TH	0111158893	\$278.27
014910601510	ANTHONY WELIN	15899 GOOSEBERRY WAY	APPLE VALLEY, MN 5512	MORNINGVIEW 7TH	0111158992	\$569.59
014910602050	SHAWN WOLTER	15812 GOOSEBERRY WAY	APPLE VALLEY, MN 5512	MORNINGVIEW 7TH	0111158125	\$379.21
014910602190	KATHERINE MCCARTY	15870 GOOSEBERRY WAY	APPLE VALLEY, MN 5512	MORNINGVIEW 7TH	0111158703	\$485.05
015201101170	JANINE HANSON	6996 129TH ST W	APPLE VALLEY, MN 5512	NORDIC WOODS 12TH ADDITION	0785069968	\$600.68
015200002080	JAMES RICHTER	6600 132ND ST W	APPLE VALLEY, MN 5512	NORDIC WOODS 1ST ADDITION	0790066009	\$558.55
015200101040	RESIDENT	13196 FOLIAGE AVE	APPLE VALLEY, MN 5512	NORDIC WOODS 2ND	0721131963	\$250.37
015200101160	DONALD J WEEK	13150 FLAMINGO CT	APPLE VALLEY, MN 5512	NORDIC WOODS 2ND	0717131506	\$554.26

**Exhibit B**  
**Resolution Number 2025-\_\_**  
**Delinquent Utility Accounts**  
**Assessment Roll # 697**

Property ID #	Name	Address	City/State/Zip	Plat Name	Account #	Amount
015350002020	ANNA ROSE BRACK	7428 GERMANE TRL	APPLE VALLEY, MN 5512	OAK RIDGE PARK	0760074280	\$403.54
015350004010	JEROME JOHNSON III	7472 GERMANE TRL	APPLE VALLEY, MN 5512	OAK RIDGE PARK	0760074728	\$409.99
015350004060	MELINDA ALLEN	7482 GERMANE TRL	APPLE VALLEY, MN 5512	OAK RIDGE PARK	0760074827	\$235.40
015589301020	HEALTH PARTNERS	15350 ENGLISH AVE	APPLE VALLEY, MN 5512	ORCHARD PLACE 4TH ADDITION	0877268243	\$91.06
015645001020	MICHAEL R MOREY	13192 GEMSTONE CT	APPLE VALLEY, MN 5512	OXFORD HOLLOW	0753131923	\$426.65
015645008020	KIM MUIRRAY	13108 GEMSTONE CT	APPLE VALLEY, MN 5512	OXFORD HOLLOW	0753131089	\$352.68
015660101130	TARA HESTER	121 BEAUMONT CT	APPLE VALLEY, MN 5512	PALOMINO HILLS 2ND	0501001214	\$512.92
015660202080	JAHSWILL OBAREH	105 PONY LN E	APPLE VALLEY, MN 5512	PALOMINO HILLS 3RD	0540001050	\$255.76
015660202100	JUSTIN DAHL	109 PONY LN E	APPLE VALLEY, MN 5512	PALOMINO HILLS 3RD	0540001092	\$529.10
015660202140	MARY JANE RODRIGUEZ	110 PONY LN E	APPLE VALLEY, MN 5512	PALOMINO HILLS 3RD	0540001100	\$558.62
015660301170	ANTHONY THOMAS REAL MOCK	121 CHAPARRAL DR	APPLE VALLEY, MN 5512	PALOMINO HILLS 4TH	0519001214	\$516.56
015660303240	BISHOP WILLY	101 HIDDEN MEADOW CT	APPLE VALLEY, MN 5512	PALOMINO HILLS 4TH	0531001010	\$552.03
015660303280	KALI KUHLMANN	100 HIDDEN MEADOW CT	APPLE VALLEY, MN 5512	PALOMINO HILLS 4TH	0531001002	\$371.74
015660306080	STEVEN J CARROLL	136 CHAPARRAL DR	APPLE VALLEY, MN 5512	PALOMINO HILLS 4TH	0519001362	\$369.77
015677502320	SIRAK MEBRAHTU	8475 137TH ST W	APPLE VALLEY, MN 5512	PALOMINO WOODS	0581084759	\$330.70
015677503120	JENNIFER BARRETT	8295 137TH ST W	APPLE VALLEY, MN 5512	PALOMINO WOODS	0581082951	\$505.53
015677504100	ALFRED SESAY	13620 HAVELOCK TRL	APPLE VALLEY, MN 5512	PALOMINO WOODS	0533136202	\$496.02
015677505070	SCOTT CAMPBELL	13669 HARMONY WAY	APPLE VALLEY, MN 5512	PALOMINO WOODS	0361136696	\$598.25
015677507050	NICOLE MICKELSON	13727 HANOVER WAY	APPLE VALLEY, MN 5512	PALOMINO WOODS	0521137279	\$324.80
015677510020	AUSTTIN ELLIOT	8370 140TH ST W	APPLE VALLEY, MN 5512	PALOMINO WOODS	0570083705	\$548.09
015677510110	KATHERINE HEALD	8354 140TH ST W	APPLE VALLEY, MN 5512	PALOMINO WOODS	0570083549	\$351.56
015677510120	WILLIAM GRANGER	8356 140TH ST W	APPLE VALLEY, MN 5512	PALOMINO WOODS	0570083564	\$318.21
015705001300	DANIELLE STIBAL	14351 GLENDA DR	APPLE VALLEY, MN 5512	PENNOCK SHORES	0352143511	\$321.25
015750001030	TAKEYSHA ROBINSON	14315 EMBRY PATH	APPLE VALLEY, MN 5512	PILOT KNOB ESTATES 1ST	0032143156	\$405.43
015750001100	RICK FOLGER	14343 EMBRY PATH	APPLE VALLEY, MN 5512	PILOT KNOB ESTATES 1ST	0032143438	\$392.74
015750201070	JOSEPH GERARD DEMARCO JR	14388 EMBRY CT	APPLE VALLEY, MN 5512	PILOT KNOB ESTATES 3RD	0014143885	\$430.00
015750302050	TIM ABBOTT	14342 EBONY LN	APPLE VALLEY, MN 5512	PILOT KNOB ESTATES 4TH ADDITION	0625143429	\$186.21
015750401030	JASON TERCERO	14361 EBONY LN	APPLE VALLEY, MN 5512	PILOT KNOB ESTATES 5TH ADDITION	0625143619	\$333.13
015750601200	LEANN ROBERTS	14328 EMPIRE AVE	APPLE VALLEY, MN 5512	PILOT KNOB ESTATES 7TH	0104143282	\$318.44
015750601220	JAMES HOLMES	14334 EMPIRE AVE	APPLE VALLEY, MN 5512	PILOT KNOB ESTATES 7TH	0104143340	\$448.45
015750602110	MARY GLOVER	14300 EMPIRE AVE	APPLE VALLEY, MN 5512	PILOT KNOB ESTATES 7TH	0104143001	\$349.16
015750602170	LEAH VILLANUEVA	14272 EMPIRE AVE	APPLE VALLEY, MN 5512	PILOT KNOB ESTATES 7TH	0104142722	\$154.99
015750701090	ALYSSA F GEORGE	14259 EMPIRE CT	APPLE VALLEY, MN 5512	PILOT KNOB ESTATES 8TH	0105142598	\$403.99
015750701460	TRACY MATTHEWS	14298 ESTATES AVE	APPLE VALLEY, MN 5512	PILOT KNOB ESTATES 8TH	0112142987	\$123.30
015750701480	RESIDENT	14304 ESTATES AVE	APPLE VALLEY, MN 5512	PILOT KNOB ESTATES 8TH	0112143043	\$149.11
015750801440	RESIDENT	14370 ESTATES AVE	APPLE VALLEY, MN 5512	PILOT KNOB ESTATES 9TH ADDITION	0112143704	\$211.01
015765002010	LAURA HENRY	5809 126TH ST W	APPLE VALLEY, MN 5512	PINECREST	0777058094	\$326.72
015765101140	PHILLIP GARCIA	12737 EVELETH PATH	APPLE VALLEY, MN 5512	PINECREST 2ND ADDITION	0671127375	\$242.46
015765102040	THOMAS GILLEN	12660 EVELETH PATH	APPLE VALLEY, MN 5512	PINECREST 2ND ADDITION	0671126609	\$221.06
015767501070	ALMINA DEES	5609 126TH ST W	APPLE VALLEY, MN 5512	PINECREST TOWNHOMES	0777056098	\$535.34
015767501100	DEBRA HAECHEHL	5581 126TH ST W	APPLE VALLEY, MN 5512	PINECREST TOWNHOMES	0777055819	\$451.72
015767501200	TIH PHILLIPS	5569 126TH ST W	APPLE VALLEY, MN 5512	PINECREST TOWNHOMES	0777055694	\$332.11
015767501240	KATHLEEN LEMMONS	5601 126TH ST W	APPLE VALLEY, MN 5512	PINECREST TOWNHOMES	0777056015	\$581.00
016160201010	NEIL MATSCH	6110 158TH ST W	APPLE VALLEY, MN 5512	QUARRY PONDS 3RD	0877265093	\$597.16
016160403110	PAUL D MUELLER	15585 FAIRFIELD DR	APPLE VALLEY, MN 5512	QUARRY PONDS FIFTH ADDITION	0877266958	\$327.43
016280001450	AMY R ANDERSON	12843 EASTVIEW CURVE	APPLE VALLEY, MN 5512	RADCLIFF TOWNHOMES	0617128438	\$406.14
016340001020	THUAN NGUYEN	15754 FINCH AVE	APPLE VALLEY, MN 5512	REGATTA	0127157541	\$182.30
016340003360	BRADLEY SOLEM	15694 FINWOOD CT	APPLE VALLEY, MN 5512	REGATTA	0132156942	\$380.37
016340002120	REGATTA COURTHOME ASSOC-SPKLR	15899 1/2 FJORD AVE	APPLE VALLEY, MN 5512	REGATTA	0138258999	\$126.90
016340002010	REGATTA COURTHOME RENTALS	15899 FJORD AVE	APPLE VALLEY, MN 5512	REGATTA	0138158991	\$1,228.91
016340101010	REGATTA COURTHOME ASSOC-SPKLR	6366 1/2 158TH ST W	APPLE VALLEY, MN 5512	REGATTA 2ND ADDITION	0210163661	\$126.90
016340101010	REGATTA COURTHOME RENTALS	6374 158TH ST W	APPLE VALLEY, MN 5512	REGATTA 2ND ADDITION	0210063747	\$1,755.15
016340101030	REGATTA COURTHOME ASSOC-SPKLR	6382 1/2 158TH ST W	APPLE VALLEY, MN 5512	REGATTA 2ND ADDITION	0210163828	\$126.90
016340101030	REGATTA COURTHOME RENTALS	6390 158TH ST W	APPLE VALLEY, MN 5512	REGATTA 2ND ADDITION	0210063903	\$1,344.59
016340129200	CHERYL COOPER	15578 FINCH AVE	APPLE VALLEY, MN 5512	REGATTA 2ND ADDITION	0127155784	\$397.76
016340207020	MARY WELSH	15763 FLAN CT	APPLE VALLEY, MN 5512	REGATTA 3RD ADDITION	0163157637	\$244.78
016340221030	HIEH QUANG TRAN	6460 157TH ST W	APPLE VALLEY, MN 5512	REGATTA 3RD ADDITION	0208064608	\$266.05
016344101040	NDRI DIBY	15711 FAIR HILL WAY	APPLE VALLEY, MN 5512	REGENTS POINT 2ND	0877265473	\$612.09
016460001020	RONALD VOSS	14259 DRAKE PATH	APPLE VALLEY, MN 5512	ROLLING RIDGE	0610142592	\$1,007.00
016460004070	ALISON MARIE LANG	14405 DRUMLIN CT	APPLE VALLEY, MN 5512	ROLLING RIDGE	0611144050	\$369.21
016620001070	DAVID BRUNI	7197 131ST CIR W	APPLE VALLEY, MN 5512	SALEM WOODS ADDITION	0788071979	\$272.69
016620001130	MIGUEL ACOSTA MEDINA	7190 131ST CIR W	APPLE VALLEY, MN 5512	SALEM WOODS ADDITION	0788071904	\$245.00
016650004090	ANDREW EVERT	7220 UPPER 139TH ST W	APPLE VALLEY, MN 5512	SCOTT HIGHLANDS	0838072209	\$279.96
016650004230	STEWART GOODMAN	13968 GLAZIER CT	APPLE VALLEY, MN 5512	SCOTT HIGHLANDS	0772139683	\$383.16
016650102200	MELISSA SCHLOBOHM	14136 GERMANE AVE	APPLE VALLEY, MN 5512	SCOTT HIGHLANDS 2ND	0757141365	\$279.96
016650102310	CHRISTOPHER MCCARGAR	14113 GLAZIER AVE	APPLE VALLEY, MN 5512	SCOTT HIGHLANDS 2ND	0769141130	\$504.59
016650206070	RUE PROPERTIES L.L.C.	7040 UPPER 143RD CT W	APPLE VALLEY, MN 5512	SCOTT HIGHLANDS 3RD	0847070400	\$312.60
016650207020	RESIDENT	7039 142ND ST W	APPLE VALLEY, MN 5512	SCOTT HIGHLANDS 3RD	0844070395	\$395.97
016650303010	CHAD ZUELOW	14347 GARLAND AVE	APPLE VALLEY, MN 5512	SCOTT HIGHLANDS 4TH	0745143473	\$385.11
016650303240	DAVID JONES	14332 GARRETT AVE	APPLE VALLEY, MN 5512	SCOTT HIGHLANDS 4TH	0748143322	\$563.51
016650306030	MARCUS HORTON	7060 145TH ST W	APPLE VALLEY, MN 5512	SCOTT HIGHLANDS 4TH	0859070603	\$424.49
016650306060	ZOE VEDETTE GARRISON	7118 145TH ST W	APPLE VALLEY, MN 5512	SCOTT HIGHLANDS 4TH	0859071189	\$366.43
016650307020	VILMA MARTINEZ	7102 146TH ST W	APPLE VALLEY, MN 5512	SCOTT HIGHLANDS 4TH	0862071028	\$315.69
016670004140	EDWIN SANCHEZ CAASTILLO	14393 EUROPA AVE	APPLE VALLEY, MN 5512	SCOTTSBRIAR 1ST	0634143931	\$484.76
016670005050	NAIMO FARAH	5690 142ND ST W	APPLE VALLEY, MN 5512	SCOTTSBRIAR 1ST	0844056907	\$466.79
016670005070	RICHARD CONOVER	5716 142ND ST W	APPLE VALLEY, MN 5512	SCOTTSBRIAR 1ST	0844057160	\$425.45
016670005100	DOMINIQUE SHEPHERD	5754 142ND ST W	APPLE VALLEY, MN 5512	SCOTTSBRIAR 1ST	0844057541	\$466.26
016670005210	VICTOR CARRILLO-PEREZ	5773 143RD ST W	APPLE VALLEY, MN 5512	SCOTTSBRIAR 1ST	0850057732	\$367.95
016670008030	RESIDENT	5718 144TH ST W	APPLE VALLEY, MN 5512	SCOTTSBRIAR 1ST	0857057180	\$433.87
016670101090	WILLIE LUMSON	14431 EXLEY LN	APPLE VALLEY, MN 5512	SCOTTSBRIAR 2ND	0626144319	\$525.77
016670103140	ROSIE BOERBOOM	14449 EVEREST AVE	APPLE VALLEY, MN 5512	SCOTTSBRIAR 2ND	0673144493	\$437.95
016670104080	WILLIAM WELLS III	5884 144TH ST W	APPLE VALLEY, MN 5512	SCOTTSBRIAR 2ND	0857058840	\$303.61
010130077032	MATTHEW KLUCK	12989 DIAMOND PATH	APPLE VALLEY, MN 5512	SECTION 13 TWN 115 RANGE 20	0877267738	\$209.52
017250001010	DAVID KERBER	13907 DUBLIN RD	APPLE VALLEY, MN 5512	STONEWOOD 1ST ADDITION	0641139070	\$430.82
017250002050	PAUL RAMCHARIT	4939 140TH ST W	APPLE VALLEY, MN 5512	STONEWOOD 1ST ADDITION	0570049391	\$278.28
017310001030	ZACHARY MATZ	13854 DULUTH DR	APPLE VALLEY, MN 5512	SUMMERFIELD	0647138548	\$433.97
017310002050	NATALIE SEILER	13891 DULUTH DR	APPLE VALLEY, MN 5512	SUMMERFIELD	0647138910	\$156.54
017310101010	HOLLY CAESAR	13871 DUBLIN RD	APPLE VALLEY, MN 5512	SUMMERFIELD 2ND ADDITION	0641138718	\$405.38
017310201060	ROSS SOLD0	4825 138TH ST W	APPLE VALLEY, MN 5512	SUMMERFIELD 3RD ADDITION	0826048252	\$322.56
017310202100	DEREK LUSK	13820 DULUTH DR	APPLE VALLEY, MN 5512	SUMMERFIELD 3RD ADDITION	0647138209	\$286.22





ITEM:  
COUNCIL MEETING DATE:  
SECTION:

4.C.  
April 10, 2025  
Consent Agenda

**Description:**

Proclaim June 27 to July 5, 2025, as "The 59th Annual Apple Valley Freedom Days Celebration" and Designate it a Community Festival

**Staff Contact:**

Eric Carlson, Parks & Recreation Director

**Department / Division:**

Parks and Recreation Department

**ACTION REQUESTED:**

Proclaim June 27, 2025, through July 5, 2025, as "The 59th Annual Apple Valley Freedom Days Celebration" and designate it a community festival.

**SUMMARY:**

The Apple Valley Freedom Days Committee is organizing an event worthy of the 59th anniversary of the annual Freedom Days celebration. The Committee is asking for City Council recognition of the event by proclaiming it "The 59th Annual Apple Valley Freedom Days Celebration." The Committee also encourages community participation in the many fun activities planned as part of the celebration.

Designating Freedom Days as an official community festival slightly earlier this year will allow for the processing of a liquor license request, which requires approval by the Minnesota Department of Public Safety. Other approvals related to the Freedom Days Celebration (i.e., street closures, sign location authorization, event schedule approval, etc.) will be brought before the City Council for consideration at a future meeting.

**BACKGROUND:**

Some events previously included in the celebration have been:

- Car and Motorcycle Show
- Family Fun Night
- Fun Run
- Parade
- Fireworks

**BUDGET IMPACT:**

2025 Budget Items:

4th of July Fireworks \$30,000

4th of July Parade \$17,600

**ATTACHMENTS:**

## Proclamation

CITY OF APPLE VALLEY  
**PROCLAMATION**

WHEREAS, the City of Apple Valley is proud to be a part of this great Nation and its heritage; and

WHEREAS, this Nation became Independent on July 4, 1776, and Apple Valley wishes to honor this momentous occasion with a community-wide celebration; and

WHEREAS, the Apple Valley residents, civic organizations, business community, Parks and Recreation Department, and Apple Valley Freedom Days Committee are joining together to develop a fantastic community celebration for this year.

NOW, THEREFORE, BE IT RESOLVED, by the City Council of the City of Apple Valley, Dakota County, Minnesota, that June 27, 2025, through July 5, 2025, are hereby proclaimed to be:

**“The 59th Annual Apple Valley Freedom Days Celebration”**

and is declared a community festival. Council encourages the citizens of Apple Valley to support and participate in the celebration.

PROCLAIMED this 10th day of April, 2025.

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Clint Hooppaw, Mayor

ATTEST:

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Christina M. Scipioni, City Clerk



ITEM:  
COUNCIL MEETING DATE:  
SECTION:

4.D.  
April 10, 2025  
Consent Agenda

**Description:**

Approve Change of Corporate Officers in Connection with On-Sale Liquor License at Texas Roadhouse Holdings, LLC, d/b/a Texas Roadhouse, 5545 157th Street W.

**Staff Contact:**

Stephanie Marschall, Deputy City Clerk

**Department / Division:**

City Clerk's Office

**ACTION REQUESTED:**

Approve the change of corporate officers in connection with the On-Sale Intoxicating Liquor License and Special License for Sunday Liquor Sales at Texas Roadhouse Holdings, LLC, d/b/a Texas Roadhouse, located at 5545 157th Street W.

**SUMMARY:**

Texas Roadhouse Holdings, LLC, d/b/a Texas Roadhouse, has filed an application for changes in corporate officers required in connection with its On-Sale Intoxicating Liquor License and Special License for Sunday Liquor Sales at 5545 157th Street W.

The new officers named are Mr. David Christopher Monroe as Chief Financial Officer, and Mr. Travis Carter Doster as Chief Communications Officer.

In addition, the titles of current officers on file have been changed as follows:

1. Gerald L. Morgan, Chief Executive Officer
2. Regina A. Tobin, President
3. Hernan E. Mujica, Chief Technology Officer
4. Christopher C. Colsom, Chief Legal and Administrative Officer and Corporate Secretary

Personal information forms have been filed on the new individuals and the Police Department has conducted the necessary background investigation indicating nothing to preclude the business from continuing to hold a license.

**BACKGROUND:**

City Code Section 111.34 provides for City Council approval of such changes.

**BUDGET IMPACT:**

N/A



ITEM:  
COUNCIL MEETING DATE:  
SECTION:

4.E.  
April 10, 2025  
Consent Agenda

**Description:**

Approve State Gambling Exempt Permit for Apple Valley Rotary Scholarship Foundation to hold a raffle on May 13, 2025, at Valleywood Golf Course, 4851 McAndrews Road

**Staff Contact:**

Christina M. Scipioni, City Clerk

**Department / Division:**

City Clerk's Office

**ACTION REQUESTED:**

Approve issuance of a lawful gambling exempt permit by the State Gambling Control Board to Apple Valley Rotary Scholarship Foundation to hold a raffle on May 13, 2025, at Valleywood Golf Course, 4851 McAndrews Road.

**SUMMARY:**

Apple Valley Rotary Scholarship Foundation submitted an application for a raffle to be held at Valleywood Golf Course, 4851 McAndrews Road, on May 13, 2025. The application is on file in the City Clerk's Office.

**BACKGROUND:**

Exempt permits to conduct lawful gambling activities, on five or fewer days in a calendar year, for qualified nonprofit organizations, are issued by the State Gambling Control Board. Issuance is subject to approval or denial by the city in which the gambling activity is to be conducted.

**BUDGET IMPACT:**

N/A





ITEM:  
COUNCIL MEETING DATE:  
SECTION:

4.F.  
April 10, 2025  
Consent Agenda

**Description:**

Approve State Gambling Exempt Permit for Apple Valley Community Crime Prevention Association to hold a raffle on May 4, 2025, at CrossFit Templar, 14608 Felton Court

**Staff Contact:**

Christina M. Scipioni, City Clerk

**Department / Division:**

City Clerk's Office

**ACTION REQUESTED:**

Approve issuance of a lawful gambling exempt permit by the State Gambling Control Board to Apple Valley Community Crime Prevention Association to hold a raffle on May 4, 2025, at CrossFit Templar, 14608 Felton Court.

**SUMMARY:**

Apple Valley Community Crime Prevention Association submitted an application for a raffle to be held at CrossFit Templar, 14608 Felton Court, on May 4, 2025. The application is on file in the City Clerk's Office.

**BACKGROUND:**

Exempt permits to conduct lawful gambling activities, on five or fewer days in a calendar year, for qualified nonprofit organizations, are issued by the State Gambling Control Board. Issuance is subject to approval or denial by the city in which the gambling activity is to be conducted.

**BUDGET IMPACT:**

N/A



ITEM:  
COUNCIL MEETING DATE:  
SECTION:

4.G.  
April 10, 2025  
Consent Agenda

**Description:**

Approve the Sale and Purchase Agreement, Including Repurchase Agreement, with Markid Properties II, LLC, for City-Owned Properties Generally Identified as Central Village West Site, located at 7153 153rd St. W. and 7169 152nd St. W.

**Staff Contact:**

Tim Benetti, Community Development Director

**Department / Division:**

Community Development Department

**ACTION REQUESTED:**

Approve the Sale and Purchase Agreement, including a Repurchase Agreement, with Markid Properties II, LLC for the City-owned properties known as the Central Village West Site, located at 7153 153rd St. W. and 7169 152nd St. W.

**SUMMARY:**

The Central Village West Site consists of two vacant parcels legally described as Lot 1, Block 3, VILLAGE AT FOUNDERS CIRCLE (PID: 01-81750-03-010) and Lot 2, Block 3, VILLAGE AT FOUNDERS CIRCLE (PID: 01-81750-03-020). These parcels measure 1.67 acres and 2.03 acres, respectively, for a total development area of 3.7 acres.

The site is located south of Apple Valley Ford, east of the U.S. Post Office, north of the Risor Apartments, and west of Grand Stay Hotel. It is designated as "MIX" (Mixed Use) in the 2040 Comprehensive Guide Plan and zoned PD No. 739 (Subzone 4).

Markid Properties has submitted a full-value offer of \$2,500,000, aligning with the highest and best value range determined by an appraisal completed in early 2024. The Purchase Agreement incorporates this offer.

Markid Properties plans and commits to develop an indoor pickleball facility with indoor/outdoor dining amenities consistent with the Purchase Agreement. The Purchase Agreement was prepared by the City Attorney and reviewed and approved for content and conditions by the buyer. (*Note: The agreement has been signed by Markid Properties under the Sale and Purchase Agreement section, while the Repurchase Agreement, labeled "Exhibit B," will be signed at closing.*)

**BACKGROUND:**

Following an early 2024 appraisal, the City initiated a Request for Proposal (RFP) process seeking development proposals, with a preference for commercial recreation, restaurants, brewpubs, distilleries, or other compatible uses. The City received three proposals within the deadline and one after, all of which were ultimately rejected by the City Council.

In late 2024 and early 2025, Planning Staff engaged with two separate development groups

interested in purchasing the site for commercial recreation use. On March 13, City Staff presented one proposal and a letter of intent to purchase during a City Council Closed Session meeting. The Council unanimously supported Markid Properties' purchase and directed the City Attorney to draft an official purchase agreement.

The proposed pickleball facility will require additional entitlement applications, including a PD Zone amendment, preliminary/final plat approval, site plan review, and possibly a conditional use permit, before construction can commence.

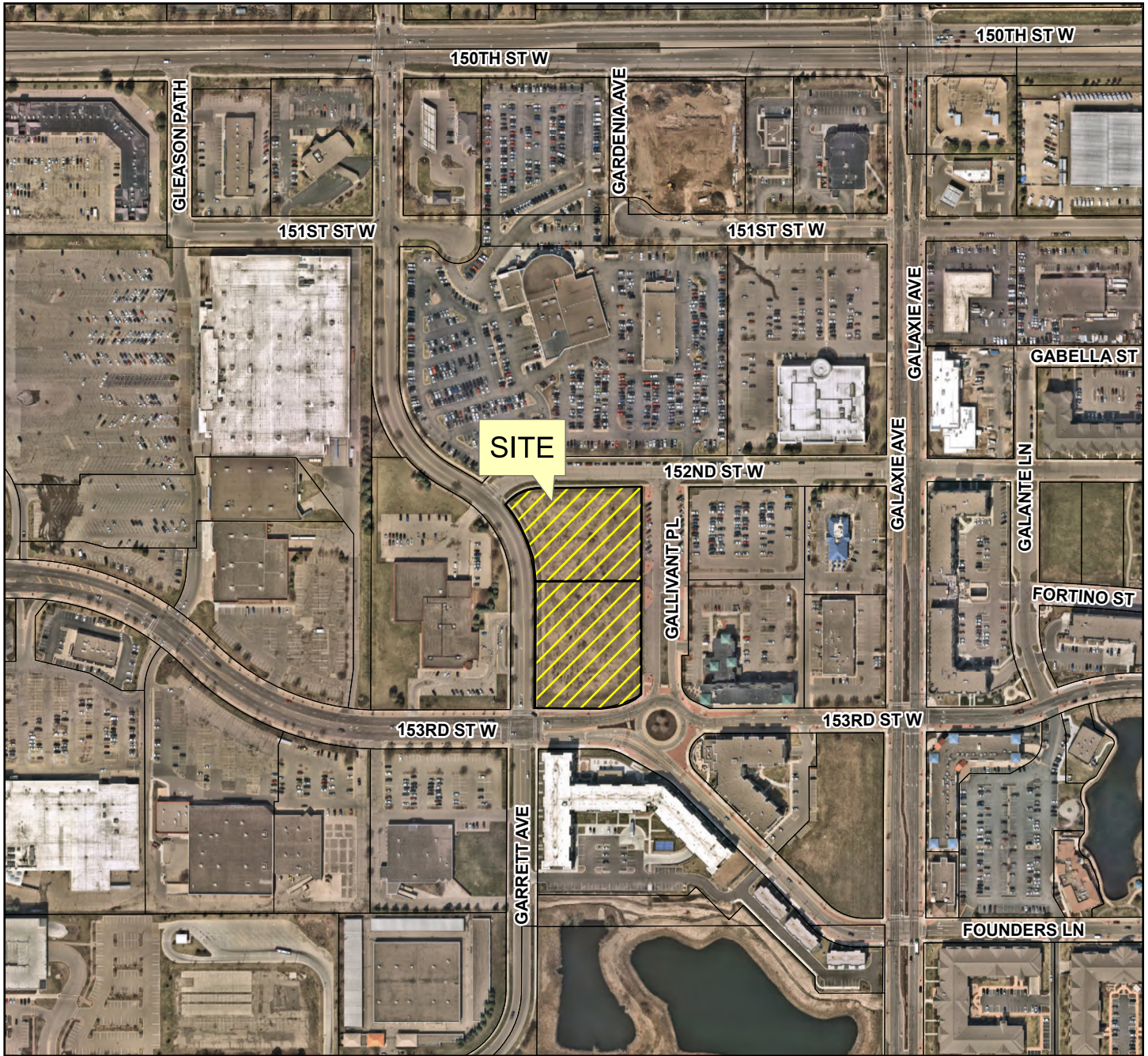
**BUDGET IMPACT:**

N/A

**ATTACHMENTS:**

Location Map  
Agreement

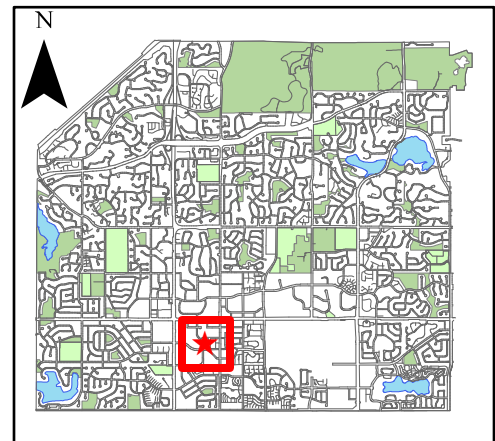




# Central Village West Parcels Zoned PD-739 Subzone 4



0 200 400 Feet



## **SALE AND PURCHASE AGREEMENT**

This Sale and Purchase Agreement (the “Agreement”) is entered into effective as of the last date set forth below on the signature page (the “Effective Date”) by and between City of Apple Valley, a Minnesota municipal corporation (hereinafter referred to as “Seller”) and Markid Properties II, LLC, a Minnesota limited liability company (hereinafter referred to as “Buyer”). Seller and Buyer are collectively referred to as the Parties.

In consideration of the foregoing and the mutual covenants, and agreement hereinafter expressed, and for other good, fair and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, the Seller and Buyer hereby agree as follows:

1. **Purchase and Sale.** Upon the terms and conditions hereinafter stated, Seller agrees to sell and convey to Buyer, and Buyer agrees to purchase, all of Seller’s right, title and interest in and to that certain parcels of real estate located in Dakota County, Minnesota and legally described as

Lot 1, Block 3, VILLAGE AT FOUNDERS CIRCLE (7153 153<sup>rd</sup> Street) (PID: 01-81750-03-010); and

Lot 2, Block 3, VILLAGE AT FOUNDERS CIRCLE (7169 152<sup>nd</sup> Street West) (PID: 01-81750-03-020)

(the “Property”).

2. **Price and Payment.** The Purchase Price for the Property is Two Million Five Hundred Thousand and no/100 Dollars (\$2,500,000.00) and is payable as follows:

- 2.1 **Earnest Money.** The sum of Fifty Thousand and no/100 Dollars (\$50,000.00) shall be deposited with the Title Company (as defined herein) within three (3) business days following the Effective Date and shall be held in escrow by the Title Company as and for earnest money (together with any interest earned thereon, the “Earnest Money”) in accordance with the terms of this Agreement. The Earnest Money shall be applied to the Purchase Price and will remain fully refundable to the Buyer during the Due Diligence Period (as defined herein), and shall become nonrefundable to the Buyer upon the expiration of the Due Diligence Period.

- 2.2 **Cash at Closing.** The unpaid balance of the Purchase Price, subject to prorations and adjustments as provided herein, shall be paid on the Closing Date in cash, by wire transfer or other immediately available funds.

3. **Due Diligence.**

- 3.1 **Inspections and Approvals.** From the Effective Date until the end of the Due Diligence Period (as defined herein), Buyer may review and inspect all aspects of the Property, including, but not limited to, evaluating due diligence materials; zoning and potential rezoning to meet its intended development plan; and conducting surveying, geotechnical, archeological, environmental, well tests, delineations, and any other due diligence inspection, analysis or review deemed necessary by Buyer (“Tests”). Seller agrees to cooperate with Buyer on any Tests, other inspections, and City entitlement applications, if needed. Buyer shall pay all costs and expenses of the Tests and shall defend, indemnify and hold harmless Seller and its agents, employees and contractors and the Property from



and against any and all loss, cost, damage, liability, settlement, cause of action or threat thereof or expense (including, without limitation, reasonable attorneys' fees and costs) to the extent arising from the Tests, provided, however, Buyer shall not be responsible for costs or remediation of any pre-existing environmental conditions revealed by Buyer's Tests. Buyer shall promptly repair and restore any damage to the Property caused by Buyer's Tests and return the Property to substantially the same condition as existed prior to the conduct of the Tests. No invasive Tests shall be done without Seller's approval as to the time and manner of such Tests, which approval shall not be unreasonably withheld or delayed, and, at Seller's option, any such Tests shall be performed in the presence of a representative of Seller. Buyer shall promptly deliver to Seller copies of the Tests related to the Property including, without limitation, any environmental assessment prepared with respect to the Property. Buyer shall immediately notify Seller of the discovery of any hazardous materials or other environmental condition on the Property (prior to giving any notice to any governing authority), and; (i) if, according to Buyer's consultants, such condition requires remedial action, shall cease any further Tests until Buyer receives approval from Seller that Buyer may continue; and (ii) shall dispose of the contaminated samples in Buyer's possession in accordance with law. The obligations of Buyer under this Section 3.1 shall survive Closing (or termination) of this Agreement, notwithstanding any provision to the contrary herein contained.

**3.2 Due Diligence Period.** The "Due Diligence Period" is the period from the Effective Date through the date that is one hundred eighty (180) days after the Effective Date.

**3.3 Buyer's Contingencies and Termination Right.** The obligations of Buyer under this Agreement are contingent upon each of the following:

**3.3.1 Tests.** Buyer shall have determined in its sole and absolute discretion, on or before the expiration of the Due Diligence Period, that it is satisfied with the results of and matters disclosed by the Tests.

**3.3.2 Document Review.** Buyer shall have determined in its sole and absolute discretion, on or before the expiration of the Due Diligence Period, that it is satisfied with its review and analysis of the due diligence materials related to the Property.

**3.3.3 Suitability.** Buyer shall have determined in its sole and absolute discretion, on or before the expiration of the Due Diligence Period, that the Property is suitable to Buyer in accordance with Buyer's development plans.

**3.3.4 Government Approvals.** Buyer shall have obtained at its sole cost and expense, on or before the expiration of the Due Diligence Period, all entitlements, site plan approvals, building plan and design approvals and permits, environmental and wetland mitigation approvals, stormwater management and other watershed district approvals, zoning and land use approvals, any applicable platting and subdivision approvals, and any and all other governmental approvals, in each case to the extent necessary in Buyer's sole judgment for Buyer's proposed use as depicted on Exhibit "A" (the "Approvals").

In the event Buyer determines in its sole discretion that any of the contingencies set forth above have not been satisfied on or before the expiration of the Due Diligence Period, or if Buyer is dissatisfied with the Property for any or no reason, Buyer shall have the right to

terminate this Agreement by written notice to Seller on or before the expiration of the Due Diligence Period. Upon such termination, the Earnest Money shall be returned to Buyer. If Buyer acknowledges the satisfaction or waiver of a contingency by written notice to Seller, or if Buyer does not provide a written notice of termination by the date required, Buyer shall no longer have a right to terminate this Agreement under this Section because of such contingency. All the contingencies set forth in this Section 3.3 are specifically for the benefit of the Buyer and may be waived by Buyer at any time.

#### **4. Title and Survey Examination.**

**4.1 Title Insurance Commitment.** Within five (5) days following the Effective Date, Buyer will order a title insurance commitment from DCA Title (the "Title Company"), including a copy of each instrument listed as an exception to title or referred to therein (the "Title Commitment"), covering the Property, issued by the Title Company, by which Title Commitment the Title Company shall agree to issue to Buyer, upon recording the Deed (as hereinafter defined), an extended coverage current ALTA Form owners title insurance policy (the "Title Insurance Policy") in the amount of the full Purchase Price.

**4.2 Survey.** Buyer, at its sole cost and expense, shall obtain an ALTA/NSPS Land Title Survey of the Property (the "Survey") prepared by a duly licensed land surveyor licensed in Minnesota and acceptable to Buyer. The Survey shall identify the Title Commitment and show all exceptions disclosed in the Title Commitment. The Survey shall be certified to Buyer, Seller and the Title Company.

**4.3 Title Objections.** No later than thirty (30) days following the receipt of both the Title Commitment and Survey, Buyer shall provide written notice to Seller (the "Title Notice") of its approval or disapproval of any exception, matter or condition contained therein (each a "Title Objection").

**4.3.1** Within thirty (30) days of receiving Buyer's Title Notice, Seller will use good faith and reasonable diligence, but will not be obligated to incur any material out-of-pocket expense, to cure any Title Objections. If Seller does not cure the Title Defects within such thirty (30) day period to Buyer's and Title Company's satisfaction, then on or before the expiration of the Due Diligence Period, Buyer shall have the option to give written notice to Seller that Buyer: (i) waives such Title Objections; or (ii) terminates this Agreement. Upon such termination, the Earnest Money shall be returned to Buyer.

**4.3.2** Any Title Objection(s) Buyer waives in writing, and each exception, matter or condition which Buyer approves in writing, shall become a "Permitted Exception" to title. Permitted Exceptions are listed on Exhibit "B."

#### **5. Buyer's Covenants.**

**5.1 Condition of the Property.** Buyer acknowledges that the Property is being purchased "AS-IS."

**5.2 Development Applications.** Buyer acknowledges that it shall promptly submit any and all development applications to the City of Apple Valley for its intended use of the Property.

- 5.3 **Development Obligations.** Buyer acknowledges that it is solely responsible for all development requirements that may be required under the Apple Valley City Code including, but not limited to park dedication, stormwater requirements, sanitary area and water area charges and such other obligations as may be required under the Apple Valley City Code.
6. **Closing and Closing Procedures.** The Closing shall be conducted in accordance with the following procedures:
- 6.1 **Closing Date.** The closing of the transaction contemplated herein (“Closing”) shall occur on the date that is thirty (30) days after the expiration of the Due Diligence Period or no later than December 31, 2025 (“Closing Date”).
- 6.2 **Place of Closing; Manner of Closing.** The Closing shall be conducted at the Title Company in Apple Valley, Minnesota.
- 6.3 **Closing Procedures.** This transaction may close remotely by depositing the required money and documents in escrow with the Title Company.
- 6.4 **Conveyance.** Seller shall deliver to Buyer a standard Minnesota form limited Warranty Deed (the “Deed”) in recordable form conveying fee simple title to the Property, subject only to the Permitted Exceptions.
- 6.5 **Repurchase Agreement.** Seller and Buyer shall execute the Repurchase Agreement attached hereto as Exhibit “C.”
- 6.6 **Costs of Sale; Prorations.**
- 6.6.1 **Title Insurance and Survey.** Seller shall pay the costs of abstracting, name searches, preparation and issuance of the Title Commitment including any updates. Buyer shall pay the premium for the Owner’s Policy issued pursuant to the Title Commitment and any special endorsements thereto.
- 6.6.2 **State Deed Tax Stamps.** Seller shall pay the state deed tax.
- 6.6.3 **Costs of Recording.** Buyer shall pay all other costs of recording the Deed. Seller shall pay any recording fees associated with removing any of Buyer’s Title Objections.
- 6.6.4 **Real Estate Taxes.** Real property taxes due and payable for the Property prior to the year in which the Closing occurs shall be paid by Seller. Real property taxes due and payable for the Property in the year of Closing shall be prorated between Seller and Buyer through the Closing Date.
- 6.6.5 **Special Assessments.** “Special assessments” means all assessments levied or to be levied under Minn. Stat. Chapter 429, under any other statute, regulation, charter, ordinance or under any declaration of covenants affecting the Property other than assessments related to Buyer’s proposed development activities. At the Closing of the sale of the Property:



**6.6.5.1** Seller shall pay all special assessments that are levied, pending or deferred as of the Effective Date, including those certified to real property taxes for the year of Closing.

**6.6.5.2** Buyer shall be responsible for paying all special assessments that are levied after the Effective Date and not otherwise Seller's responsibility, or that are the result of improvements that, as of the Closing Date, have been or will be installed as a direct result of Buyer's development of the Property. Seller shall remain responsible for all previously existing deferred assessments and any interest due thereon. Buyer is responsible for all costs related to any land use approvals or contemplated costs of development, including, but not limited to, water ponding requirements and any other costs related to its contemplated development.

**6.6.6** **Closing Fees.** Closing fees customarily charged by the Title Company shall be shared equally between the Parties. If any escrows are required pursuant to this Agreement, escrow fees charged by the Title Company shall be payable by the party creating the circumstance for which the escrow is required.

**6.6.7** **Attorney's Fees.** Each of the parties will pay its own attorneys' fees, except that a party defaulting under this Agreement or under any closing document will pay the reasonable attorneys' fees and court costs incurred by the non-defaulting party to enforce its rights regarding such default.

**6.7** **Seller Closing Deliveries.** At the Closing, Seller shall deliver the following:

**6.7.1** The Deed.

**6.7.2** A standard form owner's affidavit sufficient and acceptable to the Title Company so as to allow it to eliminate the standard owner's exceptions, including the parties in possession, mechanic's lien, and gap exceptions from the Title Commitment and the Owner's Policy issued pursuant thereto. The affidavit shall run in favor of Buyer and the Title Company.

**6.7.3** A non-foreign seller affidavit, in commercially acceptable form (or if Seller is a foreign person, then Seller agrees to comply with all withholding requirements of the Internal Revenue Service related thereto).

**6.7.4** A statutory well disclosure certificate, if applicable.

**6.7.5** Information necessary for the Title Company to complete an ECRV.

**6.7.6** A certificate of Seller certifying that Seller's representations and warranties in this Agreement are true and correct as of the Closing Date.

**6.7.7** A Designation Agreement designating the "reporting person" for purposes of completing Internal Revenue Form 1099 and, if applicable, Internal Revenue Form 8594.

**6.7.8** Seller shall deliver possession of the Property at Closing, free and clear of all tenancies, occupancies and rights, titles or interests of third parties.

- 6.8 Buyer Closing Deliveries.** At the Closing, Buyer shall deliver the following:
- 6.8.1** The balance of the Purchase Price determined in accordance with the terms of this Agreement.
  - 6.8.2** Such customary affidavits as may reasonably be required by the Title Company to insure the title to the Property, in accordance with the terms of this Agreement.
- 7. Buyer's Default.** In the event Buyer defaults in the performance of its obligation to Close hereunder, Seller shall have the right to terminate this Agreement by giving written notice to Buyer in accordance with Minnesota Statute 559.21, if Buyer fails to cure such default within any applicable period provided by Minnesota Statute 559.21, and upon such termination Buyer shall forfeit the Earnest Money already paid. The termination of this Agreement and retention of the Earnest Money will be the sole and exclusive remedy available to Seller for Buyer's failure to Close.
- 8. Seller's Default.** Seller shall be in default hereunder ("Seller's Default") if any representation or warranty made by Seller herein is false in any material respect or Seller otherwise defaults in the performance of any covenant or obligation contained in this Agreement.
- 8.1** If, prior to Closing, Seller fails to cure any Seller's Default within ten (10) business days after Seller's receipt of notice of the breach from Buyer, Buyer shall have the following sole and exclusive remedies:
    - 8.1.1** Terminate this Agreement and thereupon all of the Earnest Money shall be returned in accordance with this Agreement.
    - 8.1.2** Waive any such default and proceed with the purchase of the Property pursuant to the remaining terms of this Agreement.
- 9. Indemnities; Defaults after Closing or Termination.** The limitations on the Parties' remedies set forth in Sections 7 and 8 will not be deemed to prohibit the Seller from (i) specifically seeking indemnification from the Buyer for any matter with respect to which the Buyer has agreed hereunder to provide indemnification or from seeking damages from the Buyer in the event it fails or refuses to provide such indemnification; and (ii) subject to the terms, conditions and limitations of this Agreement, seeking damages incurred during the period of time after Closing that a representation or warranty given as of the Closing Date by the other party hereunder survives Closing, for the Buyer's breach of such representation or warranty discovered after such Closing.
- 10. Representations and Warranties of Seller with Respect to the Property.** Each of the warranties and representations contained in this Section 10 and other paragraphs of this Agreement shall be deemed made as of the Effective Date and again as of the Closing Date. Seller hereby represents and warrants to, and covenants with, Buyer that:
- 10.1 Legal Capacity.** Seller has the requisite power and authority to enter into and perform this Agreement and those Seller's closing documents signed by it.
  - 10.2 Title.** To Seller's actual knowledge, Seller has good and marketable fee simple title to the Property; and there are no outstanding contracts to sell the Property or any part of the Property except this Agreement.

- 10.3 Property Interests.** There are no parties with any right, title or interest to the Property (marital, homestead, leasehold, lien, option, right of first refusal, contractor, vendee or otherwise), and no other signatures are required to make this Agreement fully enforceable by Buyer.
- 10.4 Storage Tanks.** To Seller's actual knowledge, there are no underground or aboveground storage tanks currently or formerly located on the Property. Seller has no actual knowledge of any reports, documents or other records pertaining to the Property which would disclose the existence of a Storage Tank currently on the Property or at any time in the past.
- 10.5 Wells; Septic.** Seller does not know of any wells located on or serving the Property. Seller does not know of any individual sewer treatment systems located on or serving the Property.
- 10.6 Refuse and Hazardous Materials.** To Seller's actual knowledge, except for past storage of gasoline and past storage and ongoing application of fertilizer, pesticides, herbicides and other substances applied and stored in accordance with applicable laws in connection with the prior residential and agricultural use of the Property, there are no "Hazardous Materials" (as hereinafter defined) on the Property that would subject Buyer to any liability under either federal or state laws, including, but not limited to, the disposal of any foreign objects or materials upon or in the Property, lawful or otherwise.

The term "Hazardous Materials" as used herein includes, without limitation, gasoline, diesel fuel, oil and other petroleum products, explosives, radioactive materials, hazardous materials, hazardous wastes, hazardous or toxic substances, polychlorinated biphenyls or related or similar materials, asbestos or any material containing asbestos, or any other substance or material as may be defined as a hazardous or toxic substance by any federal, state or local environmental law, ordinance, rule, or regulation including, without limitation, the Comprehensive Environmental Response, Compensation, and Liability Act of 1980, as amended (42 U.S.C. Section 9601, et seq.), the Hazardous Materials Transportation Act, as amended (42 U.S.C. Section 1801, et seq.), the Resource Conservation and Recovery Act, as amended (42 U.S.C. Section 1251, et seq.), the Clean Air Act, as amended (42 U.S.C. Section 7401, et seq.), Minnesota Environmental Response and Liability Act, Minn. Stat. 115B ("MERLA"), and the Minnesota Petroleum Tank Release Cleanup Act, Minn. Stat. 115C, and in the regulations adopted and publications promulgated pursuant thereto.

- 10.7 Methamphetamine Disclosure.** For the purposes of satisfying any applicable requirements of Minn. Stat. § 152.0275, Seller is not aware that any methamphetamine production has previously occurred on the Property.
- 10.8 Due Diligence Deliveries.** Seller has delivered (or will deliver pursuant to this Agreement) to Buyer true and complete copies of all due diligence materials relating to or affecting the Property that are in Seller's possession.

Subject to Seller's representations and warranties set forth above, Buyer is purchasing, and Seller shall sell and convey to Buyer, the Property in its existing condition on the Closing Date AS-IS, WHERE-IS, and WITH-ALL-FAULTS, with respect to all facts, circumstance, conditions and defects. Except for Seller's express representations and warranties contained in this Agreement, Seller disclaims, and Buyer acknowledges that Seller has not made, any warranty or representation, express or implied, written or oral, statutory or otherwise, of any nature whatsoever with respect to

the Property, including without limitation representation, use of the Property for Buyer's intended use, the condition of the Property, past or present use, development, investment potential, tax ramifications or consequences, present or future zoning, habitability, merchantability, fitness or suitability for any purpose, or any other matter with respect to the Property.

**11. Miscellaneous.**

- 11.1 Captions.** The captions contained herein are for convenience only and are not a part of this Agreement.
- 11.2 Entire Agreement.** This Agreement, including the Exhibits attached hereto, contains the entire Agreement between Seller and Buyer. All other representations, negotiations and agreements, written and oral, including any letters of intent which pre-date the Effective Date, with respect to the Property or any portion thereof, are superseded by this Agreement and are of no force and effect. This Agreement may be amended and modified only by instrument, in writing, executed by all parties hereto.
- 11.3 Termination.** If this Agreement is terminated by either Buyer or Seller pursuant to a right of termination expressly set forth in this Agreement, neither Party shall have any further rights or obligations under this Agreement, except for the obligations concerning the Earnest Money as set forth in this Agreement, and to the extent any rights or obligations expressly survive such termination.
- 11.4 Survival.** All obligations of Buyer and Seller as set forth in this Agreement shall survive Closing and the execution and delivery of the Deed.
- 11.5 Assignment.** This Agreement may be assigned by Buyer only as provided in this paragraph. Buyer may assign this Agreement to an affiliate or an entity under common control as the assigning Party without consent. In the event consent is required for an assignment, consent may be withheld, conditioned or delayed in the Seller's sole discretion.
- 11.6 Parties Bound; Joint and Several.** This Agreement shall be binding upon and inure to the benefit of the parties hereto, and their respective heirs, personal representatives, successors and assigns, subject to the provisions and limitations on assignment set forth above. If this Agreement is signed by more than one Seller, the singular includes the plural, and each Seller is jointly and severally liable for all obligations of the Seller described in this Agreement.
- 11.7 Applicable Law.** This Agreement shall be construed by and controlled under the laws of the State of Minnesota without regard to conflict of law provisions.
- 11.8 Partial Invalidity.** In the event that any paragraph or portion of this Agreement is determined to be unconstitutional, unenforceable or invalid, such paragraph or portion of this Agreement shall be stricken from and construed for all purposes not to constitute a part of this Agreement, and the remaining portion of this Agreement shall remain in full force and effect and shall, for all purposes, constitute this entire Agreement.
- 11.9 Construction of Agreement.** All parties hereto acknowledge that they have had the benefit of independent counsel with regard to this Agreement and that this Agreement has been prepared as a result of the joint efforts of all parties and their respective counsel.

Accordingly, all parties agree that the provisions of this Agreement shall not be construed or interpreted for or against any party hereto based upon authorship.

- 11.10 **Counterparts.** This Agreement may be executed in any number of counterparts, and by email and facsimile signatures, each of which when executed and delivered shall be deemed an original, and all of which when taken together shall constitute one and the same original Agreement.
  - 11.11 **Gender.** The use of any gender shall be deemed to refer to the appropriate gender, whether masculine, feminine or neuter, and the singular shall be deemed to refer to the plural where appropriate, and vice versa.
  - 11.12 **Time.** Time is of the essence for the performance of this Agreement. Should the date for the giving of any notice, the performance of any act, or the end of any period provided for herein fall on a Saturday, Sunday or other legal holiday, such date shall be extended to the next day which is not a Saturday, Sunday or legal holiday.
  - 11.13 **Waiver of Breach.** The failure of any party hereto to enforce any provision of this Agreement shall not be construed to be a waiver of such or any other provision, nor in any way to affect the validity of all or any part of this Agreement or the right of such party thereafter to enforce each and every such provision. No waiver of any breach of this Agreement shall be held to constitute a waiver of any other or subsequent breach.
  - 11.14 **Broker's Commissions.** Buyer shall be responsible for any broker fee associated with its purchase of the Property.
  - 11.15 **Like-Kind Exchange.** In the event Buyer desires to exchange their interest in the Property for other real property in a like-kind exchange under Internal Revenue Code Section 1031, Buyer agrees to cooperate with Seller to facilitate a like-kind exchange provided: (1) any costs and expenses (including costs associated with the designation of any escrow agent or intermediary) occasioned thereby are borne by Buyer; (2) cooperation by the Seller will not delay the closing of the transaction between Buyer and Seller contemplated in the Purchase Agreement; (3) the Buyer agrees to defend, indemnify and hold harmless the Seller for any claims arising out of said like-kind exchange and Buyer shall not be required to hold title (as a conduit or otherwise); (4) Buyer shall not be released of its obligations under this Agreement as a result of the Exchange and (5) Buyer shall provide Seller with copies of all exchange documents that require Seller's signature at least three (3) days in advance of closing for Seller's review and comment. The indemnification in this Section shall survive Closing and delivery of the Deed.
12. **Notices.** All notices and other documents of similar legal effect from either party to the other shall be in writing and considered to have been duly given or served if sent by overnight mail, first class certified mail, return address as set forth below, or to such other address as such party may hereafter designate by written notice to the other party; or emailed with delivery receipt.

**To Seller:**

City of Apple Valley  
Attn: Tim Benetti, Community Development Director  
7100 147<sup>th</sup> Street West  
Apple Valley, MN 55124  
Email: [Tim.Benetti@applevalleymn.gov](mailto:Tim.Benetti@applevalleymn.gov)

**With a copy to:**

Dougherty, Molenda, Solfest, Hills & Bauer P.A.  
Attn: Robert B. Bauer  
14985 Glazier Avenue, Suite 525  
Apple Valley, MN 55124  
Email: [rbauer@dmslb.com](mailto:rbauer@dmslb.com)

**To Buyer:**

Markid Properties II, LLC  
c/o Chris Howard CPS 10471 Barnes Ave  
19 - 1<sup>st</sup> Street South, #B4 Inver Grove Heights, MN 55077  
Minneapolis, MN 55401-1803  
Email: [marie.motilall@gmail.com](mailto:marie.motilall@gmail.com)

[Signature pages to follow.]

*MARIE.MOTILALL@gmail.com*

*AWH Broker@gmail.com*

100612  
m

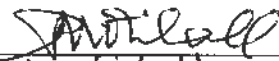
**SALE AND PURCHASE AGREEMENT**

[Signature page of Buyer]

**Buyer**

**Markid Properties II, LLC, a Minnesota limited  
liability company**

Dated: 3-31-2025, 2025

By:   
P. Motilall  
Its: Chief Manager

11/8/25  
mu

**SALE AND PURCHASE AGREEMENT**

[Signature page of Seller]

**Seller**

**City of Apple Valley, a Minnesota municipal  
Corporation**

Dated: \_\_\_\_\_, 2025      By: \_\_\_\_\_  
Clint Hooppaw  
Its: Mayor

Dated: \_\_\_\_\_, 2025      By: \_\_\_\_\_  
Chirstina M. Scipioni  
Its: City Clerk



**EXHIBIT “A”**

**PROPOSED USE OF PROPERTY**

See attached.

# SITE PLAN

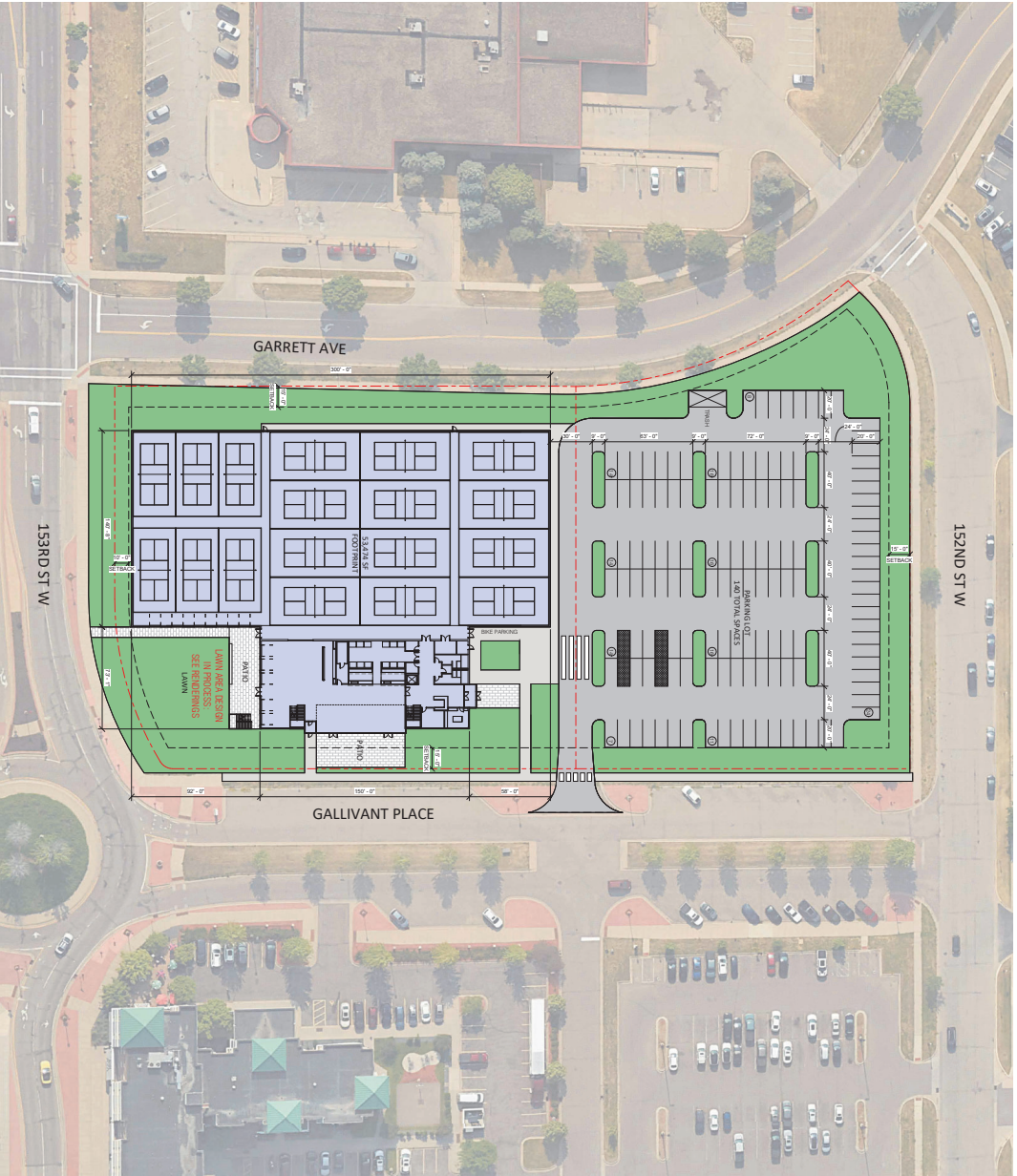
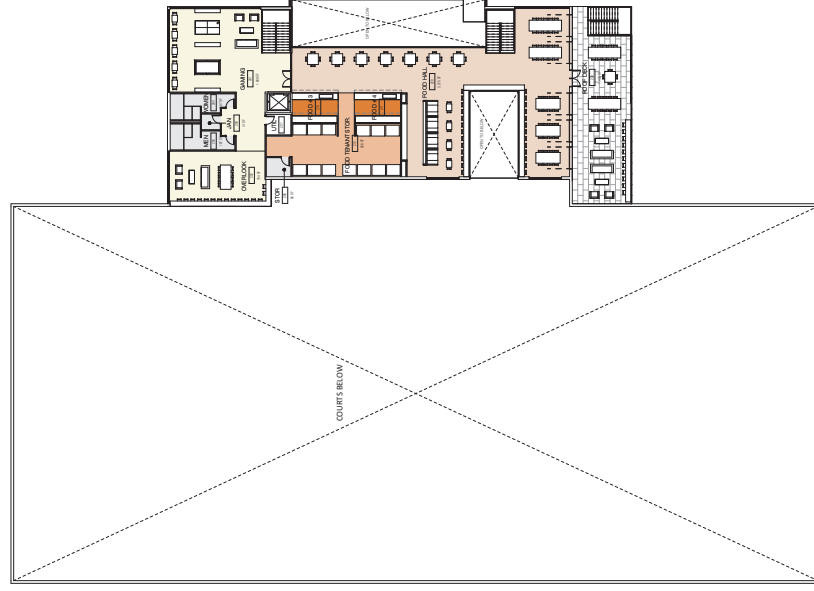
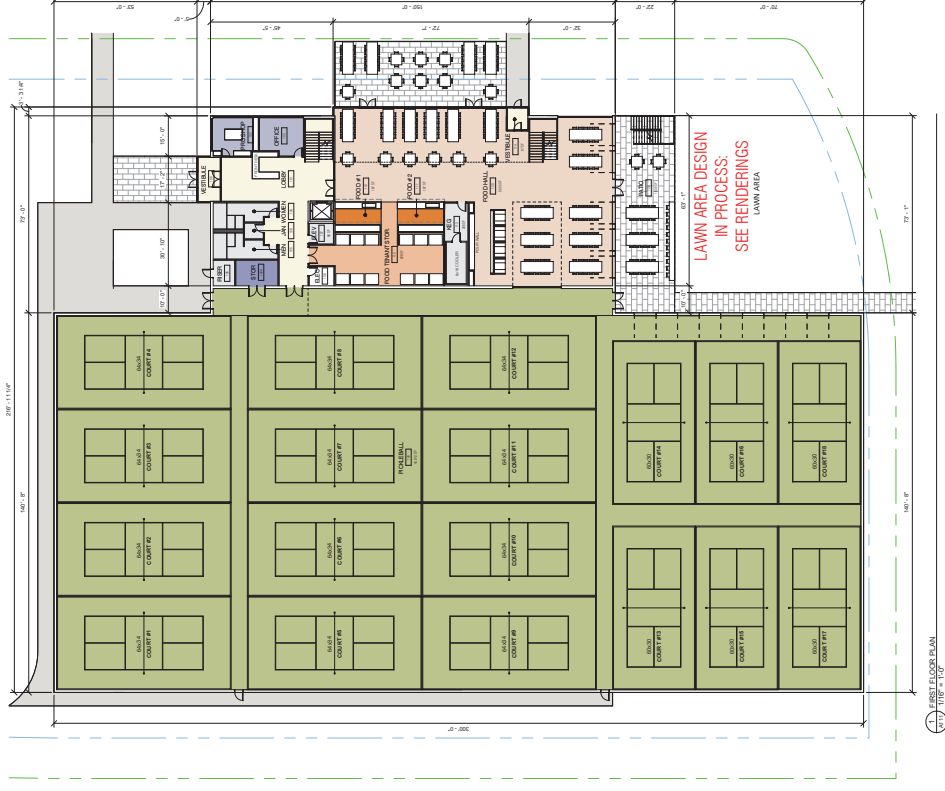


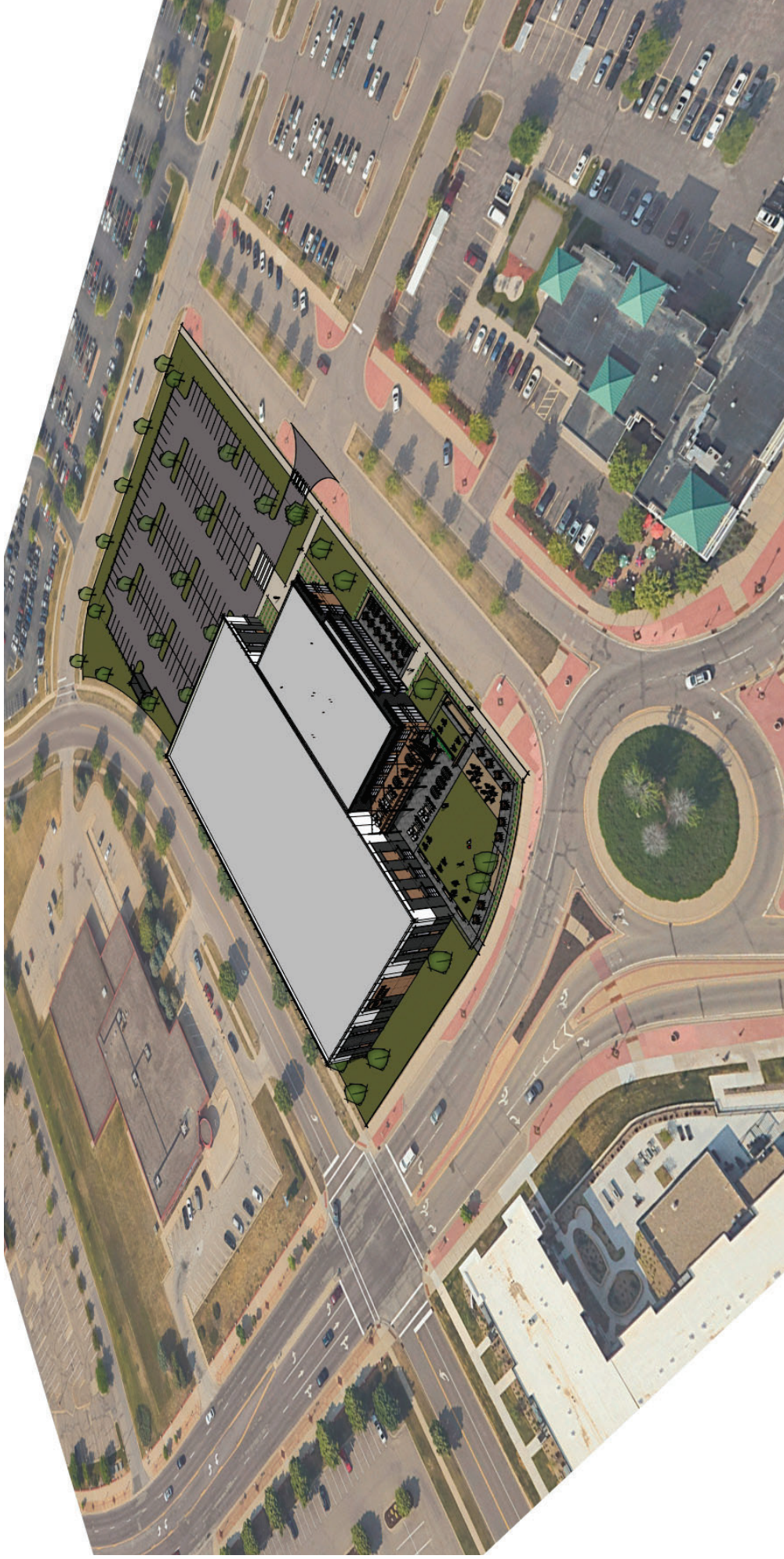
EXHIBIT "A"

BUILDING BREAKS:	
<b>SKIN</b>	
• EXTERIOR WALL	0.015 1/P
• ROOF	0.005 1/P
• FLOOR/SUPPORT	0.005 1/P
• GLASS	0.005 1/P
<b>GLASS</b>	
• EXTERIOR WALL	0.015 1/P
• ROOF	0.005 1/P
• FLOOR/SUPPORT	0.005 1/P
• GLASS	0.005 1/P
<b>BUILDING TOTAL:</b>	<b>0.030 1/P</b>



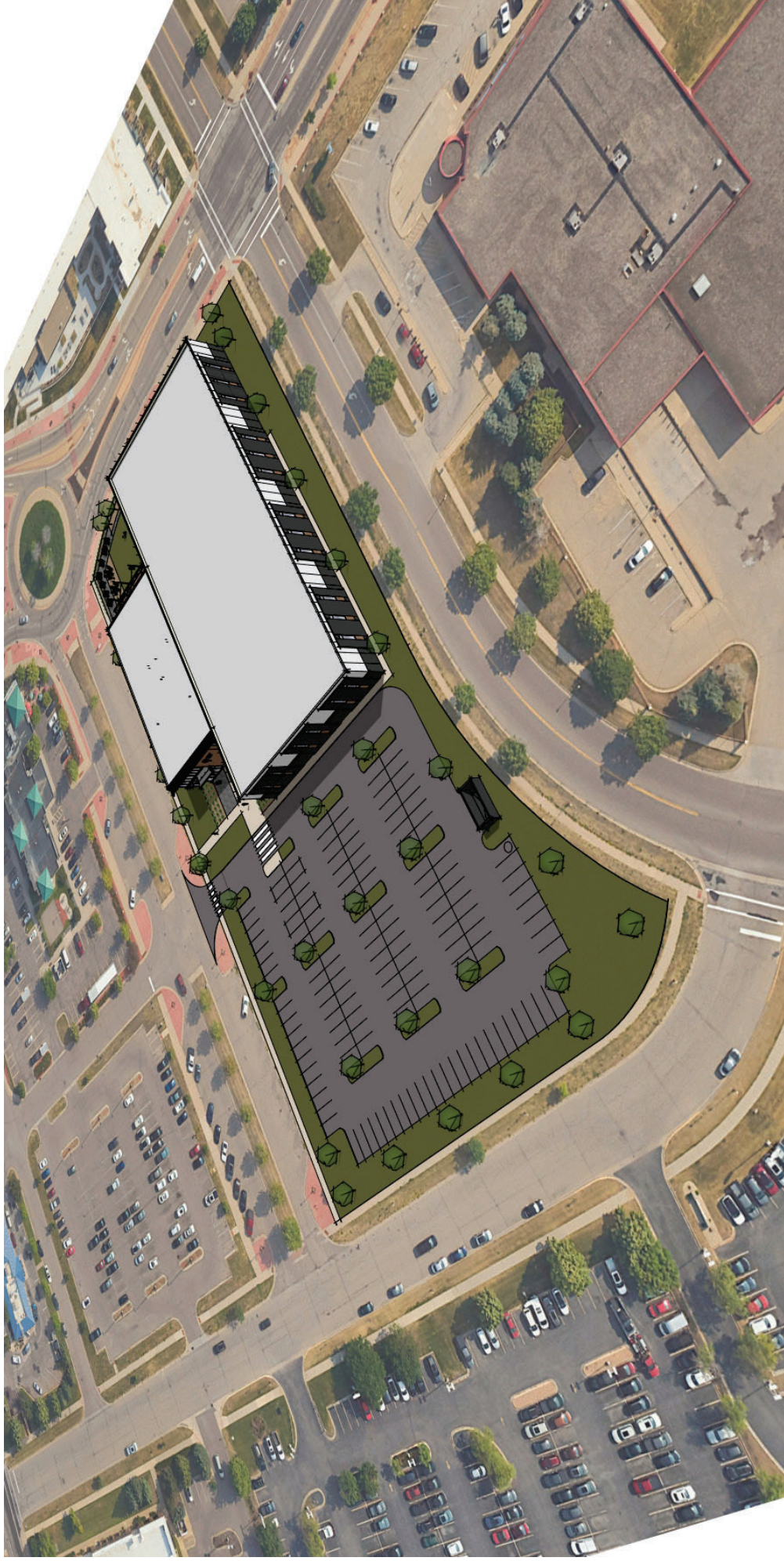


BIRDSEYE VIEW - LOOKING NW





BIRDSEYE VIEW - LOOKING SE





STREET VIEW - FROM GALLIVANT PLACE



**Picklehall**

SCHEMATIC DESIGN 2.28.25



STREET VIEW - FROM INTERSECTION





STREET VIEW - MAIN ENTRY

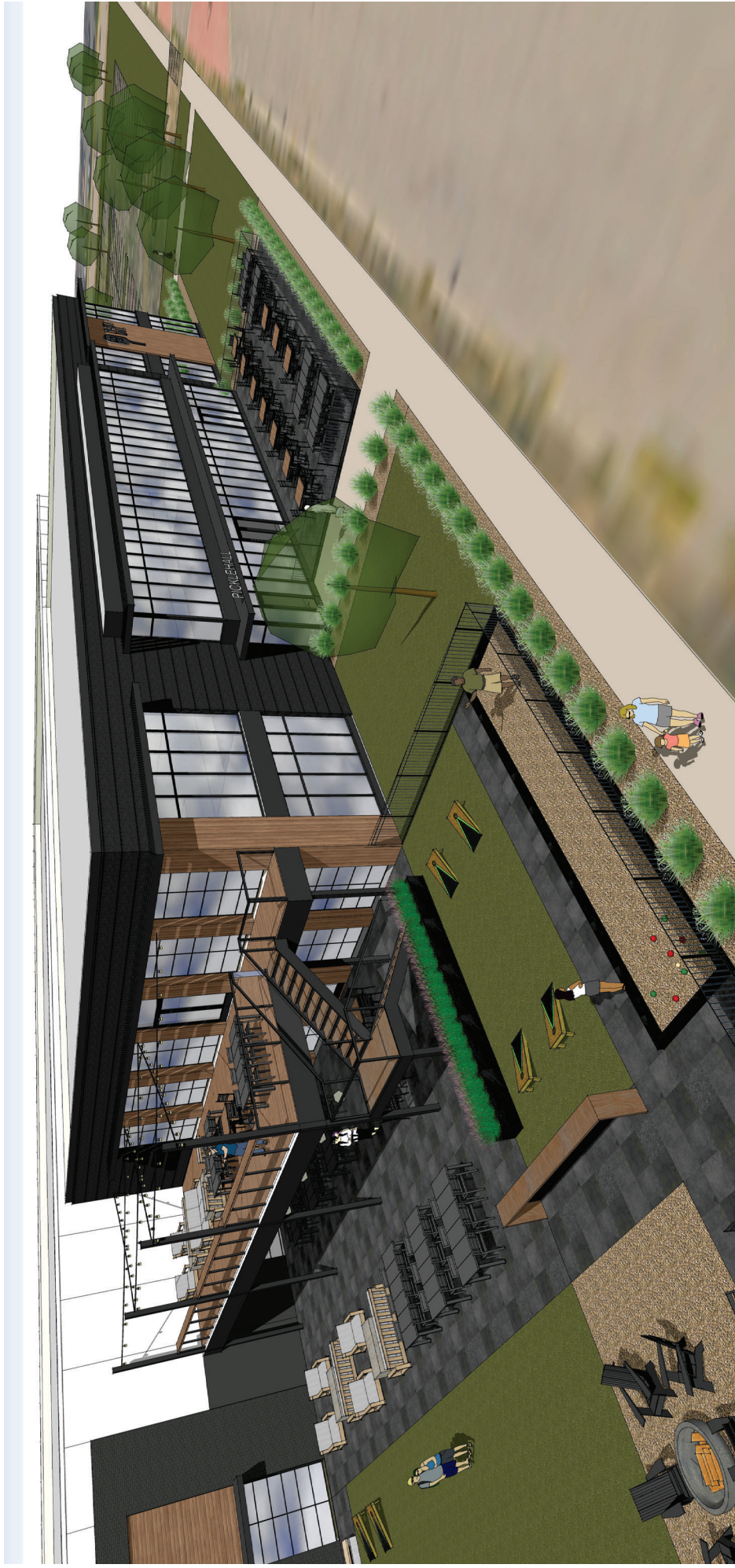




STREET VIEW - FROM 153RD ST W

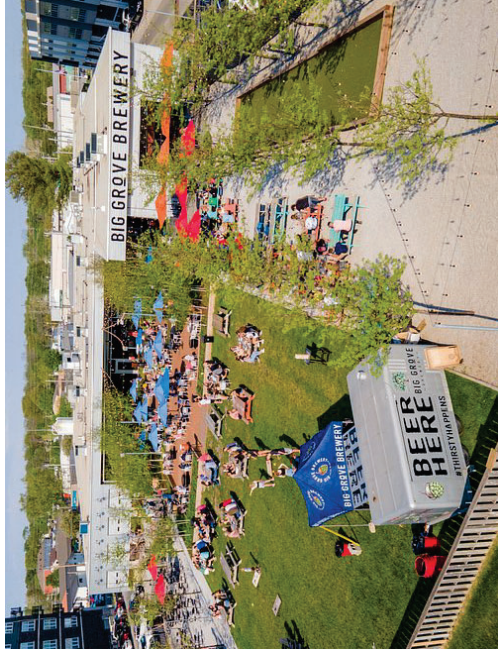


BIRDSEYE VIEW - FROM GALLIVANT PLACE





# LAWN PRECEDENT IMAGERY





## **EXHIBIT "B"**

### **PERMITTED EXCEPTIONS**

Permitted exceptions include:

- (i) taxes not yet due and payable;
- (ii) applicable federal, state and local zoning, ordinances and governmental regulations; and
- (iii) reservations of any minerals, or mineral rights to the State of Minnesota, if applicable. In the event that Buyer is able to obtain documentation that enables the Title Company to insure over any Permitted Exception listed on Exhibit "A," then such item shall not be a Permitted Exception on the Deed.

## EXHIBIT "C"

### REPURCHASE AGREEMENT

This Repurchase Agreement ("Agreement") is made and entered into this \_\_\_\_\_ day of \_\_\_\_\_, 2025, by and between the City of Apple Valley, a Minnesota municipal corporation (the "City"), and Markid Properties II, LLC, a Minnesota limited liability company (hereinafter "Developer").

WHEREAS, the City and Developer have entered into a Purchase Agreement, dated as of \_\_\_\_\_, 2025 (the "Contract") relating to the sale and purchase of parcels of land situated in Dakota County, Minnesota, described as:

Lot 1, Block 3, VILLAGE AT FOUNDERS CIRCLE (7153 153<sup>rd</sup> Street) (PID: 01-81750-03-010); and

Lot 2, Block 3, VILLAGE AT FOUNDERS CIRCLE (7169 152<sup>nd</sup> Street West) (PID: 01-81750-03-020)

(the "Property"); and

WHEREAS, contemporaneously herewith the City has conveyed to Developer the Property.

NOW, THEREFORE, in further consideration of this conveyance and in furtherance of the understanding between the parties, Developer hereby grants to the City the following option to repurchase the Property;

Section 1. REPURCHASE: If within one (1) year from the date Developer purchases the Property Developer has not commenced the construction of the Improvements, as defined in that certain Development Agreement dated \_\_\_\_\_, for the development depicted on Exhibit "A", ("Development Agreement"), on the Property then the City may at its option repurchase the Property for a purchase price of Two Million Five Hundred Thousand and no/100 Dollars (\$2,500,000.00) less the amount of any liens or claims against the Property resulting from action by the Developer. The City may exercise this option to repurchase by giving written notice to Developer within thirty (30) days of the expiration of the period(s) specified above. Upon receiving the repurchase price in cash from the City, Developer shall convey to the City good and marketable title to the Property by limited warranty deed free and clear of any encumbrances placed or suffered thereon by Developer. In the event that Developer fails or refuses to remove such encumbrances, the City shall be permitted to remove such encumbrances at Developer's sole cost and expense. Developer hereby agrees to indemnify the City from any and all liabilities, expenses and costs incurred (including but not limited to reasonable attorney's fees) arising out of or related to the removal of such encumbrances.

Section 2. RELEASE OF REPURCHASE RIGHTS: If written notice of option exercise is not timely given to Developer by City or if Developer, within one (1) year from the date Developer purchases the Property, commences the construction of the Improvements on the Property within said one (1) year period, this option to repurchase shall automatically terminate absolutely and the City shall upon Developer request, execute and deliver to Developer a release of the repurchase right in recordable form.

Section 3. SALE OF PROPERTY: Developer hereby acknowledges and agrees that Developer shall not sell, or transfer title to all or any portion of the Property within two years from the date of Developer's purchase of the Property without the prior written consent of the City or the execution and delivery of a release of the repurchase right set forth herein. Any purported conveyance or transfer of title without the prior written consent of the City shall be considered null and void.

Section 4. NOTICE: All notices, demands and requests required or permitted to be given under this Agreement must be in writing and shall be deemed to have been properly given or served either by personal delivery or by depositing the same in the United States Mail, addressed to the City or to Developer, as the case may be, prepaid and registered or certified mail, return receipt requested, at the following addresses:

All communications shall be directed to the City at:

To City: City of Apple Valley  
Attn: Tim Benetti, Community Development Director  
7100 147<sup>th</sup> Street West  
Apple Valley, MN 55124  
Email: [Tim.Benetti@applevalleymn.gov](mailto:Tim.Benetti@applevalleymn.gov)

With a copy to: Dougherty, Molenda, Solfest, Hills & Bauer P.A.  
Attn: Robert B. Bauer  
14985 Glazier Avenue, Suite 525  
Apple Valley, MN 55124  
Email: [rbauer@dmslb.com](mailto:rbauer@dmslb.com)

All communications shall be directed to the Developer at:

To Developer: Markid Properties II, LLC  
c/o Chris Howard CPS  
19 – 1<sup>st</sup> Street South, #B4  
Minneapolis, MN 55401-1803  
Email: \_\_\_\_\_

Rejection or other refusal to accept or the inability to deliver because of changed address of which no notice was given shall be deemed to be receipt of the notice, demand or request. Either party shall have the right from time to time and at any time upon at least ten (10) days' written notice thereof, to change their respective addresses and each shall have the right to specify as its address any other address within the United States of America.

Section 5. MISCELLANEOUS. The provisions of this Agreement are intended in each instance to be binding upon and inure to the benefit of the signatories hereto, to the successors and assigns of Developer who become owners of the Property and to the successors and assigns of the City to whom the right, title and interest herein is specifically assigned. Either party may record this instrument in the appropriate real estate records.

IN WITNESS WHEREOF, the parties have caused this instrument to be executed as of the day and year first above written.

[Signature pages to follow.]

## REPURCHASE AGREEMENT

[Signature page for Developer]

Markid Properties II, LLC, a Minnesota limited  
liability company

Dated: \_\_\_\_\_, 2025 By: \_\_\_\_\_

\_\_\_\_\_  
Its: Chief Manager

## REPURCHASE AGREEMENT

[Signature page for City]

City of Apple Valley, a Minnesota municipal  
Corporation

Dated: \_\_\_\_\_, 2025

By: \_\_\_\_\_  
Clint Hooppaw  
Its: Mayor

Dated: \_\_\_\_\_, 2025

By: \_\_\_\_\_  
Chirstina M. Scipioni  
Its: City Clerk

THIS INSTRUMENT WAS DRAFTED BY:

DOUGHERTY, MOLEND, SOLFEST  
HILLS & BAUER P.A.  
14985 Glazier Avenue, Suite 525  
Apple Valley, MN 55124  
(952) 432-3136  
(RBB: 28202)



**EXHIBIT “A”**

**PROPOSED USE OF PROPERTY**

See attached.

# SITE PLAN

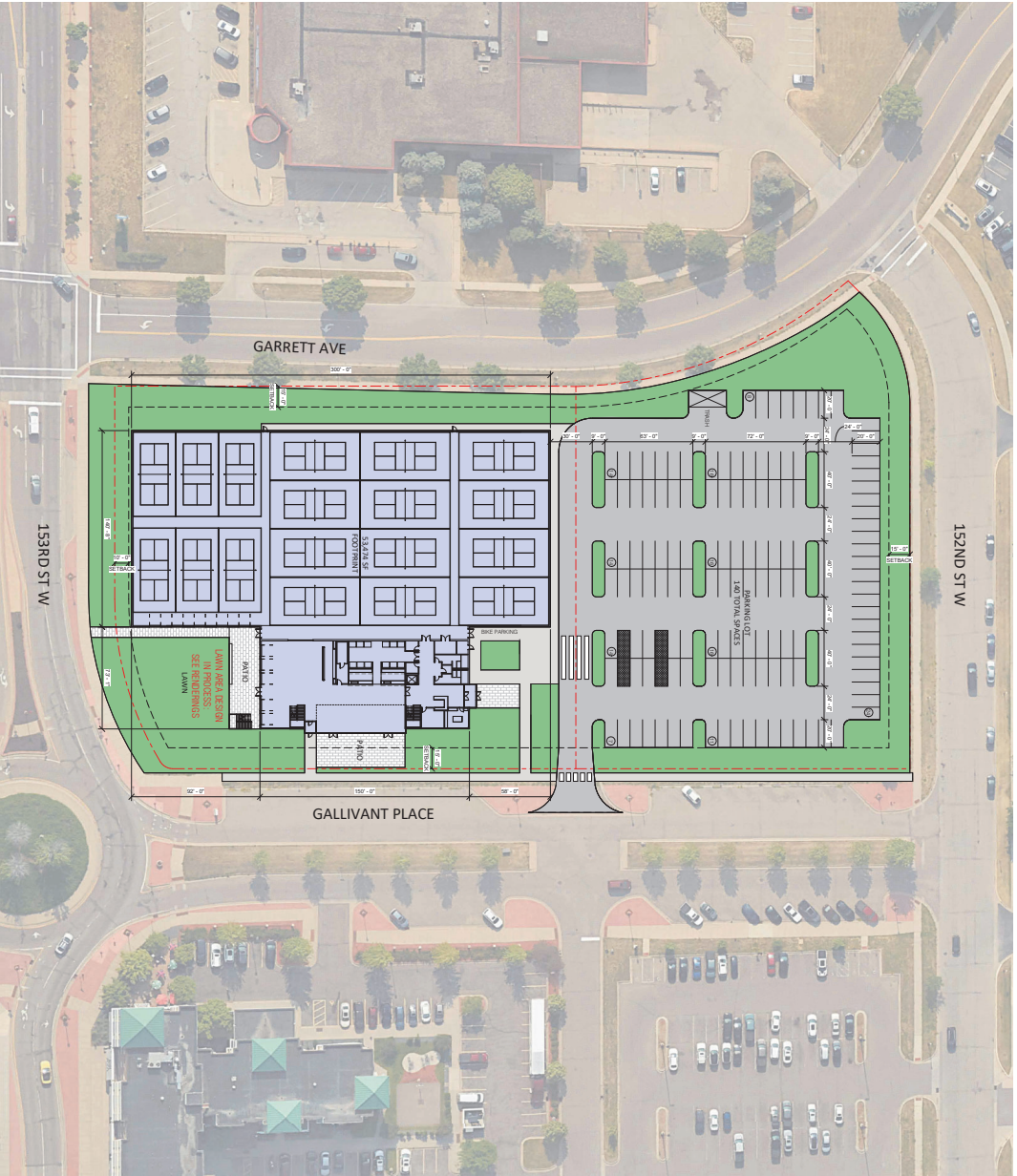
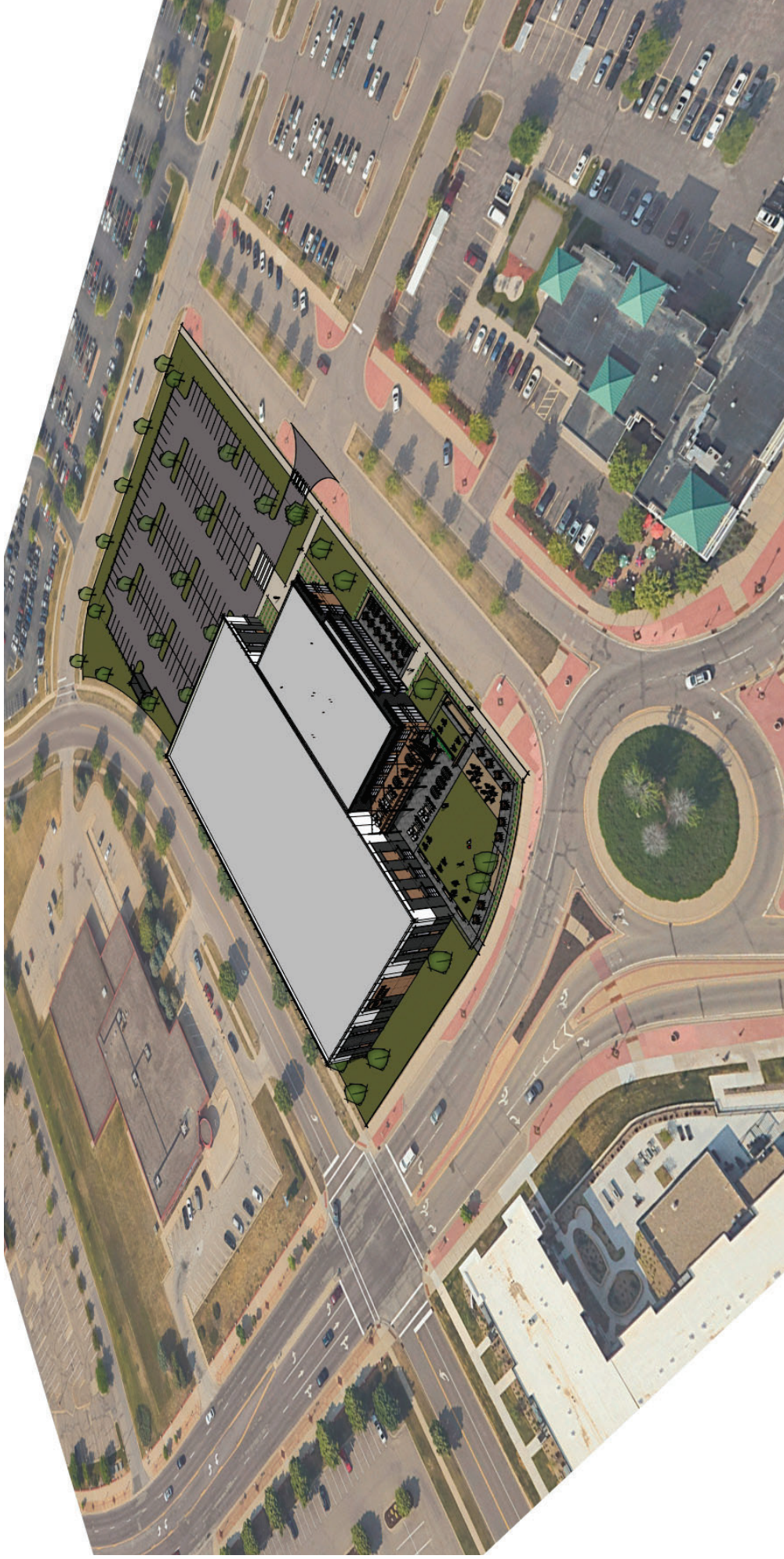


EXHIBIT "A"



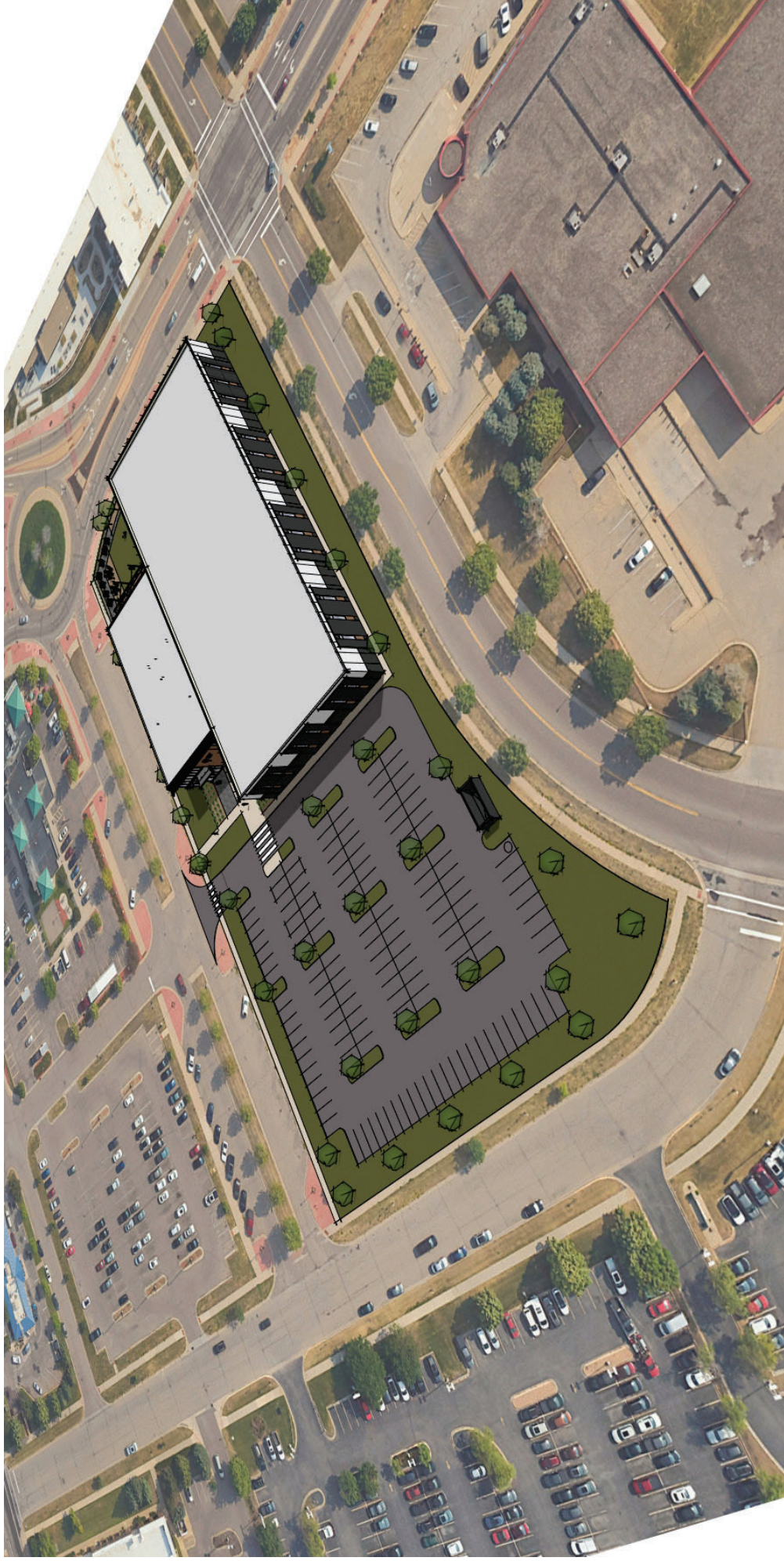


BIRDSEYE VIEW - LOOKING NW





BIRDSEYE VIEW - LOOKING SE





STREET VIEW - FROM GALLIVANT PLACE



**Picklehall**

SCHEMATIC DESIGN 2.28.25



STREET VIEW - FROM INTERSECTION





STREET VIEW - MAIN ENTRY

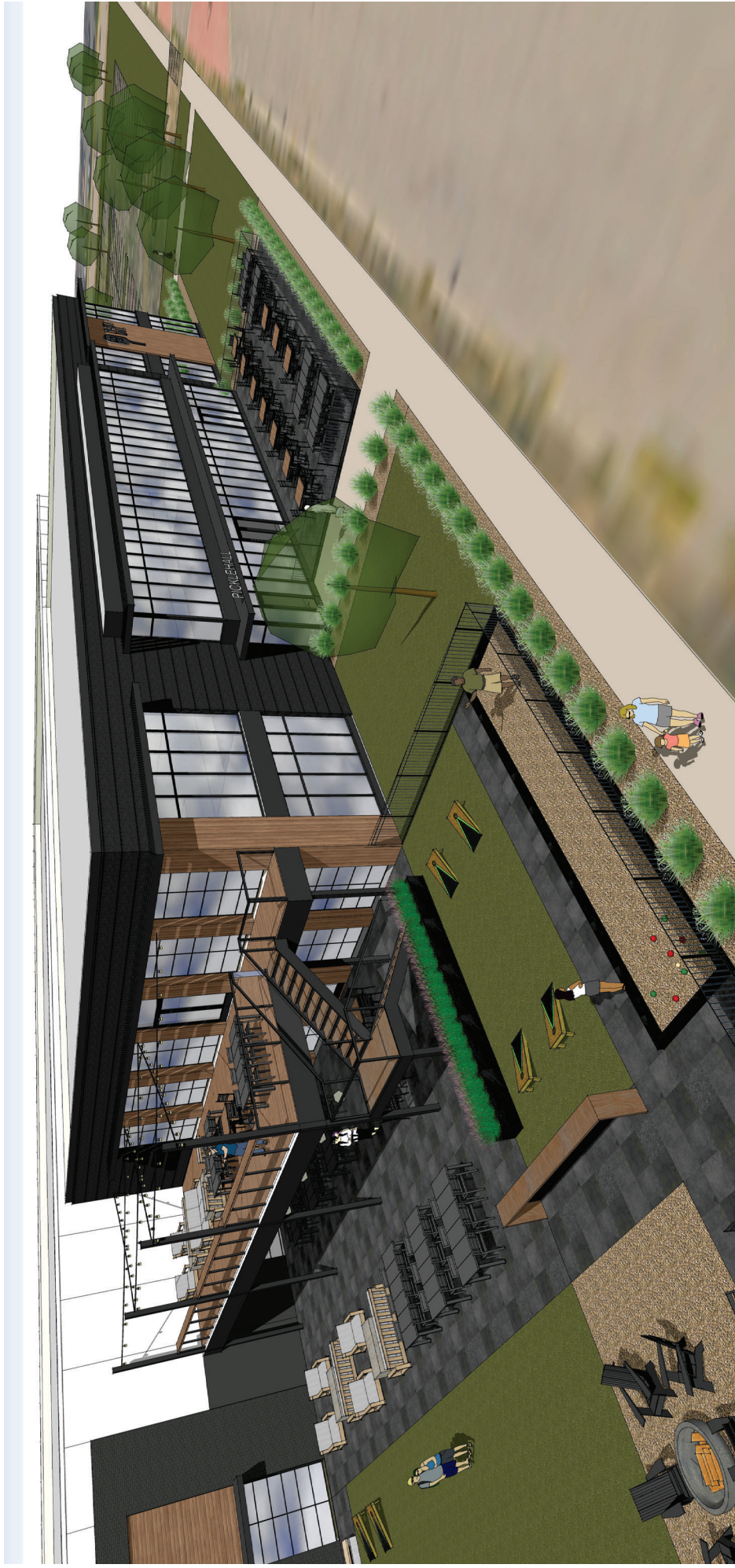




STREET VIEW - FROM 153RD ST W

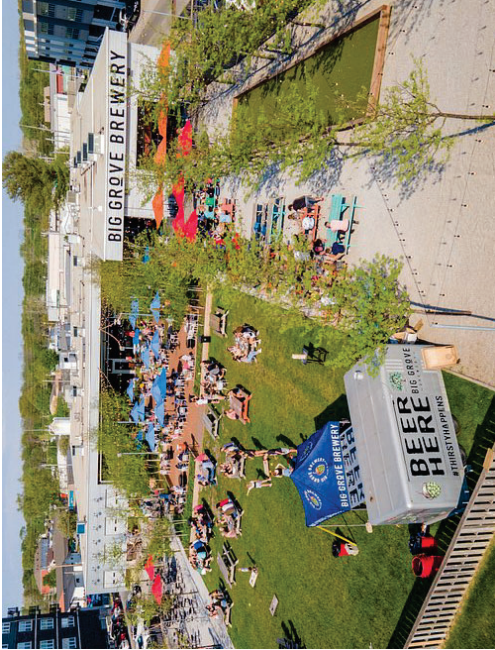


BIRDSEYE VIEW - FROM GALLIVANT PLACE





LAWN PRECEDENT IMAGERY







ITEM:  
COUNCIL MEETING DATE:  
SECTION:

4.H.  
April 10, 2025  
Consent Agenda

<b>Description:</b> Adopt Resolution Amending the Fixed Asset Policy	
<b>Staff Contact:</b> Ronald Hedberg, Finance Director	<b>Department / Division:</b> Finance Department

**ACTION REQUESTED:**

Adopt the resolution amending the Fixed Asset Policy.

**SUMMARY:**

The past couple years have seen new Governmental Accounting Standards Board (GASB) pronouncements that include impacts to the fixed asset capitalization procedures, and it is recommended that the Fixed Asset policy be updated to include these pronouncements. At the same time, we are recommending that the thresholds for capitalizing certain asset classes be increased.

**BACKGROUND:**

This update to the fixed asset policy addresses various GASB pronouncements related to:

- Leases or the right to use assets
  - Examples include the liquor store lease, where the right to use this asset would be capitalized and depreciated over the term of the lease.
- Software Subscriptions
  - These would include multi-year software licenses, such as Microsoft or Cartegraph, where we capitalize the present value of the license cost and amortize these costs over the term of the license.
- Systems of Assets or a group of assets
  - These would be purchases of similar items that individually do not meet the threshold for capitalization but if they were considered together as a group, they would exceed the threshold. An example would be the purchase of office furniture or a number of computer workstations, which the group would be capitalized and depreciated over the life of the computers or the replacement cycle.

At this time, we are also recommending that the various thresholds be set for financial statement purposes for each capital asset category as follows:

Prior New

Threshold Threshold

Land/Land Improvements	\$ 10,000	\$100,000
Other Improvements	\$ 25,000	\$100,000
Buildings	\$ 25,000	\$100,000
Building Improvements	\$ 25,000	\$ 50,000

Furniture	- \$ 25,000	
Technology Subscriptions	- \$ 25,000	
Systems of Assets	- \$ 50,000	
Machinery and Equipment	\$ 5,000	\$ 25,000
Vehicles	\$ 5,000	\$ 25,000
Infrastructure	\$100,000	\$100,000
Other assets	\$ 5,000	\$ 25,000

The attached policy includes an update that addresses the GASB pronouncement and increases the capitalization thresholds.

**BUDGET IMPACT:**

N/A

**ATTACHMENTS:**

Resolution  
Exhibit

CITY OF APPLE VALLEY  
RESOLUTION NO. 2025-\_\_

A RESOLUTION AMENDING THE FIXED ASSET POLICY

WHEREAS, the City of Apple Valley has an existing Fixed Asset Policy; and

WHEREAS, the Government Accounting Standards Board has implemented new standards that are to be included in an updated Fixed Asset Policy.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Apple Valley, Dakota County, Minnesota, that the revised Fixed Asset Policy, a copy attached hereto, is hereby approved.

ADOPTED this 10th day of April 2025.

---

Clint Hooppaw, Mayor

ATTEST:

---

Christina M. Scipioni, City Clerk

**City of Apple Valley**

**Fixed  
Assets  
Policy**

**Effective December, 2024**

## INDEX

SECTION 1. PURPOSE

SECTION 2. DEFINITIONS

SECTION 3. CAPITAL ASSESTS AND CAPITALIZATION THRESHOLDS

SECTION 4. ACQUISITIONS AND RETIREMENTS

SECTION 5. FIXED ASSET INVENTORY VALUATION AND CAPITALIZATION  
CRITERIA

SECTION 6. SALE OF ASSETS

SECTION 7. DEPRECIATION



# **PROCEDURES FOR ESTABLISHING AND MAINTAINING A FIXED ASSET RECORD SYSTEM**

## **SECTION 1.        PURPOSE**

The following procedures and guidelines are to account for a standard system of control for all fixed assets owned by the City of Apple Valley. This is in compliance with Governmental Accounting Standards Board (GASB) 34 requirements and subsequent issued pronouncements. This policy is only for accounting purposes and does not supersede any other policies. These procedures give directions to City staff regarding the operation and maintenance of the Fixed Asset Control System (FACS).

## **SECTION 2.        DEFINITIONS**

<b>Ancillary Costs</b>	Costs, in addition to purchase of construction costs, related to placing a capital asset into its intended use or state of operations.
<b>Asset Life</b>	This is the standard estimated useful life of an item. To be considered a fixed asset, an item must have a useful life greater than two years (GFOA-MN Capital Asset Guide, E-1).
<b>Asset Value</b>	This is the value of an item. The value will be based on the invoice plus additional costs of preparing the asset for use. To be considered a fixed asset an item must have a value greater than \$25,000.
<b>Buildings &amp; Structures</b>	A building is a structure that is permanently attached to the land, has a roof, is partially or completely enclosed by walls, and is not intended to be transportable or movable. For example, a picnic pavilion would be considered a structure although it may have no walls. A building or structure is a roofed and/or walled structure that is city owned. Certain buildings or structures that are an ancillary part of infrastructure networks such as pumping stations should be reported as infrastructure rather than buildings. A building or structure is a roofed and/or walled structure that is city owned.
<b>Building Improvements</b>	Capitalized costs that materially extend the useful life of a building or increase the value, or both, beyond one year. Building improvements should not include maintenance and repairs done in the normal course of business.

<b>Capital Assets</b>	Under the requirements of GASB 34, capital assets include land, improvements to land, easements, buildings, building improvements, vehicles, machinery, equipments, works of art and historical treasures, infrastructure and all other tangible or intangible assets that are used in operations and that have initial useful lives extending beyond a single reporting period.
<b>Capitalization Threshold</b>	The dollar value at which a government elects to capitalize tangible or intangible assets that are used in operations and that have initial useful lives extending beyond a single reporting period.
<b>Depreciation</b>	The process of allocating the cost of assets over a period of time, rather than deducting the cost as an expense in the year of acquisition.
<b>Depreciation Method</b>	The method used to calculate the allocation (depreciation) of the cost of a capital asset over its estimated useful life.
<b>Estimated Useful Life</b>	An accounting estimate of time period that an asset will be able to be used for the purpose for which it was purchased or constructed.
<b>Fixed Asset</b>	An item obtained by the City with a value greater than \$25,000 and an estimated useful life greater than one year.
<b>Full Month Convention</b>	Under a full month convention, property placed in service at any time during a given month is treated as if it had been placed in service on the first day of that month. This allows depreciation to be taken for the entire month in which the asset is placed in service. This method applies to all acquisitions other than infrastructure which will follow the half year convention. If the property is disposed of before the end of the estimated useful life, no depreciation is allowed for the month of disposition.
<b>Furniture &amp; Fixtures</b>	Assets that are used by people in any city facility that is considered furniture or fixtures.
<b>Forfeited Property</b>	Property seized by Police Department that will be used by the City.
<b>Half Year Convention</b>	Under a half year convention, infrastructure acquired over several months/years is treated as if it had been placed in service as of July 1 <sup>st</sup> of the year placed in service. This allows depreciation to be taken for one-half year for the year the asset is placed in service.
<b>Infrastructure</b>	Assets that are long-lived capital assets that normally are stationary in nature and can be preserved for a significantly greater number of years than most capital assets. They are permanent installations

with a value greater than \$100,000. Examples include water/sewer mains, roads, bridges, tunnels, drainage systems, etc.

**Infrastructure Improvements**

Infrastructure improvements are capital costs that materially extend the useful life or increase the value of the infrastructure, or both.

**Land**

Any parcel of land that is City owned whether developed or undeveloped. Include costs for professional fees, demolition, interest, taxes, commissions, etc.

**Land Improvement**

Grading, roads and parking lots on city owned land that will be capitalized.

**Inexhaustible** - Expenditures for improvements that do not require maintenance or replacement, expenditures to bring land into condition to commence erection of structures, expenditures for improvements not identified with structures, and expenditures for land improvements that do not deteriorate with use or passage of time are additions to the cost of land and are generally not exhaustible and therefore are **not depreciable**.

**Exhaustible** - Other improvements that are part of a site, such as parking lots, landscaping and fencing are usually exhaustible and are therefore depreciable. **Depreciation of site improvements is necessary if the improvement is exhaustible.**

**Leases**

Leases, as defined in GASB Statement No. 87, is a contract that conveys control of the right to use another entity's non-financial asset, as specified in the contract for a period of time greater than a year in an exchange or exchange like transaction. Non-financial assets include buildings, land, vehicles, and equipment. Lease assets are reported as right to use assets within capital assets.

**Machinery & Equipment**

Includes motorized and non-motorized equipment that has a primary function of the City of Apple Valley Street, park or utility maintenance. It includes items such as tractors, mowers and snow blowers, etc.

**Office Equipment**

An item used by employees to perform a mechanized task in an office environment. For example, typewriters, telephones and adding machines. However, cameras, VCR's, cellular phones, refrigerators and microwaves, etc. are also included in this category.

<b>Park Improvements</b>	Improvements made to a city park that will be capitalized. This category would include items such as playground equipment, back stops, bleachers, flagpoles, etc.
<b>Salvage Value</b>	The salvage value of an asset is the value it is expected to have when it is no longer useful for its intended purpose.
<b>Subscription-Based Information Technology Arrangements</b>	GASB State No. 96, Subscription-Based Information Technology Arrangements (SBITA), defines SBITA as a contract that conveys control of the right to use another party's information technology (IT) software, alone or in combination with tangible capital assets, as specified in the contract for a period of time greater than a year in an exchange or exchange like transaction. SBITA's are reported as right to use assets within capital assets.
<b>Systems of Assets</b>	A group of assets acquired together, as defined in Asset Grouping Implementation Guide No. 2021-1, states a government should capitalize assets as a group whose individual acquisition costs are less than the threshold for an individual asset if those assets in the aggregate are significant. Computers and furniture are examples of assets that may not meet the capitalization policy on an individual basis yet could be significant collectively.
<b>Tools &amp; Other Equipment</b>	This category includes all small tools and equipment such as chain saws, jack hammers, battery chargers, post drives, etc. Vehicle equipment as defined below is excluded from this category.
<b>Vehicles</b>	Motorized vehicles owned by the city such as trucks and squad cars.
<b>Vehicle Equipment</b>	Equipment that is installed in/on a motor vehicle such as radios, wing plows, sanders, lighting packages and tool boxes.

### **SECTION 3. CAPITAL ASSETS AND CAPITALIZATION THRESHOLDS**

A capital asset is real or personal property that has a value equal to or greater than the capitalization threshold for the particular classification of the asset and has an estimated useful life greater than two years .

The city reports capital assets in the follow categories:

- Land/Land Improvements
- Other Improvements

Buildings/Building Improvements  
Furniture  
Technology Subscriptions  
Systems of Assets  
Machinery and Equipment  
Vehicles  
Infrastructure

For financial statement purposes only, a capitalization threshold is established for each capital asset category as follows:

Land/Land Improvements	\$100,000
Other Improvements	\$100,000
Buildings	\$100,000
Building Improvements	\$ 50,000
Furniture	\$ 25,000
Technology Subscriptions	\$ 25,000
Systems of Assets	\$ 50,000
Machinery and Equipment	\$ 25,000
Vehicles	\$ 25,000
Infrastructure	\$100,000
Other assets	\$ 25,000

Capital assets should be recorded and reported at their historical costs, which include the vendor's invoice (plus the value of any trade-in or allowance, if reflected on the invoice) plus sales tax, initial installation cost (excluding in house labor), modifications, attachments, accessories or apparatus necessary to make the asset usable and render into service. Historical costs also include ancillary charges such as freight and transportation charges; site preparation costs, and professional fees.

Capital asset improvement costs should be capitalized if the costs exceed the capitalization threshold and either the value of the asset or estimated life is increased by 25% of the original cost, or the cost results in an increase in the capacity of the asset, or the efficiency of the asset is increased by more than 10%.

## SECTION 4.

## ACQUISITIONS AND RETIREMENTS

Assets are accounted for and reported in the following areas:

1. Governmental-type – Capital assets of this activity typed are used by the general city departments that are not accounted for in the enterprise funds. This includes the following fund types: General Fund, Special Revenue Funds, Capital Projects Funds.
2. Business-type:
  - a. Water / Sanitary Utility Fund
  - b. Stormwater Utility
  - c. Street Light Utility
  - d. Cemetery Fund
  - e. Ice Arena Fund – Sports Arena and Hayes Arena
  - f. Internal Service Funds–Vehicle and Equipment Replacement Funds

The Finance Department will enter & maintain all asset records in the Fixed Asset Accounting System. Asset information is recorded in the following fields:

1. Description: The description should clearly describe the asset, keeping in mind that this description will be used to help identify the asset in the future, without being too lengthy.
2. Expenditure Account: This is the expenditure account that the invoice for the asset is coded to.
3. Location: This is the intended location in which the asset will be stored.
4. Vendor: This is the name of the vendor from whom the asset was purchased.
5. Acquisition Date: This is the date the asset was acquired.
6. Manufacturer: This is the name of the manufacturer of the asset, if applicable.
7. Model Number: This is the model number assigned to the asset by the manufacturer, if applicable.
8. Serial Number: This is the serial number assigned to the asset by the manufacturer, if applicable.
9. Invoice Number: This is the vendor's invoice number for the asset.
10. Cost: This is the cost of the item. Cost will be based on the invoice plus additional costs of preparing the asset for use. Trade-in values will not be used to reduce the carrying cost of the new asset.



11. Estimated Useful Life: This is the standard useful life of the item based on the chart Section 7.

The Finance Department is responsible for recording completed construction projects in the year completed.

The Finance Department will be responsible for entering and maintaining all capital assets information in the Fixed Asset Accounting System and preparing the required year end statements regarding capital assets for the City's annual financial report.

Departments are responsible for the proper use, care, and maintenance of city assets in their possession. It is the department's responsibility to maintain the equipment in a secure manner to minimize loss, damage, and unauthorized use.

### **Disposal**

Disposal of capital assets should occur after the City Council has the item declared surplus or obsolete. Disposal will be made in the manner that is determined to be the most cost effective for the city. Assets are disposed of through auction, sale, trade, donation, obsolescence, and scrap.

Disposed assets will be retired from the capital asset system at original cost less accumulated depreciation. Gain or loss on disposal of capital assets shall be recognized in accordance with Generally Accepted Accounting Principles.

### **Trade-In**

An asset may be traded through a transaction involving the acquisition of a new asset. The traded asset will be retired at its book value. (Original cost less accumulated depreciation) The cost of the new asset should include the cash paid in addition to the trade-in value.

## **SECTION 5. FIXED ASSET INVENTORY VALUATION AND CAPITALIZATION CRITERIA**

Fixed assets that are purchased, cost will be based on the invoice plus additional costs of preparing the asset for use. Trade-in values will not be used to reduce the carrying cost of the new asset.

Assets purchased under a lease or installment method should be valued at the discounted present value of total payments. Additional costs will include those necessary so the asset may be ready for use.

Assets that are considered Subscription-Based Information Technology Arrangements (SBITA) are a contract that conveys control of the right to use another party's information technology (IT)

software, alone or in combination with tangible capital assets, as specified in the contract for a period of time greater than a year in an exchange or exchange like transaction. SBITA'S are valued based on the subscription liability plus the payments due to a SBITA vendor at the commencement of the subscription term, including any applicable initial implementation cost. SBITA'S are accounted for under the SBITA Guidance, unless specifically excluded under GASB 96.

Assets considered as a System of Assets are those items where the individual acquisition costs are less than the threshold for an individual asset but if those assets in the aggregate exceed the threshold are valued at the acquisition cost. These grouped assets would be written off according to the scheduled replacement schedule or expected useful life.

Assets acquired by donation, cost will be fair value on date of gift and any costs of preparing asset for use.

Property acquired under eminent domain will have a cost determined by the court plus any additional attorney fees, or costs associated with preparing land for intended use.

Assets acquired by forfeiture/seizure are based on the fair value on date of forfeiture/seizure and additional costs associated with preparing the asset for intended use.

For all fixed assets the additional costs of preparing the asset for intended use includes, but is not limited to, the following:

- |                                      |  |
|--------------------------------------|--|
| 1. Land:                             | Legal fees, appraisal and negotiation fees, surveying fees, site preparations costs, demolition of unwanted structures and damage payments.  |
| 2. Buildings & Improvements:         | Architect fees, legal fees, appraisers, costs of fixtures, damage claims, insurance premiums, interest and related construction costs.   |
| 3. Machinery, Equipment & Furniture: | Transportation charges, installation costs.  |
| 4. Motor Vehicles:                   | Transportation charges, painting and installation of additional equipment.   |
| 5. Park Improvements:                | Physical improvements to park land that are not removable or do not increase the value of the land will not be capitalized, including trails, parking area, grading, aglimered surfaces, drainage pipes, etc. Removable, replaceable fixtures or buildings such as fencing, play equipment, and picnic shelters will be capitalized. |

## **SECTION 6. SALE OF ASSETS**

No assets owned by the city shall be sold to an officer or employee of the city unless the sale conforms to Minnesota Statute 15.054. Property, except real property, may be sold to an employee after reasonable public notice at a public auction or by sealed bid, if the employee is the highest bidder and is not directly involved in the auction sealed bid process.

## **SECTION 7. DEPRECIATION**

New to general governmental capital assets is the requirement to depreciate those assets over their estimated useful lives. Depreciation is the process of allocating the cost of an asset over the periods that asset is used for its intended purpose.

Capital assets should be depreciated over their estimated useful lives unless they are:

- Inexhaustible (i.e., land and land improvements, certain works of art and historical treasures),
- Infrastructure assets reported using the modified approach, or
- Construction work in progress

For financial statement purposes, the straight-line method will be used to calculate depreciation for each capital asset recorded. Under the straight-line depreciation method, the basis of the asset is written off evenly over the useful life of the asset. The same amount of depreciation is taken each year. In general, the amount of annual depreciation is determined by dividing an asset's depreciable cost by its estimated life. The total amount depreciated can never exceed the asset's historic cost less salvage value. At the end of the asset's estimated life, the salvage value will remain.

Standard estimated useful life guidelines are as follows:

### **Buildings 7 -40 years**

Buildings Foundation/Frame/Structure	40	years
Buildings- Temporary	25	years
HV AC Systems (ale heating)	20	years
Roof	20	years
Electrical	20-30	years
Plumbing	20-30	years
Sprinkler System	20	years
Security/Fire Alarm System	10	years
Cabling	10	years
Floor Covering (other than carpet)	15	years
Carpeting	7	years
Interior Construction	15	years
Interior Renovation	10	years
Fire Alarm System	10	years
Telephone Equipment	10	years

**Machinery, Equipment, Radio** **5-40 years**

Business/Office Equipment	5-10	years
Athletic Equipment	5	years
Audio Visual Equipment	5	years
Computers and Networking	5-7	years
Radio Communications	7	years
Fire Department Equipment	7	years
Furniture	10-15	years
Grounds Equipment - Mowers	7	years
Kitchen Equipment - Appliances	10-12	years
Outdoor Equipment - Playgrounds	10	years
Custodial Equipment	5	years
Photocopiers	5	years
Mounted Equip w/Truck Chassis	8	years
Plazas and Pavilions	40	years

**Vehicles** **3-50 years**

Cars & Light Trucks	3-8	years
Heavy trucks (more than 13,000lbs)	8-10	years
Fire Trucks	25	years
Heavy Equipment-Loaders, Graders	5-50	years
Boat	10	years

**Land** **Not Depreciable**

**Infrastructure** **25-50 years**

Sewer Mains, Lift Stations	50	years
Water Mains	50	years
Wells & Pump Houses	25	years

**Roads & Highways** **20-50 years**

(includes curb & gutter)		
Paved	40	years
Asphalt (Rural)	40	years
Asphalt (Urban)	20	years
Non-Paved	50	years
Public Parking Lots	15	years
Sidewalks	16-20	years
Sewer System (Storm & Sanitary)	20-40	years
Water System	20-40	years

**Land Improvements** **5-30 years**

Fencing, Gates	20	years
Landscaping, Ball Park	10-30	years
Parking Lots	15	years
Outside Sprinkler Systems	20	years
Athletic Fields, Bleachers	10-15	years
Paths and Trails	20	years
Tennis & Basketball Courts	20	years
Retaining Walls	20	years
Outdoor Lighting	20	years
Outdoor Equipment	20	years
Benches, Tables, Grills	5	years





ITEM:  
COUNCIL MEETING DATE:  
SECTION:

4.I.  
April 10, 2025  
Consent Agenda

**Description:**

Adopt Resolution Approving Plans and Specifications for Project 2025-104, Johnny Cake Ridge Road (147th to 140th Street) Improvements, and Authorizing Advertisement for Receipt of Bids May 6, 2025, at 10:00 a.m.

**Staff Contact:**

Brandon Anderson, City Engineer

**Department / Division:**

Engineering Division

**ACTION REQUESTED:**

Adopt resolution approving plans and specifications for Project 2025-104, Johnny Cake Ridge Road (147th to 140th Street) Improvements, and authorizing advertisement for receipt of bids on May 6, 2025, at 10:00 a.m.

**SUMMARY:**

The City of Apple Valley 2025 Capital Improvement Program identifies a full depth Mill and Overlay, LED Lighting upgrades and storm sewer improvements at the following locations:

- Johnny Cake Ridge Road (147th to 140th Street)

A map of the proposed project area is attached (Figure 1). This project is tentatively scheduled for construction in 2025.

**BACKGROUND:**

On June 13, 2024, the City Council adopted Resolution Number 2024-94, Authorizing Preparation of Feasibility Study for Project 2025-104, 2025 Johnny Cake Ridge Road (147<sup>th</sup> to 140<sup>th</sup> Street) Improvements.

On October 24, 2024, City Council adopted Resolution Number 2024-133, directing the preparation of plans and specifications for Project 2025-104, Johnny Cake Ridge Road (147th to 140th Street) Improvements.

**BUDGET IMPACT:**

Estimated Project Costs:	Budgeted Costs	Estimated Costs
Construction Cost	\$ 2,200,000	\$ 2,677,859
Indirect Costs	700,000	582,141
Total Estimated Cost	\$ 2,900,000	\$ 3,260,000
Estimated Project Funding:		
Municipal State Aid (MSA)	\$ 2,800,000	\$ 3,160,000
Street Light Utility Fund	100,000	100,000

Total Estimated Funding

\$ 2,900,000

\$ 3,260,000

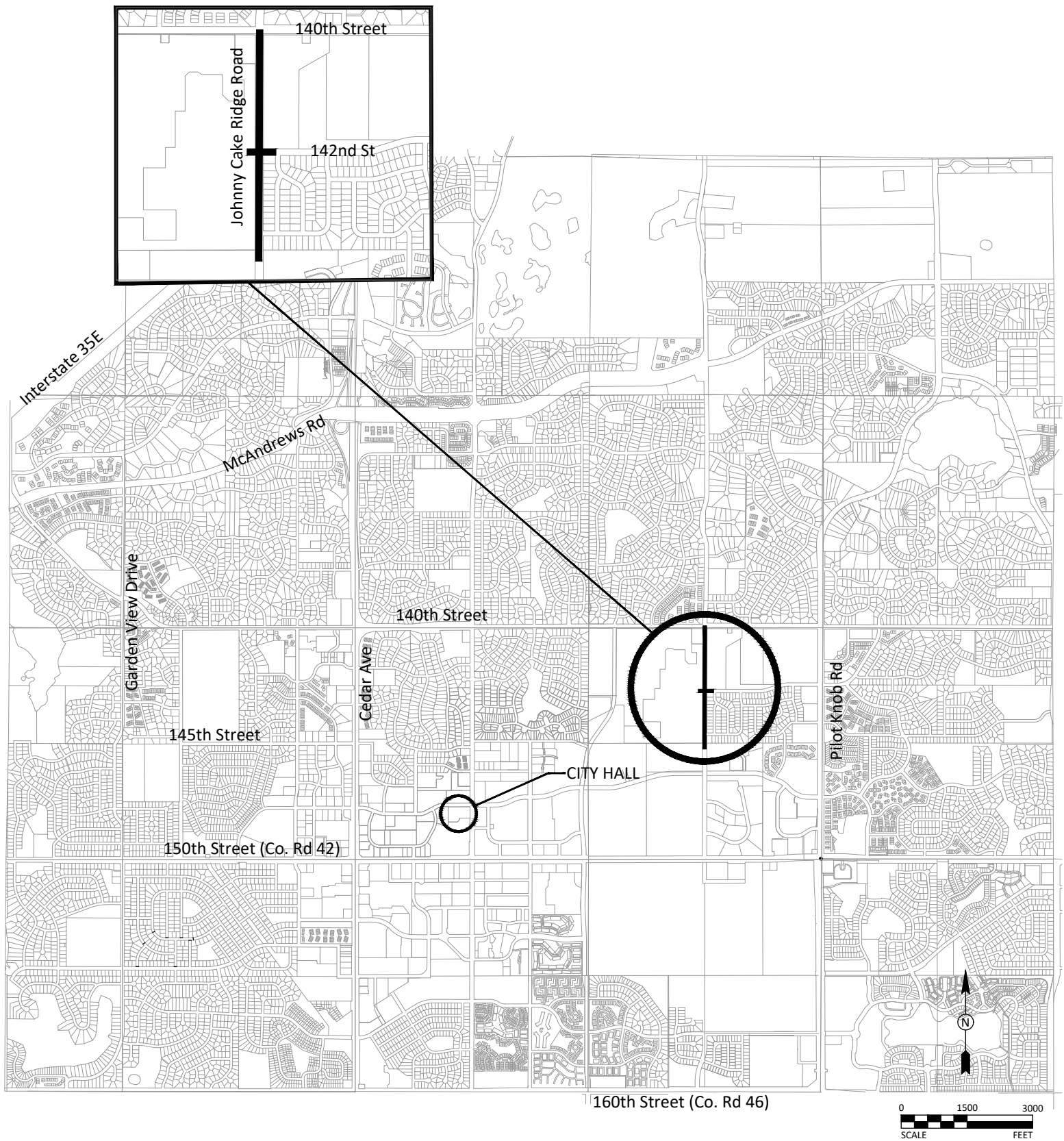
Staff will review the final construction costs and scope of work to fit in municipal state aid budget prior to bid award.

**ATTACHMENTS:**

Map

Resolution

Advertisement for Bid

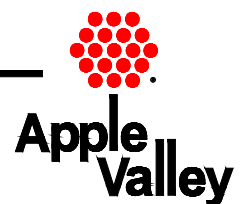


## JOHNNY CAKE RIDGE ROAD (147TH TO 140TH ) STREET IMPROVEMENTS

2025-104

City of Apple Valley

Figure 1



CITY OF APPLE VALLEY  
RESOLUTION NO. 2025-

RESOLUTION APPROVING PLANS AND SPECIFICATIONS  
AND DIRECTING RECEIPT OF SEALED BIDS FOR  
PROJECT 2025-104, JOHNNY CAKE RIDGE ROAD (147TH TO 140TH STREET)  
IMPROVEMENTS

WHEREAS, the Apple Valley City Council has reviewed plans and specifications for Project 2025-104, Johnny Cake Ridge Road (147th to 140th Street) Improvements; and

WHEREAS, the City Council believes that the interests of the City would be best served by receiving sealed bids based on said plans and specifications.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Apple Valley, Dakota County, Minnesota, as follows:

1. Such plans and specifications for Project 2025-104, Johnny Cake Ridge Road (147th to 140th Street) Improvements, a copy of which is on file in the office of the City Clerk and made a part hereof, are hereby approved.
2. The City Clerk is hereby authorized to receive sealed bids for Project 2025-104, Johnny Cake Ridge Road (147th to 140th Street) Improvements, at the time and place specified in the form of notice attached hereto as Exhibit A.
3. The City Clerk is further authorized and directed to cause an advertisement for said bids to be posted on the City's website and on the online Quest Construction Data Network and published in the City's official newspaper, at least ten (10) days prior to the opening of said bids.

ADOPTED this 10th day of April, 2025.

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Clint Hooppaw, Mayor

ATTEST:

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Christina M. Scipioni, City Clerk

## SECTION 00 11 13

### ADVERTISEMENT FOR BIDS

Bids will be received electronically online only by the City of Apple Valley, Minnesota, through Quest CDN, until **10:00 A.M., Tuesday, May 6, 2025**, at which time they will be reviewed for the furnishing of all labor, materials, and all else necessary for the following:

#### **SAP 186-103-020: City Project 2025-104, JOHNNY CAKE RIDGE ROAD IMPROVEMENTS**

16,000	SY	Remove Bituminous Pavement
13,280	CY	Excavation – Common
650	CY	Excavation – Muck
12,000	CY	Aggregate Base Class 5
1200	SY	Mill Bituminous Surface (2.0")
7,200	TN	Bituminous Pavement (Roadway & Trail)
3,036	LF	RC Pipe Sewer DES 3006 CL III (15"-36")
170	LF	Const Drainage Structures (2x3, 48", 60", 84" Diameter)
3,500	LF	Concrete Curb & Gutter Design B618
1	SYS	Revise Signal System
1,347	CY	Topsoil Compost 50/50 Blend

With related items

Digital copies of the Contract Documents can be obtained at [www.questcdn.com](http://www.questcdn.com). The **Quest CDN project number is 9535621**. Bidders can download the Contract documents for \$40 by searching for the project on Quest CDN website's Project Search page.

Instructions for online bidding are attached. Please contact QuestCDN.com, prior to bidding, at (952) 233-1632 for assistance with free membership registration, downloading, and submitting bids. Bid Security in the amount of 5 percent of the amount of the Bid must be submitted through Surety 2000 using contract #9535621 and accompany each Bid in accordance with the Instructions to Bidders.

The bid bonds must be payable to the City of Apple Valley in the amount of five percent (5%) of the amount of bid, to be forfeited as liquidated damages in the event that the bid is accepted and the bidder shall fail to promptly enter into a written contract and furnish the required bond.

Direct inquiries to Engineer's Project Manager Kevin Manzke at (952) 529-2318.

**No bidder questions will be addressed after 12:00 pm on Friday, May 2, 2025.**

The Owner reserves the right to retain the deposits of the 3 lowest Bidders for a period not to exceed 60 days after the date and time set for the Opening of Bids. No Bids may be withdrawn for a period of 30 days after the date and time set for the Opening of Bids.

The successful bidder must be a "responsible contractor." The term "responsible contractor" means a contractor as defined in Minnesota Statutes, section 16C.285, subdivision 3. Any prime contractor, subcontractor, or motor carrier that does not meet the minimum criteria or fails to comply with the verification requirements is not a responsible contractor and is not eligible to be awarded a construction contract for the project or to perform work on the project. A prime contractor, subcontractor, or motor carrier that makes a false statement under oath verifying compliance with the minimum criteria will be ineligible to be awarded a construction contract on the project, and the submission of a false statement may result in termination of a contract awarded to a prime contractor,

subcontractor, or motor carrier that submits the false statement. A prime contractor shall include in its verification of compliance a list of all of its first-tier subcontractors that it intends to retain for work on the project. Before execution of a construction contract, a prime contractor shall submit a supplemental verification under oath confirming that all subcontractors and motor carriers that the prime contractor intends to use to perform project work have verified to the prime contractor, through a signed statement under oath by an owner or officer, that they meet the minimum criteria for a responsible contractor.

The Owner reserves the right to reject any and all Bids, to waive irregularities and informalities therein, and further reserves the right to award the Contract to the best interests of the Owner.

**This project is subject to Minnesota Department of Labor and Industry Prevailing Wage and Truck Rental Rates.**

Christina M. Scipioni, City Clerk  
City of Apple Valley, Minnesota





ITEM:  
COUNCIL MEETING DATE:  
SECTION:

4.J.  
April 10, 2025  
Consent Agenda

**Description:**

Adopt Resolution Approving Plans and Specifications for Project 2025-105, 2025 Street Improvements, and Authorizing Advertisement for Receipt of Bids, on April 29, 2025, at 10:00 a.m.

**Staff Contact:**

Brandon Anderson, City Engineer

**Department / Division:**

Engineering Division

**ACTION REQUESTED:**

Adopt resolution approving plans and specifications for Project 2025-105, 2025 Street Improvements, and authorizing advertisement for receipt of bids, on April 29, 2025, at 10:00 a.m.

**SUMMARY:**

The City of Apple Valley 2025 Capital Improvement Program identifies potential street reconstruction and maintenance work. The scope of the project consists of the following:

- Gate Valve Replace/Repair
- Water Main Break Street Patching
- Dakota County CDA Pedestrian Improvements (re-bid from 2024)
- Driveway Reconstruction at 320 Palomino Drive (Well 3)
- 140th Street Trail Reconstruction (a result of the emergency repair of the sanitary sewer system)
- Intersection/ADA Improvements
  - o Cobblestone Lake Parkway Crosswalks
- Trail Resurfacing
  - o Embry Path from Cobblestone Lake Parkway to 155<sup>th</sup> Street
- 4" Mill & Overlay
  - o Energy Way
- Sidewalk Extension
  - o Energy Way
- Municipal Center Parking Lot West Reconstruction (Future Capital Projects Fund)
  - o The western parking lot will be reconstructed in 2025 and the eastern parking lot of Municipal Center is scheduled for 2026.

A map of the proposed project area is attached (Figure 1). This project is tentatively scheduled for construction in 2025.

**BACKGROUND:**

On November 12, 2024, City Council adopted Resolution 2024-140 directing the preparation of plans and specifications for Project 2025-105, 2025 Street Improvements.

On January 9, 2025, City Council adopted Resolution 2024-110 Authorize Emergency Repairs to Sanitary Sewer on 140<sup>th</sup> Street West for project 2025.

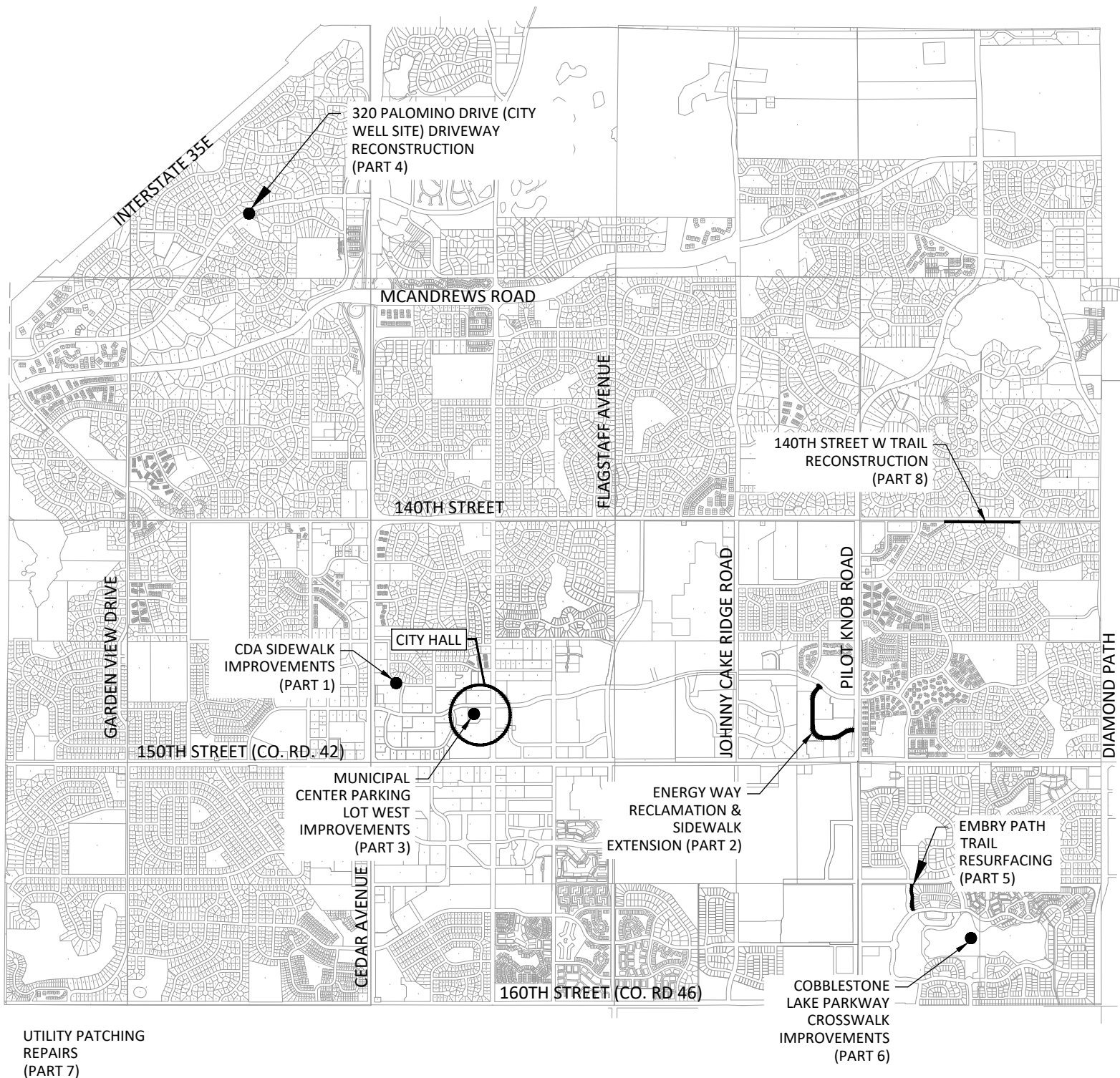
**BUDGET IMPACT:**

Project costs and funding included in the preliminary 2025 operating budget are summarized as follows:

Estimated Project Costs:	Budgeted Costs:	Estimated Costs:
Construction Cost	\$ 1,210,000	\$ 1,190,000
Construction Contingency	150,000	150,000
Engineering, Contract Admin, Inspection, Testing, Survey	200,000	220,000
Total Estimated Cost	\$1,560,000	\$1,560,000
Estimated Project Funding		
Water Utility	\$ 160,000	\$ 234,000
Sanitary Sewer Fund		175,400
Road Improvement Fund	780,000	530,600
Municipal Maintenance Fund	200,000	200,000
Dakota County CDA	70,000	70,000
Future Capital Projects Fund (City Hall Parking)	350,000	350,000
Total Estimated Funding	\$1,560,000	\$1,560,000

**ATTACHMENTS:**

Map  
Resolution  
Advertisement for Bid



## 2025 STREET IMPROVEMENTS

Figure 1

2025-105



CITY OF APPLE VALLEY  
RESOLUTION NO. 2025-

RESOLUTION APPROVING PLANS AND SPECIFICATIONS  
AND DIRECTING RECEIPT OF SEALED BIDS FOR  
PROJECT 2025-105, 2025 STREET IMPROVEMENTS

WHEREAS, the Apple Valley City Council has reviewed plans and specifications for Project 2025-105, 2025 Street Improvements; and

WHEREAS, the City Council believes that the interests of the City would be best served by receiving sealed bids based on said plans and specifications.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Apple Valley, Dakota County, Minnesota, as follows:

1. Such plans and specifications for Project 2025-105, 2025 Street Improvements, a copy of which is on file in the office of the City Clerk and made a part hereof, are hereby approved.
2. The City Clerk is hereby authorized to receive sealed bids for Project 2025-105, 2025 Street Improvements at the time and place specified in the form of notice attached hereto as Exhibit A.
3. The City Clerk is further authorized and directed to cause an advertisement for said bids to be posted on the City's website and on the online Quest Construction Data Network and published in the Cities official newspaper, at least ten (10) days prior to the opening of said bids.

ADOPTED this 10th day of April, 2025.

---

Clint Hooppaw, Mayor

ATTEST:

---

Christina M. Scipioni, City Clerk

## SECTION 00 11 13

### ADVERTISEMENT FOR BIDS

Bids will be received electronically online only by the City of Apple Valley, Minnesota, through Quest CDN, until 10:00 A.M., CDT, Tuesday, April 29, 2025, at which time they will be reviewed for the furnishing of all labor, materials, and all else necessary for the following:

#### **City Project 2025-105 Street Improvements**

761	LF	Remove Curb and Gutter
560	SF	Remove Concrete Walk
1,128	CY	Excavation – Common
1,633	TN	Aggregate Base Class 5
9,668	SY	Full Depth Reclamation
34	EA	Adjust Frame & Ring Casting
2,986	TN	Bituminous Mixture
24,452	SF	5" Concrete Walk or Driveway
609	LF	Concrete Curb and Gutter
1,708	SY	Sod Type Lawn
4,335	SY	Rapid Stabilization Type 1
With related items		

Digital copies of the Contract Documents can be obtained at [www.questcdn.com](http://www.questcdn.com). The Quest CDN project number is 9535609. Bidders can download the Contract documents for \$40 by searching for the project on Quest CDN website's Project Search page.

Instructions for online bidding are attached. Please contact QuestCDN.com, prior to bidding, at (952) 233-1632 for assistance with free membership registration, downloading, and submitting bids. For electronic bids, electronic bid bonds will also be accepted through Surety 2000 using contract #9535609. The bid bonds must be payable to the City of Apple Valley in the amount of five percent (5%) of the amount of bid, to be forfeited as liquidated damages in the event that the bid is accepted and the bidder shall fail to promptly enter into a written contract and furnish the required bond.

Direct inquiries to the Project Engineer, Jodie Scheidt, at (952)953-2426 or [Jodie.Scheidt@applevalleymn.gov](mailto:Jodie.Scheidt@applevalleymn.gov). No bidder questions will be addressed after 10:00 am on Friday, April 25, 2025.

Bid Security in the amount of 5 percent of the amount of the Bid must be submitted through Surety 2000 and accompany each Bid in accordance with the Instructions to Bidders.

The Owner reserves the right to retain the deposits of the 3 lowest Bidders for a period not to exceed 60 days after the date and time set for the Opening of Bids. No Bids may be withdrawn for a period of 30 days after the date and time set for the Opening of Bids.

The successful bidder must be a "responsible contractor." The term "responsible contractor" means a contractor as defined in Minnesota Statutes, section 16C.285, subdivision 3. Any prime contractor, subcontractor, or motor carrier that does not meet the minimum criteria or fails to comply with the verification requirements is not a responsible contractor and is not eligible to be awarded a construction contract for the project or to perform work on the project. A prime contractor, subcontractor, or motor carrier that makes a false statement under oath verifying compliance with the minimum criteria will be ineligible to be awarded a construction contract on the project, and the submission of a false statement may result in termination of a contract awarded to a prime contractor, subcontractor, or motor carrier that submits the false statement. A prime contractor shall include in its

verification of compliance a list of all of its first-tier subcontractors that it intends to retain for work on the project. Before execution of a construction contract, a prime contractor shall submit a supplemental verification under oath confirming that all subcontractors and motor carriers that the prime contractor intends to use to perform project work have verified to the prime contractor, through a signed statement under oath by an owner or officer, that they meet the minimum criteria for a responsible contractor.

The Owner reserves the right to reject any and all Bids, to waive irregularities and informalities therein, and further reserves the right to award the Contract to the best interests of the Owner.

Christina M. Scipioni, City Clerk  
City of Apple Valley, Minnesota





ITEM:  
COUNCIL MEETING DATE:  
SECTION:

4.K.  
April 10, 2025  
Consent Agenda

**Description:**

Adopt Resolution Awarding Agreement for Project 2025-103, 2025 Micro Surfacing

**Staff Contact:**

Brandon Anderson, City Engineer

**Department / Division:**

Engineering Division

**ACTION REQUESTED:**

Adopt resolution awarding agreement for Project 2025-103, 2025 Micro Surfacing, to Fahrner Asphalt Sealers, LLC in the amount \$254,490.77.

**SUMMARY:**

On March 25, 2025, two (2) bids were received for the 2025-103, 2025 Micro Surfacing project as described within the attached bid tabulation. Base Bids ranged from \$254,490.77 to \$262,404.51.

Fahrner Asphalt Sealers, LLC submitted the low bid in the amount of \$254,490.77. The low bid was \$41,950.03 under the Engineer's estimate of \$296,440.80.

A standard City agreement will be utilized for this project

**BACKGROUND:**

On February 27, 2025, City Council adopted Resolution 2025-29, approving plans and specifications and directing receipt of sealed bids for Project 2025-103, 2025 Micro Surfacing.

On September 12, 2024, City Council adopted Resolution 2024-114, directing the preparation of plans and specifications for Project 2025-103, 2025 Micro Surfacing.

**BUDGET IMPACT:**

Project costs and funding included in the adopted 2025 operating budget are summarized as follows:

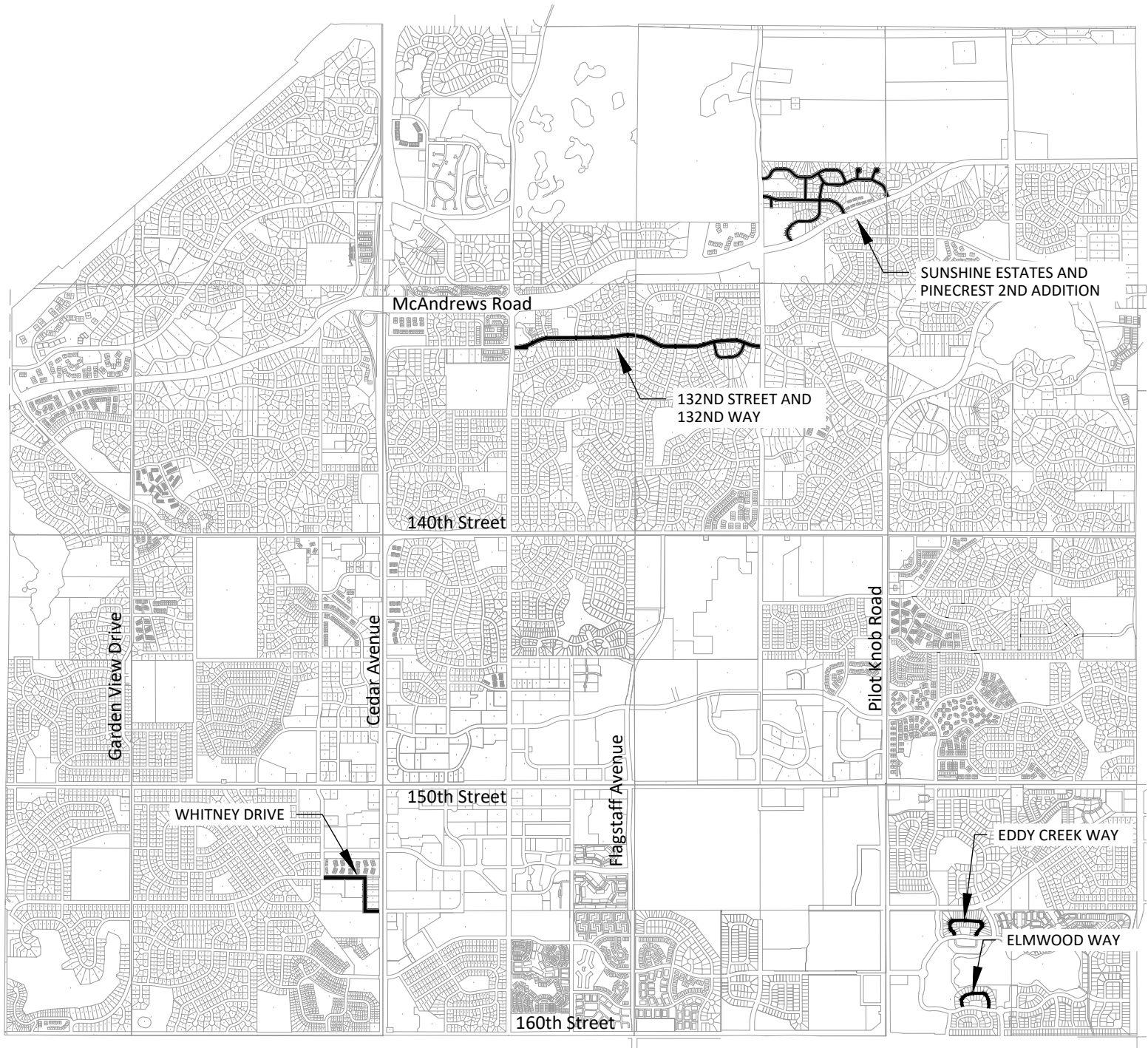
Estimated Project Costs:	Budgeted Cost	Awarded Costs
Construction Cost	\$ 350,000	\$ 254,490.77
Construction Contingency	30,000	30,000.00
Engineering Design	20,000	20,000.00
Inspection		
Total Estimated Cost	\$ 400,000	\$ 304,490.77
Estimated Project Funding:		
Municipal State Aid Funding	400,000	304,490.77
Total Estimated Funding	\$ 400,000	\$ 304,490.77

**ATTACHMENTS:**

Map

Resolution

Bid / Quote Tabulation



2025-103 Micro Surfacing

Figure 1

City of Apple Valley

2025 Capital Improvement Program Areas



CITY OF APPLE VALLEY  
RESOLUTION NO. 2025-

A RESOLUTION AWARDDING AGREEMENT FOR PROJECT 2025-103,  
2025 MICRO SURFACING

WHEREAS, pursuant to an advertisement for bids for improvements identified as Project 2025-103, 2025 Micro Surfacing, bids were received, opened and tabulated according to law and the following bids were received complying with the advertisement: (Tabulation attached as Exhibit A), and;

WHEREAS, it appears Fahrner Asphalt Sealers, LLC is the lowest responsible bidder.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Apple Valley, Dakota County, Minnesota:

1. That the Mayor and City Clerk are hereby authorized and directed to enter into a contract with Fahrner Asphalt Sealers, LLC for its base bid in the amount of \$254,490.77 for the completion of Project 2025-103, 2025 Micro Surfacing according to the plans and specifications heretofore approved by the Council and on file in the office of the City Clerk.

2. The City Clerk is hereby authorized and directed to return to all bidders the deposits made with their bids, except that the deposits of the successful bidder and the next lowest bidder shall be retained until a contract has been signed.

ADOPTED this 10<sup>th</sup> day of April, 2025.

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Clint Hooppaw, Mayor

ATTEST:

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Christina M. Scipioni, City Clerk



Project Name: 2025 Micro Surfacing  
City Project No.: 2025-103  
Bid Opening: Tuesday, March 25,2025 at 10:00 A.M., C.S.T.  
Electronic Bid- Quest CDN

I hereby certify that this is an exact reproduction of bids received.  
Owner: City of Apple Valley

Jodie Scheidt, P.E.  
Registration No. 44542

Jodie Scheidt

				Engineer Estimate		Fahrner Asphalt Sealers, LLC		Asphalt Surface Technologies Corp.	
Section	Title	NO.	Item Description	Unit	Est Quantity	Unit Price	Total Price	Unit Price	Total Price
Part 1 - MICRO SURFACING									
	1		MOBILIZATION	LS	1	\$20,000.00	\$20,000.00	\$23,500.00	\$23,500.00
	2		TRAFFIC CONTROL	LS	1	\$10,000.00	\$10,000.00	\$5,000.00	\$5,000.00
	3		REMOVE PAVEMENT MARKINGS - 4" DOUBLE YELLOW LINES	LF	5974	\$0.30	\$1,792.20	\$1.20	\$7,168.80
	4		REMOVE PAVEMENT MARKINGS - 4" WHITE LINES	LF	12170	\$0.30	\$3,651.00	\$0.60	\$7,302.00
	5		REMOVE PAVEMENT MARKINGS - 12" LINES	LF	257	\$2.50	\$642.50	\$3.50	\$899.50
	6		REMOVE PAVEMENT MARKINGS - 24" LINES	LF	71	\$5.50	\$390.50	\$7.00	\$497.00
	7		BITUMINOUS MATERIAL FOR MICRO-SURFACING	GAL	25635	\$4.50	\$115,357.50	\$3.78	\$96,900.30
	8		MIRCO-SURFACING SURFACE COURSE (MNDOT TYPE 2 AGGREGATE MODIFIED)	TN	769	\$180.00	\$138,420.00	\$136.63	\$105,068.47
	9		4" DOUBLE SOLID, YELLOW	LF	5974	\$0.40	\$2,389.60	\$0.50	\$2,987.00
	10		4" SOLID LINE, WHITE	LF	12170	\$0.20	\$2,434.00	\$0.25	\$3,042.50
	11		3' x 6' PEDESTRIAN BLOCK	SF	522	\$2.00	\$1,044.00	\$3.50	\$1,827.00
	12		24" SOLID LINE, WHITE	LF	71	\$4.50	\$319.50	\$4.20	\$298.20
Total Part 1 - MICRO SURFACING						\$296,440.80		\$254,490.77	\$262,404.51

TOTAL PART 1 - MICRO SURFACING				\$296,440.80	\$254,490.77	\$262,404.51
TOTAL BASE BID				\$296,440.80	\$254,490.77	\$262,404.51
Contractor				Fahrner Asphalt Sealers, LLC		Asphalt Surfacing Technologies Corp.
Address				6615 US Hwy 12 West		PO Box 1025
Address				Eau Claire, WI 54703		St Cloud, MN 56302
Phone				715-874-6070		320-363-8500
Representative				Jeff Sheehan		Dale Strandberg
Title				Vice President		Vice President
Bid Bond				5.00%		5.00%



ITEM:  
COUNCIL MEETING DATE:  
SECTION:

4.L.  
April 10, 2025  
Consent Agenda

**Description:**

Approve Agreement with Ron Kassa Construction, Inc., for Project 2025-118, 2025 Concrete Removal & Replacement Services

**Staff Contact:**

Jeff Lathrop, Public Works Superintendent - Streets

**Department / Division:**

Streets Division

**ACTION REQUESTED:**

Approve agreement with Ron Kassa Construction, Inc., for Project 2025-118, 2025 Concrete Removal & Replacement Services, in the amount of \$75,300.00.

**SUMMARY:**

On February 28, 2025, City staff solicited quotations from seven companies for the removal and replacement of City sidewalks at various locations throughout the City. Two companies submitted quotes; Ron Kassa Construction, Inc., submitted the low quote. Concrete services include removal and replacement of B618 and D412 curb, sidewalk, pedestrian curb ramp, truncated dome panels, and replacement of sidewalk removed by City employees. The attached bid tab provides an itemized breakdown of costs.

A standard City agreement will be utilized for this project.

**BACKGROUND:**

N/A

**BUDGET IMPACT:**

Funding for this project is included in the 2025 operating budget for the Public Works Streets Division.

**ATTACHMENTS:**

Bid / Quote Tabulation



**Exhibit A**

BID TABULATION  
PROJECT 2025-118  
2025 CONCRETE REMOVAL & REPLACEMENT SERVICES

				<b>Ron Kassa Construction</b>		<b>JWS Construction, LLC</b>	
ITEM No.	ITEM	UNIT	EST. QUANTITY	UNIT PRICE	TOTAL PRICE	UNIT PRICE	TOTAL PRICE
1	B618 CURB	LF	75	\$ 45.00	\$ 3,375.00	\$ 50.00	\$ 3,750.00
2	D412 CURB	LF	75	\$ 45.00	\$ 3,375.00	\$ 48.00	\$ 3,600.00
3	SIDEWALK	SF	600	\$ 9.50	\$ 5,700.00	\$ 11.00	\$ 6,600.00
4	SIDEWALK REMOVED BY OTHER	SF	9,500	\$ 6.50	\$ 61,750.00	\$ 8.00	\$ 76,000.00
5	PEDESTRIAN CURB RAMP	SF	50	\$ 20.00	\$ 1,000.00	\$ 11.00	\$ 550.00
6	TRUNCATED DOME PANEL	SF	2	\$ 50.00	\$ 100.00	\$ 150.00	\$ 300.00
TOTAL BID				\$ 75,300.00		\$ 90,800.00	



ITEM:  
COUNCIL MEETING DATE:  
SECTION:

4.M.  
April 10, 2025  
Consent Agenda

<b>Description:</b> Surplus Parks Equipment	
<b>Staff Contact:</b> Eric Carlson, Parks & Recreation Director	<b>Department / Division:</b> Parks and Recreation Department

**ACTION REQUESTED:**

1. Declare Kelley Park playground equipment as surplus and authorize disposal or auction.
2. Approve agreement with Auction Masters, Inc., to host online auction.

**SUMMARY:**

The 2023 Parks Bond Referendum allows the City to update certain parks and recreation equipment. The playground equipment at Kelley Park has reached the end of its useful life and should now be removed and disposed of properly.

We are planning to relocate the existing picnic shelter from Kelley Park to the middle of the new Hayes Park youth baseball/softball fields.

**BACKGROUND:**

The equipment listed above was installed in Kelley Park a number of years ago and has served the City well. We will be updating the equipment as part of the improvements associated with the 2023 Park Referendum.

**BUDGET IMPACT:**

N/A

**ATTACHMENTS:**

Agreement

## AUCTION MASTERS REMOTE AUCTION CONTRACT

This agreement entered into by and between Auction Masters Inc. hereinafter referred to as Auctioneer, and **City of Apple Valley** hereinafter referred to as Seller.

For and in consideration of the services to be performed by the Auctioneer, the undersigned Seller of the property hereinafter described, hereby employs and grants the Auctioneer the exclusive right to sell the following described property **Playground Structures at Kelley Park, 6855 Fortino, Apple Valley MN**. The right to sell specifically includes the right to sell the above-described property at public auction to the highest bidder(s) on the premises on or about **August 2025**. The playgrounds are to be removed by **August 2025**. Seller warrants and represents to the Auctioneer that Seller owns, has full authority and lawful power to sell and shall deliver title to the above described property, free of all claims, encumbrances, or indebtedness, and that said property can be auctioned without violation of any Federal, State or other regulations.

Seller agrees to pay all expenses of preparation and marketing the auction up to **\$300**.

### THE AUCTIONEER SHALL:

1. Sell said property, using their professional skill, knowledge and experience to the best advantage of both parties in preparing and conducting the auction.
2. Keep accurate records of the sale and permit the Seller to examine same.
3. Receive as compensation for promoting, advertising and conducting said sale **35** percent of the gross selling price. Plus, 18 percent paid by the buyer on items under \$10,000.00 and 13 percent on items over 10,000.00.

### THE SELLER SHALL:

1. Maintain and provide premises in which said property is located and furnish license, personal and public liability insurance, and building and property insurance.
  2. Not sell, dispose of or otherwise withdraw from said auction any part of the said property or refuse to submit said property or any part thereof after this contract is signed.
  3. Not interfere, prevent or prohibit Auctioneer, in any manner, prior to or during the auction, from carrying out his duties, and - obligation of this agreement.
  4. In the event of breach of covenants contained herein, pay the Auctioneer as liquidated damages, all advertising and other expenses incurred, and a commission of ten percent of the value of said property.
  5. If the auction is online, seller(s) understand that the Internet is a sensitive environment and shall hold auctioneer, Auction Masters Inc. and its employees harmless if servers or Internet systems are disrupted during an auction. Under the buyer and seller terms Auction Masters Inc. shall have the right to restart or resell the items that are affected.
  6. In addition, seller(s) understand that online buyers may not honor their bids. In these cases, Auction Masters Inc. reserves the right to resell items to back-up or other bidders for a price negotiated between Auction Masters Inc. and the bidders
- Nothing herein contained shall be construed to or constitute the parties hereto as partners.
7. Provide item photos and descriptions.
  8. Manage inspection and checkout.

Auctioneer shall not be responsible for enforcing the agreement of any buyer for property, by civil action or otherwise. Where - property is sold but is not delivered, as where a buyer refuses to pay for the property, Auctioneer may hold the property and wait for the Seller's instructions, the risk of loss of such property being borne entirely by Seller and being subject to reasonable charges for storage by Seller; or Auctioneer may cancel the sale and resell the property to a second buyer. Seller retains security interests until buyers check or charge clears the bank.

Seller agrees to hold harmless and to indemnify the Auctioneer against any and all claims to any nature resulting from any breach of contract by Seller of any covenant, provision or agreement of this contract.

Auctioneer agrees to hold harmless and to indemnify the Seller against any and all claims to any nature resulting from any breach of contract by Auctioneer of any covenant, provision or agreement of this contract.

In the event that the goods at auction are fixtures, Seller agrees and covenants to be solely responsible to remove said fixtures for sale or in the alternative agrees to be solely responsible for any damage to any property as a result of the removal of the fixtures for sale under this contract.

This agreement shall bind and inure to the benefit of the Parties hereto and their respective heirs, executors, administrators, and assigns.

Send Check to: \_\_\_\_\_

Seller Signature: \_\_\_\_\_ Contact: Eric Carlson

Email: Eric.Carlson@applevalleymn.gov Phone: \_\_\_\_\_ Date: \_\_\_\_\_

Auctioneer: Sarah Ness, 612-232-2485

**AUCTION MASTERS 19150 Territorial Road • Maple Grove, Minnesota 55369 • (763) 428-2271 • Fax (763) 428 8355**

[www.auctionmasters.com](http://www.auctionmasters.com)



ITEM:  
COUNCIL MEETING DATE:  
SECTION:

4.N.  
April 10, 2025  
Consent Agenda

**Description:**

Approve Payment to Dakota Electric Association to Bury Overhead Powerlines and Provide Power for Project 2024-189, Redwood Park Reconstruction (2023 Parks Bond Referendum)

**Staff Contact:**

Eric Carlson, Parks & Recreation Director

**Department / Division:**

Parks and Recreation Department

**ACTION REQUESTED:**

Approve payment to Dakota Electric Association to bury overhead powerlines and provide power for Project 2024-189, Redwood Park Reconstruction, in the amount of \$123,417.99 (2023 Parks Bond Referendum).

**SUMMARY:**

As part of the 2023 Parks Bond Referendum projects, the City plans to reconstruct Redwood Park. One of the steps in the project is to bury the overhead powerlines that run through the park to serve park needs and the city well.

Dakota Electric has developed a cost estimate of \$123,417.99 for the project and requires pre-payment to schedule the work. There are a few factors that are unknown at this time that could increase the cost of the project, such as unusual soil conditions, rock formations, poor backfilling material, etc. The attached letter serves as the necessary agreement with Dakota Electric.

Staff is recommending the City ask Dakota Electric to proceed with the project and the City issue a check in the full amount of \$123,417.99 to the Dakota Electric Association for the work. We are coordinating this project with utility staff.

**BACKGROUND:**

For the last several years, the City of Apple Valley has worked with the community to determine the future needs and desires residents have for parks and recreation services. In November 2023, Apple Valley voters approved two separate questions in a special election, authorizing a total of \$73.25 million to invest in parks, trails, natural resources, Kelley Park, Redwood Park, Hayes Arena, the Apple Valley Family Aquatic Center, the Apple Valley Community Center and Senior Center, a youth baseball/softball complex at Hayes Park, and a community pool at Redwood Park.

It will take four to six years to implement the improvements approved by voters. As we develop projects, we will involve residents in the planning process. Information on plans and construction progress will be provided on our website so residents can see what work is planned for each location and how the referendum dollars are being spent.

**BUDGET IMPACT:**

Funding for this project comes from previously collected electric utility franchise fee revenues accounted for in the City's Electric Franchise Fee fund.

**ATTACHMENTS:**

Agreement

Map

March 20, 2025

City of Apple Valley  
14200 150th/Elm Dr  
Apple Valley, MN 55124  
Attn: Eric Carlson

**Re: Dakota Electric work request to convert the existing three phase overhead line to underground and re-establish distributions facilities to maintain normal service for the general area including installation of a new, permanent service for the proposed amenities building.**

Dear Mr. Carlson,

Recently Dakota Electric Association received a request to do work at **14200 150th/Elm Dr, Apple Valley**. The total payment due for the requested work is **\$123,417.99**. This amount is due in full prior to the start of Dakota Electric work. There may be additional charges once construction has started due to unusual soil conditions such as frost, rock formations, or poor backfill requiring sand fill, or for any relocation request made after construction is underway. DEA will remove the existing overhead facilities, including poles, primary wires, transformer and lights from the site. DEA will need to coordinate re-feeding the existing City Well service with the City of Apple Valley and/or its preferred electrical contractor, as DEA will need to install a new pad mount transformer in order to maintain service. The owner/contractor is responsible for pouring a new concrete pad per the new transformer for the Well. This estimate also includes establishing a new primary electric service for the Redwood Community Building/Pool and Other amenities. This estimate is based on the proposed amenities, pad mount transformer to be located at the East side of the proposed parking lot. (See location 3.5 on the attached map) Any significant change in this location could result in additional costs. The existing three phase overhead line at the West property line cannot be removed until DEA is able to extend the new underground primary starting from the south side of Co Rd 42, extending north along the West side of Elm Drive to the City's Well/transformer location since that overhead line is the source of power for the City Well.

Construction will be scheduled after both concrete pads are poured in place; final grades are established within +/- 6" of final along DEA's proposed running line near Elm Dr.. Please send the payment and invoice to the address listed below. Currently, an online payment option is not available. If you have any questions, please contact an Engineering Services Representative at [newservices@dakotaelectric.com](mailto:newservices@dakotaelectric.com) or 651-463-6247.

Sincerely,

Dakota Electric Design Team





4300 220<sup>th</sup> Street West  
Farmington, MN 55024  
651-463-6212 • 1-800-874-3409  
Fax: 651-463-6256  
www.dakotaelectric.com

*A Locally-Owned, Not-for-Profit Electric Cooperative*

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***Please send with payment***

March 20, 2025

Work order #: 202473

City of Apple Valley  
14200 150th/Elm Dr  
Apple Valley, MN 55124  
Premise #: 6674

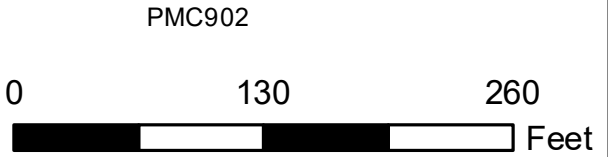
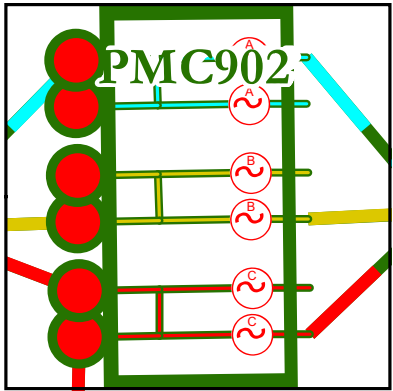
Please send payment to:

Dakota Electric Association  
Attn: Billing Coordinator  
4300 220<sup>th</sup> Street West  
Farmington, MN 55024

<b>Total Payment Due:</b>	<b>\$123,417.99</b>
---------------------------	---------------------

***Payment is due before work will begin. Cost estimate is valid for 90 days from date on letter.***





**NOT FOR  
CONSTRUCTION**

CITY OF APPLE VALLEY REDWOOD  
PARK SERVICE REBUILD

Work Order	202473	
Map/Twp	B2-29-DC	T115N R20W S29
Staker	FREESE, TRAVIS	
Designer	WILLERT, COREY	
Tech Approver		

Notes:





ITEM:  
COUNCIL MEETING DATE:  
SECTION:

4.O.  
April 10, 2025  
Consent Agenda

**Description:**

Approve Change Order No. 1 to Agreement with Pro-Tec Design, Inc., for Police Operations - Card Readers and Cameras

**Staff Contact:**

Charles Grawe, Assistant City Administrator

**Department / Division:**

Administration / Information Technologies

**ACTION REQUESTED:**

Approve Change Order No. 1 to Agreement with Pro-Tec Design, Inc., for Police Operations - Card Readers and Cameras, in the additional amount of \$14,070.00, and authorize the Mayor and City Clerk to sign the same.

**SUMMARY:**

Attached is a proposal for one change order to the project contract. The change order covers one issue summarized below. Change Order 1 is in the amount of \$14,070.00. The contract sum prior to the approval of the change order is \$94,030.00. With the approval of the change order, the contract sum would be \$108,100.00.

**BACKGROUND:**

CO 1: Add three additional card reader locations. Several doors were scheduled for card readers in the architectural plan, but had not been specified for readers in the security plans. This change makes the security changes for the additional readers.

Due to coordination and timing issues involved in this work, staff granted authorization to proceed with the card reader door updates to keep the project on schedule.

**BUDGET IMPACT:**

CO 1: Total Amount      \$14,070.00

**ATTACHMENTS:**

Change Order Document(s)

# Proposal

**Sold To:** City of Apple Valley  
Greg Dahlstrom  
6442 140th Street West  
Apple Valley, MN 55124  
United States  
  
**Phone:** (952) 953-2500  
**Fax:**  
**Email:** greg.dahlstrom@applevalleymn.gov

**Ship To:** City of Apple Valley  
Greg Dahlstrom  
Police Department Garage  
TBD  
United States  
  
**Phone:** (952) 953-2500  
**Fax:**  
**Email:** greg.dahlstrom@applevalleymn.gov

## CO - 24887 - PD Vehicle Storage Building - Additional Card Readers

The following change order adds (3) additional card reader applications to the original build at the new PD Building.

Reader #15 - 192 Evidence garage bay from garage  
Reader #16 - 221C Patrol office from briefing  
Reader #17 - 198 Patrol office from hallway

All door and electronic locking hardware by others  
Cabling for card reader by Pro-Tec  
Rough-in's and 110vac connections by others

Date	Quote Valid For
03/24/25	30 days

Quote #	Rep	Terms
PTDQ37225	Jill Bartyzal	Net 30 days

Line	Qty	Description	Unit Price	Ext. Price
1		<b>IT ROOM HEAD END - USE (2) OPEN READER PORTS - ADD CONTROLLER TO SUPPORT (1) MORE READER</b>		
2	1	SYMMETRY ENTERPRISE 8 READER LICENSE ADD-ON	\$402.90	\$402.90
3	1	SYMMETRY M2150 NIC MODULE - 10/100MBPS FOR ETHERNET CONNECTION TO LAN, TLS1.2 AND ENCRYPTION CAPABLE	\$317.05	\$317.05
4	1	ACCESSORY, SYMMETRY M2150 8DBC READER CONTROLLER BOARD ONLY, W/ MEMORY FOR 20,000 CARDS	\$2,487.95	\$2,487.95
5	1	WIEGAND INTERFACE MODULE, FOR 8 CARD READERS	\$405.45	\$405.45
6	1	POWER SUPPLY / CHARGER, 24VDC @ 10 AMP, AC & BATTERY MONITORING, NON-POWER LIMITED OUTPUT, 115 VAC INPUT, UL RECOGNIZED	\$267.83	\$267.83
7	1	POWER SUPPLY WITH CHARGER, SINGLE FUSED OUTPUT, 12VDC @ 10A, 115VAC, BOARD	\$231.26	\$231.26
8	2	8-OUT WITH ISOLATION RELAY PTC 2.5A CIRC BREAKER	\$94.97	\$189.94
9	1	ENCLOSURE, (36.12"H X 30.125" W X 7.06"D), TROVE3 WITH AMAG BACKPLANE	\$1,202.88	\$1,202.88
10	3	BATTERY, 12V 7 AH SEALED LEAD ACID, AGM	\$19.62	\$58.86
11	1	FINGER DUCT, 4 W X 4 H, 6' LENGTH, PVC, LIGHT GRAY	\$180.35	\$180.35
12	1	PANDUIT DUCT COVER, 4" GRAY PER 6 FOOT LENGTH	\$48.25	\$48.25
13		<b>(3) STANDARD CARD READER APPLICATIONS - ROOM 192, 221C AND 198</b>		
14	3	CARD READER,SIGNO,WALL MOUNT, SEOS, ICLASS AND PROX, OSDP/WEIGAND OUTPUT, MOBILE READY	\$317.28	\$951.84
15	3	REX REQUEST TO EXIT DETECTOR, PIR, SOUNDER, LIGHT GRAY	\$82.08	\$246.24

16	3	DOOR CONTACT, QTY 1, RECESSED, 1 INCH DIAMETER, WIDE GAP, CLOSED LOOP, UL FIRE RATED, GREY, FOR STEEL DOORS	\$11.68	\$35.04
17	3	CONNECT TO ELECTRONIC LOCKING HARDWARE PROVIDED BY OTHERS	\$0.00	\$0.00
18	1,000	CABLE, PLENUM, ALL-IN-ONE COMPOSITE ACCESS CONTROL YELLOW JACKET	\$1.41	\$1,410.00
19	1	MISC	\$557.16	\$557.16
20		<b>IMPLEMENTATION SERVICES</b>		
21	2	STATE CONTRACT - DESIGN SERVICES	\$95.00	\$190.00
22	4	STATE CONTRACT - PROJECT MANAGEMENT	\$102.00	\$408.00
23	8	STATE CONTRACT - INSTALLER, CABLING	\$60.00	\$480.00
24	32	STATE CONTRACT- TECHNICIAN	\$122.00	\$3,904.00
25	1	STATE CONTRACT - CAD DESIGN SERVICES	\$95.00	\$95.00
			<b>Total</b>	<b>\$14,070.00</b>

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## **Statement of Work**

1. PTD to install AMAG controller boards in MDF to support card readers.
2. PTD to cable, test program and install (3) standard reader applications.

## **Exclusions**

1. All high voltage electrical connections and rough-in's by others.
2. Proposal assumes all doors come equip with electronic door locking hardware. Pro-Tec to power door locking hardware.

-----  
Thank you again for giving me the opportunity to provide you with this information. If you should need any further clarification or assistance, don't hesitate to contact me! To proceed with the proposal, please sign the Proposal Acceptance portion of the proposal and return to me.

Jill Bartyzal  
Senior Business Relationship Manager  
5929 Baker Road, Suite 400  
Minnetonka, MN 55345

Cell (612) 222.6803  
Fax (763) 553.0204  
Email [jbartyzal@pro-tecdesign.com](mailto:jbartyzal@pro-tecdesign.com)



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# PROPOSAL ACCEPTANCE

## CO - 24887 - PD Vehicle Storage Building - Additional Card Readers

PTDQ37225                      3/24/2025

City of Apple Valley

Greg Dahlstrom  
6442 140th Street West  
Apple Valley, MN 55124  
United States

### City of Apple Valley

Printed Name and Title: \_\_\_\_\_

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

PO# / Reference # (optional): \_\_\_\_\_

### Pro-Tec Design, Inc.

Printed Name and Title: \_\_\_\_\_ *Jill Bartyzal* \_\_\_\_\_ *Senior Business Relationship Manager*

Signature: \_\_\_\_\_ Date: 3/24/2025

# Standard Terms and Conditions

## FINANCIAL

1. No provisions of this Proposal/Contract shall serve to void our rights under Mechanics' Lien Laws.
2. We do not accept back charges that have not been previously agreed to by us in writing.
3. Late payments of 60 days or more will bear interest at the standard prevailing commercial rate
4. Unless otherwise specified, you will be billed for 30% of the project total immediately after the receipt of an order. Prompt payment is required to order parts and cover other costs associated with project start-up.
5. Progress billings will be issued monthly and unless specified in a separate contract all payments are due net 30.
6. Nothing in this Proposal/Contract shall be construed to require us to continue performance of work if we do not receive timely payment for properly performed work and suitably stored materials.
7. We retain title to all equipment until installation is complete and all payments due Pro-Tec Design have been paid in full. We reserve the right to retake possession of the same or any part thereof at your cost if default is made by you in any payment. If customer fails to follow the payment schedule(s) above or if Pro-Tec Design anticipates Customer may be unable to perform hereunder, Pro-Tec Design may terminate this contract, defer, discontinue or suspend work, or demand adequate assurance of Customer's performance. If a Customer's account must be placed with an attorney for collection, whether a lawsuit is filed or otherwise, or if the services of an attorney are required to protect Pro-Tec Design's interest, Customer agrees to pay all collection costs, including reasonable attorney's fees.
8. Alterations or modifications of the original quotation or specifications, including changes in quantity, material, design or other features, must be communicated in writing by Customer to Pro-Tec Design and accepted by Pro-Tec Design in writing, it being understood any change may increase prices. Customer shall be liable for an reimburse Pro-Tec Design for any and all work in process at the time of Pro-Tec Design's receipt of notice of changes.
9. Tax Exempt Entities - you are appointing Pro-Tec Design as purchasing agent for materials becoming real property on this project: a) you take title to all materials and supplies at point of delivery b) you are responsible for the risk of loss on all materials and supplies c) you are responsible for all defective materials and supplies including those incorporated into real property d) these requirements apply to the prime contractor and every subcontractor who supplies both materials and labor.

## SITE CONDITIONS AND WORK PERFORMANCE

10. We are not responsible for protection of our work in place.
11. We will dispose of debris created by our work into Owner-furnished trash bins or container at the site.
12. You shall furnish and make available to us at the site reasonable storage and parking facilities, and convenient delivery access to our work.
13. You shall provide uncluttered and safe access for us to perform our work. The schedule of any other contractors involved in this project shall be made in consultation with us, and unless otherwise agreed to, shall provide time for us to perform our work on an 8-hour day, 40-hour week basis. This Proposal/Contract does not include provision for our being required to perform overtime work for any reasons unless otherwise stated. An additional charge to the contract shall be made for any mutually agreed upon overtime.
14. We are not responsible for delays or defaults that are occasioned by causes of any kind beyond our control, including but not limited to delays or defaults of Architects, the Owner, the Contractor, any Subcontractors, other third parties, civil disorders, labor disputes, and Acts of God. We shall be entitled to equitable adjustment for delays caused by any Architect, Engineer, Contractor, or Owner.
15. If any drawings, illustrations, or descriptive matter are furnished with this Proposal/Contract, they are approximate and submitted only to show the general style, arrangement, and dimensions of equipment offered.
16. All work will be done during standard business hours, Monday through Friday unless otherwise noted.

## WARRANTY

16. No liquidated damages will be due.
17. THERE ARE NO WARRANTIES THAT EXTEND BEYOND PRO-TEC DESIGN'S STATED SPECIFICATIONS. PRO-TEC SPECIFICALLY EXCLUDES ALL WARRANTIES, EXPRESS OR IMPLIED, INCLUDING ANY IMPLIED WARRANTY OF MERCHANTABILITY, IMPLIED WARRANTY OF FITNESS, IMPLIED WARRANTY OF DESIGN, AND ALL OTHER IMPLIED WARRANTIES. Customer's sole remedy in any action at law based hereunder (other than an action based on breach of warranty, which warranties are expressly excluded except as set forth herein) shall be limited to the repair or replacement of nonconforming goods or parts, or, at Pro-Tec Design's option, refund of the applicable quote. IN NO EVENT SHALL PRO-TEC DESIGN BE RESPONSIBLE FOR ANY CONSEQUENTIAL OR ECONOMIC DAMAGES OR LOSS, LOST PROFITS OR CONSEQUENTIAL DAMAGES FOR PERSONAL INJURY. CUSTOMER AGREES THAT THIS PROVISION IS CONSCIONABLE.
18. Pro-Tec Design will warranty the labor and materials covered under this quotation for one year from the date of first beneficial use of the system provided the Owner is current in their payments to Pro-Tec Design, Inc. Accounts that are not current shall not receive warranty work until said accounts are made current. Pro-Tec Design will respond during normal business hours Monday through Friday. Weekends, Holidays and after hours warranty support will be billable at standard overtime rates. Warranty does not include replacement or repair of equipment damaged by Misuse, Negligence, Over or Under Voltage, or "Acts of God" such as lightning or other weather related incidents. Warranty only covers the repair or replacement of any parts supplied by Pro-Tec and any labor and travel to and from the site to execute said repairs for one (1) year from the date the Owner has beneficial use of the system. No warranty is extended to not in contract (NIC) equipment. NIC equipment is defined as any equipment not supplied by Pro-Tec or existing equipment that is re-used. The troubleshooting, repair or replacement of NIC equipment will be provided by Pro-Tec at a time and materials basis.
19. Pro-Tec Design is not an insurer of Customer's risks and exposures, Pro-Tec shall not be liable for any failure to perform under this Agreement due to any "Act of God," "Force Majeure," of another cause beyond Pro-Tec Design's control. Pro-Tec Design shall not be liable for any loss or damage caused in whole or in part from negligence, fault, or wrongful act of Customer or of any third persons or parties. Services provided under this Agreement are for the sole benefit of the Customer and no rights are, or may be, conferred on any other party as a third-party beneficiary, by transfer or assignment, or otherwise. Pro-Tec Design's total liability is limited to the contract price; as matter of law, this limitation does not apply to fraud, willful injury, or willful violation of the law.

## OTHER

20. This Proposal/Contract, including the provisions printed above and any specifications or other provisions attached hereto, when accepted by you and Pro-Tec Design shall constitute the Contract between us, and all prior representations or agreements not incorporated herein are superseded. Any terms or conditions contained in any Customer proposal/contract/purchase order are expressly rejected and shall not bind Pro-Tec Design or affect or invalidate any terms contained herein. Terms and conditions herein shall not be modified except upon Pro-Tec Design's express written agreement.
21. This Proposal/Contract shall be interpreted and governed by the laws of the State of Minnesota. Any disputes arising out of business conducted hereunder shall be venued in the district court of the State of Minnesota. In case of dispute, the prevailing party shall be awarded reasonable attorney's fees.
22. The design and/or intent of the items listed in this system specification is considered intellectual property and owned by Pro-Tec Design and will not be disclosed to any party other than those intended by Pro-Tec Design. Disclosure of this design/intent will subject the discloser to Consultant Fees equivalent of the above listed design/build quotation.
23. Customer agrees that during the term of this contract and for two years following termination, they will not directly or indirectly solicit for hire nor contract for services any employee who performs services hereunder without Pro-Tec Design's written consent
24. This proposal and any documents associated with it supersede any prior verbal or written information provided.



ITEM:  
COUNCIL MEETING DATE:  
SECTION:

4.P.  
April 10, 2025  
Consent Agenda

**Description:**

Approve Change Order No. 10 for Project 2021-172, Police Garage

**Staff Contact:**

Charles Grawe, Assistant City Administrator

**Department / Division:**

Administration / Information Technologies

**ACTION REQUESTED:**

Approve Change Order No. 10 for Project 2021-172, Police Garage to various contractors in various amounts, and authorize the Mayor and City Clerk to sign contract documents.

**SUMMARY:**

Project 2021-172, Police Garage, is using construction management services. As a result, the bid specification created 37 separate bid/quote categories and 37 separate contracts. In addition, the City has a construction management contract with RJM.

Attached is a proposal for Change Order No. 10 to the project contracts. The change order covers two issues summarized below. These issues result in changes to three of the contracts. The resulting changes to each contract are line itemized on the attached summary sheet.

The total budget impact for the entire change is an addition of \$5,546.18. The changes to the individual contract sums prior to the approval of the change and after the approval of the change order are detailed on the attached summary sheet.

The project is under budget. Due to timing and scheduling, staff may grant prior approval of some of these items to keep the project moving on schedule. If prior staff approval is given, an explanation will be noted with the issue description.

**BACKGROUND:**

Item 1: Adjust tile layout in therapy areas of locker rooms. There were minor adjustments to the transition areas between floor tile and carpet in a portion of the locker room area. This credit is for the reduction in tile work.

Item 2: Update door hardware and frames for card readers. Several doors were scheduled for card readers in the security plan but had not been specified for the wiring and frame work for readers in the architectural plans. This change makes the architectural changes for the additional readers.

Due to coordination and timing issues involved in this work, staff granted authorization to proceed with the card reader door updates to keep the project on schedule.

**BUDGET IMPACT:**

The total budget impact for the entire change is an addition of \$5,546.18. See the attached

summary for the list of cost changes by issue and by contract.

**ATTACHMENTS:**

Change Order Document(s)

## Project 2021-172, Police Garage (Police Operations Building)

### Change Order Budget Impact Summary Sheet

Change Order Number: 10

Council Meeting Date: 10-Apr-25

### Costs by Construction Issue

Item(s)	Change	Amount	Summary	Prior Staff Approval?
1	Addition	\$ (686.88)	Adjust tile layout in therapy areas of locker rooms	no
2	Addition	\$ 6,233.06	Update door hardware and frames for card readers	yes
<b>Total Cost Changes</b>		<b>\$ 5,546.18</b>		

### Costs by Contract

Costs by Contract		Contract Change Information			CO#
		Previous Amount	Change	New Amount	
8B Doors, Frames, & Hardware Materials	Bredemus Hardware Co Inc.	\$ 114,615.00	\$ 6,036.00	\$ 120,651.00	4
9F Tiling	Lee's Ceramics Inc.	\$ 100,030.00	\$ (665.00)	\$ 99,365.00	3
Const. Man. Fee	RJM Construction	\$ 252,558.42	\$ 108.59	\$ 252,667.01	10
Const. Man. Reimbursables	RJM Construction	\$ 3,794.45	\$ 66.59	\$ 3,861.04	10
<b>Total Cost Changes</b>			<b>\$ 5,546.18</b>		



ITEM:  
COUNCIL MEETING DATE:  
SECTION:

4.Q.  
April 10, 2025  
Consent Agenda

<b>Description:</b>	
Approve Claims and Bills	
<b>Staff Contact:</b>	<b>Department / Division:</b>
Ron Hedberg, Finance Director	Finance Department

**ACTION REQUESTED:**

Approve claims and bills.

**SUMMARY:**

Attached for City Council review and approval are check registers for recent claims and bills.

**BACKGROUND:**

N/A

**BUDGET IMPACT:**

Check registers dated March 19, 2025, and March 26, 2025, in the amounts of \$1,694,277.22, and \$1,659,052.28, respectively.

**ATTACHMENTS:**

Claims and Bills

Claims and Bills



1/27/2025 -- 3/21/2025

Check #	Date	Amount	Supplier / Explanation	PO #	Doc No	Inv No	Account No	Subledger	Account Description	Business Unit
<b>34026</b>	<b>3/17/2025</b>		<b>162548 MANSFIELD SERVICE PARTNERS</b>							
		20,115.77	NO LEAD FUEL (8000 GALS)		485364	IN00161524	1000.1520		INVENTORY-UNLEADED FUEL	GENERAL FUND BALANCE SHEET
		18,655.26	DIESEL FUEL (7505 GALS)		485365	IN00163488	1000.1525		INVENTORY-DIESEL FUEL	GENERAL FUND BALANCE SHEET
		<u>38,771.03</u>								
<b>34027</b>	<b>3/21/2025</b>		<b>145130 1 CLEAN CONSCIENCE</b>							
		1,050.00	ED BLDG CLEANING SVC FEB		485446	2FEB25	2092.6240		CLEANING SERVICE/GARBAGE	EDUCATION BUILDING FUND
		<u>1,050.00</u>								
<b>34028</b>	<b>3/21/2025</b>		<b>100101 ACE HARDWARE</b>							
		2.07-	DISCOUNT		485729	350130100143	1330.6333		GENERAL-CASH DISCOUNTS	FIRE OPERATIONS
		20.76	CLEANING SUPPLIES		485729	350130100143	1330.6229		GENERAL SUPPLIES	FIRE OPERATIONS
		3.59-	DISCOUNT		485728	350130100147	1330.6333		GENERAL-CASH DISCOUNTS	FIRE OPERATIONS
		8.99	BLEACH		485728	350130100147	1330.6229		GENERAL SUPPLIES	FIRE OPERATIONS
		26.97	TRUFUEL (3)		485728	350130100147	1330.6212		MOTOR FUELS/OILS	FIRE OPERATIONS
		2.89-	DISCOUNT		485730	350130100160	1330.6333		GENERAL-CASH DISCOUNTS	FIRE OPERATIONS
		28.98	UTIL. BLADE		485730	350130100160	1330.6211		SMALL TOOLS & EQUIPMENT	FIRE OPERATIONS
		12.99-	DISCOUNT		485526	350132100161	5270.6333		GENERAL-CASH DISCOUNTS	ARENA 2 EQUIPMENT MAINT-HAYES
		129.99	CHARGER FOR OLYMPIA		485526	350132100161	5270.6215		EQUIPMENT-PARTS	ARENA 2 EQUIPMENT MAINT-HAYES
		1.09-	DISCOUNT		485525	350134100152	1900.6333		GENERAL-CASH DISCOUNTS	AV COMMUNITY CENTER
		39.89	AVCC GOO GONE, NUT & BOLTS ETC		485525	350134100152	1900.6229		GENERAL SUPPLIES	AV COMMUNITY CENTER
		.99-	DISCOUNT		485727	350134100169	1920.6333		GENERAL-CASH DISCOUNTS	SENIOR CENTER
		9.99	SEALANT FOR TOILET PIPE		485727	350134100169	1920.6215		EQUIPMENT-PARTS	SENIOR CENTER
		1.15-	DISCOUNT		485527	350135100162	1210.6333		GENERAL-CASH DISCOUNTS	POLICE FIELD OPERATIONS/PATROL
		115.49	CLEANING SUPPLIES		485527	350135100162	1210.6229		GENERAL SUPPLIES	POLICE FIELD OPERATIONS/PATROL
		4.99-	DISCOUNT		485726	350139100131	1610.6333		GENERAL-CASH DISCOUNTS	STREET/BOULEVARD REPAIR & MNTC
		49.99	SLEDGE HAMMER		485726	350139100131	1610.6211		SMALL TOOLS & EQUIPMENT	STREET/BOULEVARD REPAIR & MNTC
		<u>401.29</u>								
<b>34029</b>	<b>3/21/2025</b>		<b>100389 ALPHAGRAPHICS</b>							
		227.00	INSTORE ADS POSTER FOR TASTING		485469	134267	5005.6239		PRINTING	LIQUOR GENERAL OPERATIONS
		<u>227.00</u>								
<b>34030</b>	<b>3/21/2025</b>		<b>144685 AM CRAFT SPIRITS INC</b>							
		75.20	TAX#1	00051504	485539	20400	5015.6540		TAXABLE MISC FOR RESALE	LIQUOR #1 STOCK PURCHASES
		36.40	NTAX#1	00051504	485540	20400	5015.6545		NON-TAXABLE MISC FOR RESALE	LIQUOR #1 STOCK PURCHASES
		3.00	FREIGHT#1	00051504	485541	20400	5015.6550		FREIGHT ON RESALE MDSE	LIQUOR #1 STOCK PURCHASES
		<u>114.60</u>								
<b>34031</b>	<b>3/21/2025</b>		<b>153995 AMAZON CAPITAL SERVICES</b>							
		628.67	RANGE SUPPLIES- GUN CLEANING		485431	146QQYVVRWCN	1200.6215		EQUIPMENT-PARTS	POLICE MANAGEMENT

Council Check Register by GL  
Council Check Register by Invoice & Summary

1/27/2025 -- 3/21/2025

Check #	Date	Amount	Supplier / Explanation	PO #	Doc No	Inv No	Account No	Subledger	Account Description	Business Unit
<b>34031</b>	<b>3/21/2025</b>		<b>153995 AMAZON CAPITAL SERVICES</b>						<b>Continued...</b>	
		79.98	SHOP SUPPLIES CMF		485354	161V47499VDK	1540.6229		GENERAL SUPPLIES	CMF BUILDINGS & GROUNDS MNTC
		35.59	WHITE BOARD MARKERS/MAGNETS		485501	16MVXWKC9KF9	1920.6210		OFFICE SUPPLIES	SENIOR CENTER
		65.20	OFFICE WHITE BOARD		485502	199PFJP667JR	1920.6210		OFFICE SUPPLIES	SENIOR CENTER
		13.98	CHARGING CORD FOR IPAD-TYLER		485397	1DMPMQNP4G4C	1510.6229		GENERAL SUPPLIES	PW ENGINEERING & TECHNICAL
		38.31	CABLE PROTECTOR		485408	1DMPMQNPGWYG	1030.6211		SMALL TOOLS & EQUIPMENT	INFORMATION TECHNOLOGY
		71.63	GREASE GUN PARTS		485499	1JCTW13RHVDG	1920.6215		EQUIPMENT-PARTS	SENIOR CENTER
		352.02	BATHROOM FIXTURES		485357	1LVVQY6M9NMH	1730.6229		GENERAL SUPPLIES	PARK BUILDING MAINTENANCE
		46.92	SIGNAGE FOR SHOP CMF		485355	1MN74W7R4VKT	1540.6229		GENERAL SUPPLIES	CMF BUILDINGS & GROUNDS MNTC
		5.99	STAFF ID HOLDERS		485500	1R334L1F7VCH	1920.6210		OFFICE SUPPLIES	SENIOR CENTER
		457.12	BULK CAT6 CABLE		485522	1RT6DPVNHNDW	1030.6211		SMALL TOOLS & EQUIPMENT	INFORMATION TECHNOLOGY
		516.46	BATHROOM FIXTURES (14)		485464	1TYRLY4M9KLN	1730.6229		GENERAL SUPPLIES	PARK BUILDING MAINTENANCE
		2,311.87								
<b>34032</b>	<b>3/21/2025</b>		<b>137136 APPLE AWARDS INC</b>							
		123.88	J HOLLE RETIREMENT		485363	77033	1025.6399		OTHER CHARGES	EMPLOYEE RECOGNITION PARTY
		123.88								
<b>34033</b>	<b>3/21/2025</b>		<b>100058 BELLBOY CORPORATION</b>							
		30.00	TAX#1	00004928	485544	109537400	5015.6540		TAXABLE MISC FOR RESALE	LIQUOR #1 STOCK PURCHASES
		8.00	TAX#1	00004928	485545	109560300	5015.6540		TAXABLE MISC FOR RESALE	LIQUOR #1 STOCK PURCHASES
		24.00	NTAX#1	00004928	485546	109560300	5015.6545		NON-TAXABLE MISC FOR RESALE	LIQUOR #1 STOCK PURCHASES
		150.70	TAX#3	00004928	485557	109560400	5085.6540		TAXABLE MISC FOR RESALE	LIQUOR #3 STOCK PURCHASES
		234.00	LIQ#3	00004928	485558	109584700	5085.6510		LIQUOR	LIQUOR #3 STOCK PURCHASES
		71.15	NTAX#3	00004928	485559	109584700	5085.6545		NON-TAXABLE MISC FOR RESALE	LIQUOR #3 STOCK PURCHASES
		448.49	LIQ#1	00004928	485542	206902000	5015.6510		LIQUOR	LIQUOR #1 STOCK PURCHASES
		10.00	FREIGHT#1	00004928	485543	206902000	5015.6550		FREIGHT ON RESALE MDSE	LIQUOR #1 STOCK PURCHASES
		157.95	LIQ#2	00004928	485549	206902300	5055.6510		LIQUOR	LIQUOR #2 STOCK PURCHASES
		4.00	FREIGHT#2	00004928	485550	206902300	5055.6550		FREIGHT ON RESALE MDSE	LIQUOR #2 STOCK PURCHASES
		594.54	THC#2	00004928	485551	206980100	5055.6515		THC/CBD	LIQUOR #2 STOCK PURCHASES
		88.00	WINE#2	00004928	485552	206980100	5055.6520		WINE	LIQUOR #2 STOCK PURCHASES
		18.00	FREIGHT#2	00004928	485553	206980100	5055.6550		FREIGHT ON RESALE MDSE	LIQUOR #2 STOCK PURCHASES
		361.50	LIQ#1	00004928	485547	206984800	5015.6510		LIQUOR	LIQUOR #1 STOCK PURCHASES
		8.00	FREIGHT#1	00004928	485548	206984800	5015.6550		FREIGHT ON RESALE MDSE	LIQUOR #1 STOCK PURCHASES
		350.00	LIQ#3	00004928	485554	206985100	5085.6510		LIQUOR	LIQUOR #3 STOCK PURCHASES
		785.43	THC#3	00004928	485555	206985100	5085.6515		THC/CBD	LIQUOR #3 STOCK PURCHASES
		24.00	FREIGHT#3	00004928	485556	206985100	5085.6550		FREIGHT ON RESALE MDSE	LIQUOR #3 STOCK PURCHASES
		459.95	LIQ#3	00004928	485560	207064100	5085.6510		LIQUOR	LIQUOR #3 STOCK PURCHASES
		6.00	FREIGHT#3	00004928	485561	207064100	5085.6550		FREIGHT ON RESALE MDSE	LIQUOR #3 STOCK PURCHASES
		3,833.71								

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34034	3/21/2025		<b>121092 BOURGET IMPORTS</b>						<b>Continued...</b>	
		264.00	WINE#3	00045600	485566	215057	5085.6520		WINE	LIQUOR #3 STOCK PURCHASES
		6.00	FREIGHT#3	00045600	485567	215057	5085.6550		FREIGHT ON RESALE MDSE	LIQUOR #3 STOCK PURCHASES
		1,480.00	WINE#3	00045600	485568	215567	5085.6520		WINE	LIQUOR #3 STOCK PURCHASES
		20.00	FREIGHT#3	00045600	485569	215567	5085.6550		FREIGHT ON RESALE MDSE	LIQUOR #3 STOCK PURCHASES
		344.00	WINE#2	00045600	485564	215571	5055.6520		WINE	LIQUOR #2 STOCK PURCHASES
		6.00	FREIGHT#2	00045600	485565	215571	5055.6550		FREIGHT ON RESALE MDSE	LIQUOR #2 STOCK PURCHASES
		304.00	WINE#1	00045600	485562	215573	5015.6520		WINE	LIQUOR #1 STOCK PURCHASES
		6.00	FREIGHT#1	00045600	485563	215573	5015.6550		FREIGHT ON RESALE MDSE	LIQUOR #1 STOCK PURCHASES
		2,430.00								
34035	3/21/2025		<b>121014 BUCKEYE CLEANING CENTER</b>							
		780.10	PRODUCT RETURNED.		472731	90599928	1900.6229		GENERAL SUPPLIES	AV COMMUNITY CENTER
		388.14	CLEANING SUPPLIES		480258	90634156	5210.6229		GENERAL SUPPLIES	ARENA 1 BUILDING MAINTENANCE
		116.18	CLEANING CONCENTRATE.		483192	90646803	1900.6229		GENERAL SUPPLIES	AV COMMUNITY CENTER
		386.30	CLEANING SUPPLIES		485463	90653334	5265.6229		GENERAL SUPPLIES	ARENA 2 BLDG MAINTENANCE-HAYES
		386.30	CLEANING SUPPLIES		485463	90653334	5210.6229		GENERAL SUPPLIES	ARENA 1 BUILDING MAINTENANCE
		496.82								
34036	3/21/2025		<b>128535 CARTEGRAPH SYSTEMS INC</b>							
		5,140.35	CARTEGRAPH ANNUAL FEE- SIGNS		485434	INV18359	1680.6308		SOFTWARE SUBSCRIPTIONS	TRAFFIC SIGNS/SIGNALS/MARKERS
		5,258.34	CARTEGRAPH ANNUAL FEE- NAT RES		485434	INV18359	1520.6308		SOFTWARE SUBSCRIPTIONS	NATURAL RESOURCES
		6,412.61	CARTEGRAPH ANNUAL FEE- STREETS		485434	INV18359	1600.6308		SOFTWARE SUBSCRIPTIONS	STREET MANAGEMENT
		8,762.19	CARTEGRAPH ANNUAL FEE- ENG		485434	INV18359	1510.6308		SOFTWARE SUBSCRIPTIONS	PW ENGINEERING & TECHNICAL
		9,028.95	CARTEGRAPH ANNUAL FEE- WATER		485434	INV18359	5305.6308		SOFTWARE SUBSCRIPTIONS	WATER MGMT/REPORT/DATA ENTRY
		9,136.69	CARTEGRAPH ANNUAL FEE-SANITARY		485434	INV18359	5365.6308		SOFTWARE SUBSCRIPTIONS	SEWER MGMT/REPORTS/DATA ENTRY
		9,008.43	CARTEGRAPH ANNUAL FEE-STORM		485434	INV18359	5505.6308		SOFTWARE SUBSCRIPTIONS	STORM DRAIN MNTC/RPR/SUMPS
		8,982.78	CARTEGRAPH ANNUAL FEE-CEMETERY		485434	INV18359	5605.6308		SOFTWARE SUBSCRIPTIONS	CEMETERY
		8,762.19	CARTEGRAPH ANNUAL FEE- STR LTG		485434	INV18359	5805.6308		SOFTWARE SUBSCRIPTIONS	STREET LIGHT UTILITY FUND
		70,492.53								
34037	3/21/2025		<b>101562 CDW GOVERNMENT INC</b>							
		1,845.96	LAPTOP COMPUTER (1)		485523	AC9174C	1030.6725		CAPITAL OUTLAY-OFFICE EQUIP	INFORMATION TECHNOLOGY
		1,845.96								
34038	3/21/2025		<b>100102 COLLEGE CITY BEVERAGE</b>							
		488.90	CC BEER		485444	1115901	2270.6419		GOLF-BEER	GOLF FOOD & BEVERAGE
		488.90								
34039	3/21/2025		<b>100128 DAKOTA ELECTRIC ASSOCIATION</b>							
		2,076.26	SIREN REPAIR		485454	200002442135JUL	1290.6249		OTHER CONTRACTUAL SERVICES	CIVIL DEFENSE MANAGEMENT

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34039	3/21/2025		100128 DAKOTA ELECTRIC ASSOCIATION						Continued...	
						24				
		54.01	FOUNDERS/GALAXIE SIGNAL FEB		485506	200003777430FEB	5805.6545		NON-TAXABLE MISC FOR RESALE	STREET LIGHT UTILITY FUND
						25				
		38.07	GALAXIE/FOUNDER LN SPRKLR FEB		485505	200003919925FEB	1610.6255		UTILITIES-ELECTRIC	STREET/BOULEVARD REPAIR & MNTC
						25				
		380.18	15281 FOUNDERS BLVD LIGHTS FEB		485507	200004198750FEB	5805.6545		NON-TAXABLE MISC FOR RESALE	STREET LIGHT UTILITY FUND
						25				
		72.00	LIFT STN STRM SWR GALAXIE FEB		485508	200004229209FEB	5505.6255		UTILITIES-ELECTRIC	STORM DRAIN MNTC/RPR/SUMPS
						25				
		2,620.52								
34040	3/21/2025		154565 DAKOTA SUPPLY GROUP							
		426.00	HYDRANT OIL		485427	S104460963001	5330.6229		GENERAL SUPPLIES	WTR MAIN/HYDRANT/CURB STOP MNT
		426.00								
34041	3/21/2025		117768 DRAIN PRO PLUMBING							
		4,778.37	LOWER LEVEL DRAIN REPAIR - MC		485456	77675	1060.6266		REPAIRS-BUILDING	MUNICIPAL BLDG & GROUNDS MNTC
		4,778.37								
34042	3/21/2025		101365 ECM PUBLISHERS INC							
		69.30	LEGAL AD - ORDINANCE 1141		485531	1038933	1015.6239		PRINTING	CITY CLERK/ELECTIONS
		49.50	LEGAL AD - ORDINANCE 1142		485530	1038934	1015.6239		PRINTING	CITY CLERK/ELECTIONS
		118.80								
34043	3/21/2025		100176 FLEXIBLE PIPE TOOL COMPANY							
		443.05	NOZZLE- JETTER TRAILER		485429	31068	5375.6211		SMALL TOOLS & EQUIPMENT	SEWER MAINTENANCE AND REPAIR
		443.05								
34044	3/21/2025		100209 GOPHER STATE ONE-CALL							
		117.45	GOPHER STATE ONE CALL		485374	5020186	5335.6399		OTHER CHARGES	WATER FINAL/SERVICE ON OFF/LOC
		2.70	GOPHER STATE ONE CALL		485377	5020187	5805.6237		TELEPHONE/PAGERS	STREET LIGHT UTILITY FUND
		120.15								
34045	3/21/2025		136639 IMPACT PROVEN SOLUTIONS							
		762.39	UB PRINT/MAIL BILLS FEB		485447	215998	5365.6249		OTHER CONTRACTUAL SERVICES	SEWER MGMT/REPORTS/DATA ENTRY
		762.40	UB PRINT/MAIL BILLS FEB		485447	215998	5305.6249		OTHER CONTRACTUAL SERVICES	WATER MGMT/REPORT/DATA ENTRY
		1,472.49	UB POSTAGE FEB		485447	215998	5305.6238		POSTAGE/UPS/FEDEX	WATER MGMT/REPORT/DATA ENTRY
		1,472.50	UB POSTAGE FEB		485447	215998	5365.6238		POSTAGE/UPS/FEDEX	SEWER MGMT/REPORTS/DATA ENTRY
		4,469.78								

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<b>34046</b>	<b>3/21/2025</b>		<b>100279 LAW ENFORCEMENT LABOR SERVICES</b>						<b>Continued...</b>	
		730.00	SERGEANT (#243) UNION DUES		485302	31225913593	9000.2120		ACCRUED BENEFIT LIABILITY	PAYROLL CLEARING BAL SHEET
		3,139.00	POLICE (#71) UNION DUES		485302	31225913593	9000.2120		ACCRUED BENEFIT LIABILITY	PAYROLL CLEARING BAL SHEET
		<u>3,869.00</u>								
<b>34047</b>	<b>3/21/2025</b>		<b>154223 LIGHTNING DISPOSAL, INC.</b>							
		321.80	CONSTRUCTION DUMPSTER		485465	732415	1720.6240		CLEANING SERVICE/GARBAGE REMOV	PARK GROUNDS MAINTENANCE
		321.80	CONSTRUCTION DUMPSTER		485465	732415	1600.6240		CLEANING SERVICE/GARBAGE REMOV	STREET MANAGEMENT
		1,272.70	SEWER DUMPSTER		485465	732415	5375.6240		CLEANING SERVICE/GARBAGE REMOV	SEWER MAINTENANCE AND REPAIR
		<u>1,916.30</u>								
<b>34048</b>	<b>3/21/2025</b>		<b>100293 MACQUEEN EQUIPMENT</b>							
		2,044.49	MSA ALTAIR 4-GAS MONITOR (2)		485419	P44640	1330.6215		EQUIPMENT-PARTS	FIRE OPERATIONS
		249.96	SWEEPER PARTS		485381	P62998	5505.6215		EQUIPMENT-PARTS	STORM DRAIN MNTC/RPR/SUMPS
		1,575.31	SWEEPER PARTS		485458	P63071	5505.6215		EQUIPMENT-PARTS	STORM DRAIN MNTC/RPR/SUMPS
		4,377.56	SWEEPER PARTS		485460	P63073	5505.6215		EQUIPMENT-PARTS	STORM DRAIN MNTC/RPR/SUMPS
		<u>8,247.32</u>								
<b>34049</b>	<b>3/21/2025</b>		<b>151844 MAVERICK WINE LLC</b>							
		487.92	WINE#3	00052289	485640	1537925	5085.6520		WINE	LIQUOR #3 STOCK PURCHASES
		4.50	FREIGHT#3	00052289	485641	1537925	5085.6550		FREIGHT ON RESALE MDSE	LIQUOR #3 STOCK PURCHASES
		128.04	WINE#3	00052289	485642	1537943	5085.6520		WINE	LIQUOR #3 STOCK PURCHASES
		1.50	FREIGHT#3	00052289	485643	1537943	5085.6550		FREIGHT ON RESALE MDSE	LIQUOR #3 STOCK PURCHASES
		448.00	LIQ#1	00052289	485637	1537946	5015.6510		LIQUOR	LIQUOR #1 STOCK PURCHASES
		178.64	WINE#1	00052289	485638	1537946	5015.6520		WINE	LIQUOR #1 STOCK PURCHASES
		4.50	FREIGHT#1	00052289	485639	1537946	5015.6550		FREIGHT ON RESALE MDSE	LIQUOR #1 STOCK PURCHASES
		<u>1,253.10</u>								
<b>34050</b>	<b>3/21/2025</b>		<b>100302 MCNAMARA CONTRACTING INC</b>							
		4,126.98	2024 STREET IMP. 2024105 FINAL		485466	20250106	2027.6810	2024105R	CONSTRUCTION IN PROGRESS	ROAD ESCROW
		6,071.86	2024 STREET IMP. 2024105 FINAL		485466	20250106	2027.6810	2024105R	CONSTRUCTION IN PROGRESS	ROAD ESCROW
		8,469.32	2024 STREET IMP. 2024105 FINAL		485466	20250106	2027.6810	2024105W	CONSTRUCTION IN PROGRESS	ROAD ESCROW
		9,354.80	2024 STREET IMP. 2024105 FINAL		485466	20250106	2027.6810	2024105R	CONSTRUCTION IN PROGRESS	ROAD ESCROW
		27,028.31	2024 STREET IMP. 2024105 FINAL		485466	20250106	2027.6810	2024105R	CONSTRUCTION IN PROGRESS	ROAD ESCROW
		32,870.00	2024 STREET IMP. 2024105 FINAL		485466	20250106	2027.6810	2024105R	CONSTRUCTION IN PROGRESS	ROAD ESCROW
		33,555.91	2024 STREET IMP. 2024105 FINAL		485466	20250106	2027.6810	2024105R	CONSTRUCTION IN PROGRESS	ROAD ESCROW
		35,728.89	2024 STREET IMP. 2024105 FINAL		485466	20250106	2027.6810	2024105R	CONSTRUCTION IN PROGRESS	ROAD ESCROW
		37,285.08	2024 STREET IMP. 2024105 FINAL		485466	20250106	2027.6810	2024105R	CONSTRUCTION IN PROGRESS	ROAD ESCROW
		101,384.75	2024 STREET IMP. 2024105 FINAL		485466	20250106	2027.6810	2024105R	CONSTRUCTION IN PROGRESS	ROAD ESCROW
		<u>295,875.90</u>								

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34051	3/21/2025		<b>119049 MED COMPASS</b>						<b>Continued...</b>	
		29.25	HEARING TEST		485373	47023A	5305.6249		OTHER CONTRACTUAL SERVICES	WATER MGMT/REPORT/DATA ENTRY
		29.25	HEARING TEST - MATT R		485376	47023C	1600.6235		CONSULTANT SERVICES	STREET MANAGEMENT
		52.75	HEARING TEST MAX KRANZ		485498	47092	1920.6249		OTHER CONTRACTUAL SERVICES	SENIOR CENTER
		111.25								
34052	3/21/2025		<b>156194 METRO ALARM &amp; LOCK</b>							
		259.50	FIRE INSPECT & MONITORING		485468	56330	5095.6249		OTHER CONTRACTUAL SERVICES	LIQUOR #3 OPERATIONS
		259.50								
34053	3/21/2025		<b>100311 METRO COUNCIL ENVIRONMENTAL SV</b>							
		74.55-	RETAINED % FEBRUARY		485448	20250228	5301.4999		MISC UTILITY REVENUE	WATER & SEWER FUND REVENUE
		7,455.00	SAC COLLECTION FEBRUARY		485448	20250228	5301.4922		SAC COLLECTIONS	WATER & SEWER FUND REVENUE
		7,380.45								
34054	3/21/2025		<b>100340 MN TRUCKING ASSOCIATION</b>							
		508.50	DOT INSPECTION BOOKS		485459	77202A	1600.6239		PRINTING	STREET MANAGEMENT
		508.50								
34055	3/21/2025		<b>100348 MTI DISTRIBUTING CO</b>							
		580.63	MOWER PARTS		485441	146341800	2240.6215		EQUIPMENT-PARTS	GOLF EQUIPMENT MAINTENANCE
		580.63								
34056	3/21/2025		<b>154297 NITTI SANITATION</b>							
		691.87	CH TRASH MAR		485514	30182001MAR25	1060.6240		CLEANING SERVICE/GARBAGE REMOV	MUNICIPAL BLDG & GROUNDS MNTC
		640.50	CMF ORGANICS BIN		485698	30182002MAR25	1540.6240	2023171G	CLEANING SERVICE/GARBAGE REMOV	CMF BUILDINGS & GROUNDS MNTC
		1,628.13	CMF TRASH MAR		485698	30182002MAR25	1540.6240		CLEANING SERVICE/GARBAGE REMOV	CMF BUILDINGS & GROUNDS MNTC
		223.08	FIRE STA 1 TRASH MAR		485515	30182003MAR25	1340.6240		CLEANING SERVICE/GARBAGE REMOV	FIRE BLDG & GROUNDS MNTC
		59.14	FIRE STA 2 TRASH MAR		485516	30182004MAR25	1340.6240		CLEANING SERVICE/GARBAGE REMOV	FIRE BLDG & GROUNDS MNTC
		61.32	FIRE STA 3 TRASH MAR		485517	30182005MAR25	1340.6240		CLEANING SERVICE/GARBAGE REMOV	FIRE BLDG & GROUNDS MNTC
		294.82	LIQ 1 TRASH MAR		485518	30182006MAR25	5025.6240		CLEANING SERVICE/GARBAGE REMOV	LIQUOR #1 OPERATIONS
		129.96	LIQ 2 TRASH MAR		485519	30182007MAR25	5065.6240		CLEANING SERVICE/GARBAGE REMOV	LIQUOR #2 OPERATIONS
		61.32	LIQ 3 TRASH MAR		485700	30182008MAR25	5095.6240		CLEANING SERVICE/GARBAGE REMOV	LIQUOR #3 OPERATIONS
		95.00	LIQ 3 RECYCLE FEB		485699	30182008RECYCLE FEB25	5095.6240		CLEANING SERVICE/GARBAGE REMOV	LIQUOR #3 OPERATIONS
		221.13	OLD CH TRASH MAR		485520	30182009MAR25	2092.6240		CLEANING SERVICE/GARBAGE	EDUCATION BUILDING FUND
		316.33	HCSC TRASH MAR		485701	30182010MAR25	1920.6240		CLEANING SERVICE/GARBAGE REMOV	SENIOR CENTER
		469.38	AVCC TRASH MAR		485701	30182010MAR25	1900.6240		CLEANING SERVICE/GARBAGE REMOV	AV COMMUNITY CENTER
		234.69	IA2 TRASH MAR		485701	30182010MAR25	5265.6240		CLEANING SERVICE/GARBAGE REMOV	ARENA 2 BLDG MAINTENANCE-HAYES
		22.16	JCR PK TRASH MAR		485521	30182014MAR25	1730.6240		CLEANING SERVICE/GARBAGE REMOV	PARK BUILDING MAINTENANCE
		1,066.24	GOLF TRASH MAR		485532	30182017MAR25	2230.6240		CLEANING SERVICE/GARBAGE REMOV	GOLF SHOP BUILDING MAINTENANCE



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34056	3/21/2025		154297 NITTI SANITATION						Continued...	
		6,215.07								
34057	3/21/2025		111219 NORTHERN SAFETY TECHNOLOGY INC							
		7,139.91	SQUAD 911 BUILD		485436	59046	7402.6730		CAPITAL OUTLAY-TRANSPORTATION	VERF-POLICE
		667.80	DTF CAR FRONT LIGHTS		485461	59061	1215.6265		REPAIRS-EQUIPMENT	POLICE DETECTIVE UNIT
		7,807.71								
34058	3/21/2025		100372 PAUSTIS & SONS							
		1,038.00	WINE#3	00001291	485650	259608	5085.6520		WINE	LIQUOR #3 STOCK PURCHASES
		13.50	FREIGHT#3	00001291	485651	259608	5085.6550		FREIGHT ON RESALE MDSE	LIQUOR #3 STOCK PURCHASES
		216.00	WINE#2	00001291	485648	260180	5055.6520		WINE	LIQUOR #2 STOCK PURCHASES
		7.50	FREIGHT#2	00001291	485649	260180	5055.6550		FREIGHT ON RESALE MDSE	LIQUOR #2 STOCK PURCHASES
		581.00	WINE#3	00001291	485652	260185	5085.6520		WINE	LIQUOR #3 STOCK PURCHASES
		15.00	FREIGHT#3	00001291	485653	260185	5085.6550		FREIGHT ON RESALE MDSE	LIQUOR #3 STOCK PURCHASES
		1,871.00								
34059	3/21/2025		141723 PRECISE MRM LLC							
		609.00	PLOW TRUCK GPS (29)		485421	IN2002003767	1665.6249		OTHER CONTRACTUAL SERVICES	STREET SNOW & ICE MATERIALS
		609.00								
34060	3/21/2025		150718 PRO-TEC DESIGN, INC							
		1,006.50	MLESTONE CAMERA SERVICE CALL		485439	118009	1030.6265		REPAIRS-EQUIPMENT	INFORMATION TECHNOLOGY
		8,000.00	POLICE OP BLDG SECURITY CAMERA		485433	118093	4432.6740	2021172G	CAPITAL OUTLAY-MACH/EQUIP/OTHE	2024A CAPITAL PROJECTS CIP EXP
		2,030.00	REPLACED OUTSIDE CAMERA		485453	118102	5325.6211		SMALL TOOLS & EQUIPMENT	WATER TREATMENT FCLTY MNTC/RPR
		2,030.00	REPLACED OUTSIDE CAMERA		485453	118102	5390.6211		SMALL TOOLS & EQUIPMENT	SWR EQUIP/VEHICLE MISC MNTC/RP
		13,066.50								
34061	3/21/2025		100439 SKB ENVIRONMENTAL							
		343.00	STREET SWEEPING TESTING		485375	103023C063	5505.6240		CLEANING SERVICE/GARBAGE REMOVSTORM DRAIN MNTC/RPR/SUMPS	
		343.00								
34062	3/21/2025		144495 SMALL LOT MN							
		953.38	LIQ#3	00051469	485656	89808	5085.6510		LIQUOR	LIQUOR #3 STOCK PURCHASES
		492.00	THC#3	00051469	485657	89808	5085.6515		THC/CBD	LIQUOR #3 STOCK PURCHASES
		480.00	WINE#3	00051469	485658	89808	5085.6520		WINE	LIQUOR #3 STOCK PURCHASES
		96.00	WINE#2	00051469	485654	90182	5055.6520		WINE	LIQUOR #2 STOCK PURCHASES
		5.00	FREIGHT#2	00051469	485655	90182	5055.6550		FREIGHT ON RESALE MDSE	LIQUOR #2 STOCK PURCHASES
		623.04	WINE#3	00051469	485659	90636	5085.6520		WINE	LIQUOR #3 STOCK PURCHASES
		2,649.42								

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34063	3/21/2025		<b>120666 SYMBOL ARTS</b>						<b>Continued...</b>	
		2,318.50	NEW & REPLACEMENT BADGES		485413	520418	1200.6281		UNIFORM/CLOTHING ALLOWANCE	POLICE MANAGEMENT
		2,318.50								
34064	3/21/2025		<b>147460 TRADITION WINE &amp; SPIRITS</b>							
		952.00	WINE#1	00051881	485660	42495	5015.6520		WINE	LIQUOR #1 STOCK PURCHASES
		18.00	FREIGHT#1	00051881	485661	42495	5015.6550		FREIGHT ON RESALE MDSE	LIQUOR #1 STOCK PURCHASES
		970.00								
34065	3/21/2025		<b>137344 TRAFERA LLC</b>							
		1,746.00	SERVER HARD DRIVES (6)		485410	1001253730	1200.6265		REPAIRS-EQUIPMENT	POLICE MANAGEMENT
		1,746.00								
34066	3/21/2025		<b>100486 TWIN CITY GARAGE DOOR CO</b>							
		211.62	GARAGE DOOR REPAIR - CMF		485378	400271464	1530.6266		REPAIRS-BUILDING	FLEET & BUILDINGS-CMF
		593.00	GARAGE DOOR REPAIR - CMF		485457	414636114	1530.6266		REPAIRS-BUILDING	FLEET & BUILDINGS-CMF
		804.62								
34067	3/21/2025		<b>155941 UTILITY CONSULTANTS INC</b>							
		1,485.60	WATER SYSTEM TESTING		485452	123203	5325.6249		OTHER CONTRACTUAL SERVICES	WATER TREATMENT FCLTY MNTC/RPR
		1,485.60								
34068	3/21/2025		<b>158483 VINCO INC</b>							
		120,740.93	FS 2 CONSTRUCTION CONTRACT FP		485415	20241130	4432.6810	2021170G	CONSTRUCTION IN PROGRESS	2024A CAPITAL PROJECTS CIP EXP
		120,740.93								
34069	3/21/2025		<b>122010 VINOCOPIA</b>							
		176.00	WINE#2	00046257	485666	369456	5055.6520		WINE	LIQUOR #2 STOCK PURCHASES
		2.50	FREIGHT#2	00046257	485667	369456	5055.6550		FREIGHT ON RESALE MDSE	LIQUOR #2 STOCK PURCHASES
		832.00	WINE#1	00046257	485663	369457	5015.6520		WINE	LIQUOR #1 STOCK PURCHASES
		120.00	TAX#1	00046257	485664	369457	5015.6540		TAXABLE MISC FOR RESALE	LIQUOR #1 STOCK PURCHASES
		19.50	FREIGHT#1	00046257	485665	369457	5015.6550		FREIGHT ON RESALE MDSE	LIQUOR #1 STOCK PURCHASES
		192.00	LIQ#3	00046257	485668	369460	5085.6510		LIQUOR	LIQUOR #3 STOCK PURCHASES
		96.00	WINE#3	00046257	485669	369460	5085.6520		WINE	LIQUOR #3 STOCK PURCHASES
		7.50	FREIGHT#3	00046257	485670	369460	5085.6550		FREIGHT ON RESALE MDSE	LIQUOR #3 STOCK PURCHASES
		1,445.50								
34070	3/21/2025		<b>126509 WATER CONSERVATION SERVICE</b>							
		768.00	LEAK DETECTION WM BREAKS		485412	14805	5330.6249		OTHER CONTRACTUAL SERVICES	WTR MAIN/HYDRANT/CURB STOP MNT
		768.00								

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34071	3/21/2025		100520 WINE COMPANY, THE						Continued...	
		164.00	WINE#2	00015926	485677	294109	5055.6520		WINE	LIQUOR #2 STOCK PURCHASES
		10.00	FREIGHT#2	00015926	485678	294109	5055.6550		FREIGHT ON RESALE MDSE	LIQUOR #2 STOCK PURCHASES
		348.00	WINE#3	00015926	485679	294110	5085.6520		WINE	LIQUOR #3 STOCK PURCHASES
		10.00	FREIGHT#3	00015926	485680	294110	5085.6550		FREIGHT ON RESALE MDSE	LIQUOR #3 STOCK PURCHASES
		560.00	WINE#3	00015926	485681	294638	5085.6520		WINE	LIQUOR #3 STOCK PURCHASES
		10.00	FREIGHT#3	00015926	485682	294638	5085.6550		FREIGHT ON RESALE MDSE	LIQUOR #3 STOCK PURCHASES
		52.00	LIQ#1	00015926	485674	294639	5015.6510		LIQUOR	LIQUOR #1 STOCK PURCHASES
		1,092.00	WINE#1	00015926	485675	294639	5015.6520		WINE	LIQUOR #1 STOCK PURCHASES
		19.40	FREIGHT#1	00015926	485676	294639	5015.6550		FREIGHT ON RESALE MDSE	LIQUOR #1 STOCK PURCHASES
		2,265.40								
34072	3/21/2025		101003 WINZER FRANCHISE COMPANY							
		79.80	MISC. NUTS, BOLTS & WASHERS		485371	3047340	1765.6229		GENERAL SUPPLIES	PARK EQUIPMENT MAINTENANCE
		79.80	MISC. NUTS, BOLTS & WASHERS		485371	3047340	1630.6229		GENERAL SUPPLIES	STREET EQUIPMENT MAINTENANCE
		79.80	MISC. NUTS, BOLTS & WASHERS		485371	3047340	1210.6229		GENERAL SUPPLIES	POLICE FIELD OPERATIONS/PATROL
		79.80	MISC. NUTS, BOLTS & WASHERS		485371	3047340	5345.6229		GENERAL SUPPLIES	WATER EQUIP/VEHICLE/MISC MNTC
		79.81	MISC. NUTS, BOLTS & WASHERS		485371	3047340	5390.6229		GENERAL SUPPLIES	SWR EQUIP/VEHICLE MISC MNTC/RP
		399.01								
34073	3/21/2025		100528 ZIEGLER INC							
		611.51	PLOW EDGES (4)		485426	IN001814660	1665.6215		EQUIPMENT-PARTS	STREET SNOW & ICE MATERIALS
		611.51								
322545	3/19/2025		118892 ASPEN MILLS							
		1,932.01	VEST SOLHEID		485435	349332	1210.6281		UNIFORM/CLOTHING ALLOWANCE	POLICE FIELD OPERATIONS/PATROL
		1,932.01								
322546	3/19/2025		100820 AT&T MOBILITY							
		38.23	INSP WIRELESS DATA		485510	287318957082X03 032025	1400.6237		TELEPHONE/PAGERS	INSPECTIONS MANAGEMENT
		228.17	FIRE CELL PHONES		485510	287318957082X03 032025	1330.6237		TELEPHONE/PAGERS	FIRE OPERATIONS
		420.53	FIRE WIRELESS DATA		485510	287318957082X03 032025	1330.6237		TELEPHONE/PAGERS	FIRE OPERATIONS
		1,338.05	POL WIRELESS DATA		485510	287318957082X03 032025	1205.6237		TELEPHONE/PAGERS	POLICE RECORDS UNIT
		3,550.30	POL CELL PHONES		485510	287318957082X03 032025	1205.6237		TELEPHONE/PAGERS	POLICE RECORDS UNIT
		38.23	IT WIRELESS DATA		485697	287325474621X03 032025	1030.6237		TELEPHONE/PAGERS	INFORMATION TECHNOLOGY

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<b>322546</b>	<b>3/19/2025</b>		<b>100820 AT&amp;T MOBILITY</b>						<b>Continued...</b>	
		38.23	PW WIRELESS DATA		485697	287325474621X03 032025	1500.6237		TELEPHONE/PAGERS	PW MANAGEMENT
		41.23	POL CELL PHONE		485697	287325474621X03 032025	1200.6237		TELEPHONE/PAGERS	POLICE MANAGEMENT
		44.88	ADM CELL PHONE		485697	287325474621X03 032025	1010.6237		TELEPHONE/PAGERS	ADMINISTRATION
		44.88	NR CELL PHONE		485697	287325474621X03 032025	1520.6237		TELEPHONE/PAGERS	NATURAL RESOURCES
		76.46	PK WIRELESS DATA		485697	287325474621X03 032025	1710.6237		TELEPHONE/PAGERS	PARK MAINTENANCE MANAGEMENT
		89.76	ENG CELL PHONES		485697	287325474621X03 032025	1510.6237		TELEPHONE/PAGERS	PW ENGINEERING & TECHNICAL
		114.69	STR WIRELESS DATA		485697	287325474621X03 032025	1600.6237		TELEPHONE/PAGERS	STREET MANAGEMENT
		119.06	PK CELL PHONES		485697	287325474621X03 032025	1710.6237		TELEPHONE/PAGERS	PARK MAINTENANCE MANAGEMENT
		134.64	STR CELL PHONES		485697	287325474621X03 032025	1600.6237		TELEPHONE/PAGERS	STREET MANAGEMENT
		149.79	REC FLIP PHONES WARMING HOUSE		485697	287325474621X03 032025	1700.6237		TELEPHONE/PAGERS	PARK & RECREATION MANAGEMENT
		41.23	GOLF CELL PHONE		485697	287325474621X03 032025	2205.6237		TELEPHONE/PAGERS	GOLF MANAGEMENT
		114.69	GOLF WIRELESS DATA		485697	287325474621X03 032025	2205.6237		TELEPHONE/PAGERS	GOLF MANAGEMENT
		86.11	UTIL CELL PHONES		485697	287325474621X03 032025	5305.6237		TELEPHONE/PAGERS	WATER MGMT/REPORT/DATA ENTRY
		382.30	UTIL WIRELESS DATA		485697	287325474621X03 032025	5305.6237		TELEPHONE/PAGERS	WATER MGMT/REPORT/DATA ENTRY
		38.23	STORM WIRELESS DATA		485697	287325474621X03 032025	5505.6237		TELEPHONE/PAGERS	STORM DRAIN MNTC/RPR/SUMPS
		44.88	ENG CELL PHONE		485511	287342120685X03 032025	1510.6237		TELEPHONE/PAGERS	PW ENGINEERING & TECHNICAL
		89.76	CODE CELL PHONES		485511	287342120685X03 032025	1013.6237		TELEPHONE/PAGERS	CODE ENFORCEMENT
		144.74	INSP CELL PHONES		485511	287342120685X03 032025	1400.6237		TELEPHONE/PAGERS	INSPECTIONS MANAGEMENT
		7,409.07								
<b>322547</b>	<b>3/19/2025</b>		<b>163459 BELO, JOHN</b>							
		14.93	UB REFUND 14682 DOMINICA CT		485504	20250313A	5301.4997		WATER/SEWER ACCT REFUNDS	WATER & SEWER FUND REVENUE

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322547	3/19/2025		163459 BELO, JOHN						Continued...	
		14.93								
322548	3/19/2025		101700 BOOTY, DAVID							
		15.42	UB REFUND 7412 UPPER 136TH ST		485367	20250306C	5301.4997		WATER/SEWER ACCT REFUNDS	WATER & SEWER FUND REVENUE
		15.42								
322549	3/19/2025		161807 BOYER TRUCKS - SAVAGE							
		338.25	4985 DIAGNOSIS - ENGINE LIGHT		485470	95S8234	1350.6265		REPAIRS-EQUIPMENT	FIRE VEHICLE MAINTENANCE
		338.25								
322550	3/19/2025		100072 BRAUN INTERTEC CORPORATION							
		266.75	PD OPS SPECIAL INSPECTIONS		485467	B420613	4432.6235	2021172G	CONSULTANT SERVICES	2024A CAPITAL PROJECTS CIP EXP
		266.75								
322551	3/19/2025		100152 BREAKTHRU BEVERAGE MIN WINE							
		1,017.50	TEQUILLA AND CAPTAIN		485443	120185118	2270.6429		GOLF-LIQUOR	GOLF FOOD & BEVERAGE
		1,756.40	LIQ#3	00001930	485590	120245639	5085.6510		LIQUOR	LIQUOR #3 STOCK PURCHASES
		10.35	FREIGHT#3	00001930	485591	120245639	5085.6550		FREIGHT ON RESALE MDSE	LIQUOR #3 STOCK PURCHASES
		72.00	NTAX#3	00001930	485592	120245640	5085.6545		NON-TAXABLE MISC FOR RESALE	LIQUOR #3 STOCK PURCHASES
		1.15	FREIGHT#3	00001930	485593	120245640	5085.6550		FREIGHT ON RESALE MDSE	LIQUOR #3 STOCK PURCHASES
		384.00	WINE#3	00001930	485622	120245641	5085.6520		WINE	LIQUOR #3 STOCK PURCHASES
		3.45	FREIGHT#3	00001930	485623	120245641	5085.6550		FREIGHT ON RESALE MDSE	LIQUOR #3 STOCK PURCHASES
		868.02	LIQ#2	00001930	485580	120245646	5055.6510		LIQUOR	LIQUOR #2 STOCK PURCHASES
		10.35	FREIGHT#2	00001930	485581	120245646	5055.6550		FREIGHT ON RESALE MDSE	LIQUOR #2 STOCK PURCHASES
		70.07	TAX#2	00001930	485582	120245647	5055.6540		TAXABLE MISC FOR RESALE	LIQUOR #2 STOCK PURCHASES
		2.30	FREIGHT#2	00001930	485583	120245647	5055.6550		FREIGHT ON RESALE MDSE	LIQUOR #2 STOCK PURCHASES
		768.00	WINE#2	00001930	485614	120245648	5055.6520		WINE	LIQUOR #2 STOCK PURCHASES
		11.50	FREIGHT#2	00001930	485615	120245648	5055.6550		FREIGHT ON RESALE MDSE	LIQUOR #2 STOCK PURCHASES
		528.00	WINE#1	00001930	485606	120245649	5015.6520		WINE	LIQUOR #1 STOCK PURCHASES
		10.35	FREIGHT#1	00001930	485607	120245649	5015.6550		FREIGHT ON RESALE MDSE	LIQUOR #1 STOCK PURCHASES
		2,152.97	LIQ#1	00001930	485570	120245650	5015.6510		LIQUOR	LIQUOR #1 STOCK PURCHASES
		18.40	FREIGHT#1	00001930	485571	120245650	5015.6550		FREIGHT ON RESALE MDSE	LIQUOR #1 STOCK PURCHASES
		9,428.39	LIQ#3	00001930	485594	120287501	5085.6510		LIQUOR	LIQUOR #3 STOCK PURCHASES
		62.10	FREIGHT#3	00001930	485595	120287501	5085.6550		FREIGHT ON RESALE MDSE	LIQUOR #3 STOCK PURCHASES
		.14	TAX#3	00001930	485596	120287502	5085.6540		TAXABLE MISC FOR RESALE	LIQUOR #3 STOCK PURCHASES
		16.10	FREIGHT#3	00001930	485597	120287502	5085.6550		FREIGHT ON RESALE MDSE	LIQUOR #3 STOCK PURCHASES
		599.59	LIQ#3	00001930	485598	120359149	5085.6510		LIQUOR	LIQUOR #3 STOCK PURCHASES
		2.87	FREIGHT#3	00001930	485599	120359149	5085.6550		FREIGHT ON RESALE MDSE	LIQUOR #3 STOCK PURCHASES
		54.11	TAX#3	00001930	485600	120359150	5085.6540		TAXABLE MISC FOR RESALE	LIQUOR #3 STOCK PURCHASES
		2.30	FREIGHT#3	00001930	485601	120359150	5085.6550		FREIGHT ON RESALE MDSE	LIQUOR #3 STOCK PURCHASES

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322551	3/19/2025		100152 BREAKTHRU BEVERAGE MIN WINE						Continued...	
		347.62	WINE#3	00001930	485624	120359151	5085.6520		WINE	LIQUOR #3 STOCK PURCHASES
		2.88	FREIGHT#3	00001930	485625	120359151	5085.6550		FREIGHT ON RESALE MDSE	LIQUOR #3 STOCK PURCHASES
		53.55	TAX#2	00001930	485584	120359155	5055.6540		TAXABLE MISC FOR RESALE	LIQUOR #2 STOCK PURCHASES
		1.15	FREIGHT#2	00001930	485585	120359155	5055.6550		FREIGHT ON RESALE MDSE	LIQUOR #2 STOCK PURCHASES
		692.20	LIQ#2	00001930	485586	120359156	5055.6510		LIQUOR	LIQUOR #2 STOCK PURCHASES
		10.35	FREIGHT#2	00001930	485587	120359156	5055.6550		FREIGHT ON RESALE MDSE	LIQUOR #2 STOCK PURCHASES
		56.00	WINE#2	00001930	485616	120359157	5055.6520		WINE	LIQUOR #2 STOCK PURCHASES
		1.15	FREIGHT#2	00001930	485617	120359157	5055.6550		FREIGHT ON RESALE MDSE	LIQUOR #2 STOCK PURCHASES
		2,400.00	WINE#1	00001930	485610	120359159	5015.6520		WINE	LIQUOR #1 STOCK PURCHASES
		32.20	FREIGHT#1	00001930	485611	120359159	5015.6550		FREIGHT ON RESALE MDSE	LIQUOR #1 STOCK PURCHASES
		784.00	WINE#1	00001930	485608	120359160	5015.6520		WINE	LIQUOR #1 STOCK PURCHASES
		8.05	FREIGHT#1	00001930	485609	120359160	5015.6550		FREIGHT ON RESALE MDSE	LIQUOR #1 STOCK PURCHASES
		2,520.19	LIQ#1	00001930	485572	120359161	5015.6510		LIQUOR	LIQUOR #1 STOCK PURCHASES
		990.00	CMLIQ#1	00001930	485573	120359161	5015.6510		LIQUOR	LIQUOR #1 STOCK PURCHASES
		21.27	FREIGHT#1	00001930	485574	120359161	5015.6550		FREIGHT ON RESALE MDSE	LIQUOR #1 STOCK PURCHASES
		11.50	CMFREIGHT#1	00001930	485575	120359161	5015.6550		FREIGHT ON RESALE MDSE	LIQUOR #1 STOCK PURCHASES
		24.00	TAX#1	00001930	485576	120359162	5015.6540		TAXABLE MISC FOR RESALE	LIQUOR #1 STOCK PURCHASES
		1.15	FREIGHT#1	00001930	485577	120359162	5015.6550		FREIGHT ON RESALE MDSE	LIQUOR #1 STOCK PURCHASES
		91.00	NTAX#3	00001930	485604	120461896	5085.6545		NON-TAXABLE MISC FOR RESALE	LIQUOR #3 STOCK PURCHASES
		1.15	FREIGHT#3	00001930	485605	120461896	5085.6550		FREIGHT ON RESALE MDSE	LIQUOR #3 STOCK PURCHASES
		1,039.58	LIQ#3	00001930	485602	120463618	5085.6510		LIQUOR	LIQUOR #3 STOCK PURCHASES
		5.75	FREIGHT#3	00001930	485603	120463618	5085.6550		FREIGHT ON RESALE MDSE	LIQUOR #3 STOCK PURCHASES
		947.62	WINE#3	00001930	485626	120463619	5085.6520		WINE	LIQUOR #3 STOCK PURCHASES
		7.48	FREIGHT#3	00001930	485627	120463619	5085.6550		FREIGHT ON RESALE MDSE	LIQUOR #3 STOCK PURCHASES
		100.00	LIQ#2	00001930	485588	120463623	5055.6510		LIQUOR	LIQUOR #2 STOCK PURCHASES
		4.60	FREIGHT#2	00001930	485589	120463623	5055.6550		FREIGHT ON RESALE MDSE	LIQUOR #2 STOCK PURCHASES
		224.00	WINE#2	00001930	485620	120463624	5055.6520		WINE	LIQUOR #2 STOCK PURCHASES
		2.30	FREIGHT#2	00001930	485621	120463624	5055.6550		FREIGHT ON RESALE MDSE	LIQUOR #2 STOCK PURCHASES
		1,248.00	WINE#2	00001930	485618	120463625	5055.6520		WINE	LIQUOR #2 STOCK PURCHASES
		14.95	FREIGHT#2	00001930	485619	120463625	5055.6550		FREIGHT ON RESALE MDSE	LIQUOR #2 STOCK PURCHASES
		3,304.02	LIQ#1	00001930	485578	120463626	5015.6510		LIQUOR	LIQUOR #1 STOCK PURCHASES
		50.60	FREIGHT#1	00001930	485579	120463626	5015.6550		FREIGHT ON RESALE MDSE	LIQUOR #1 STOCK PURCHASES
		1,220.00	WINE#1	00001930	485612	120463627	5015.6520		WINE	LIQUOR #1 STOCK PURCHASES
		14.95	FREIGHT#1	00001930	485613	120463627	5015.6550		FREIGHT ON RESALE MDSE	LIQUOR #1 STOCK PURCHASES
		32,080.67								
322552	3/19/2025		101083 CAPITAL CITY FIREFIGHTERS ASSOC REGION 1							
		50.00	2025 CAPITAL CITY FIRE DUES		485492	25100	1300.6280		DUES & SUBSCRIPTIONS	FIRE MANAGEMENT
		50.00								



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322553	3/19/2025		<b>116142 CARGILL INCORPORATED</b>						<b>Continued...</b>	
		6,187.48	CLEAR LANE DE-ICER (47.49 T)		485450	2910709681	1665.6229		GENERAL SUPPLIES	STREET SNOW & ICE MATERIALS
		3,220.77	CLEAR LANE DE-ICER (24.72 T)		485451	2910722962	1665.6229		GENERAL SUPPLIES	STREET SNOW & ICE MATERIALS
		<u>9,408.25</u>								
322554	3/19/2025		<b>163415 CASESCAN</b>							
		2,000.00	COMPUTER FORENSIC ANNUAL		485437	20250122	1210.6308		SOFTWARE SUBSCRIPTIONS	POLICE FIELD OPERATIONS/PATROL
		<u>2,000.00</u>								
322555	3/19/2025		<b>100878 CHARTER COMMUNICATIONS</b>							
		15.74	ARENA CABLE MAR		485512	175320701MAR25	5205.6237		TELEPHONE/PAGERS	ARENA 1 MANAGEMENT
		<u>15.74</u>								
322556	3/19/2025		<b>100282 CINTAS CORPORATION</b>							
		36.00	CMF RUG SERVICE		485372	4222408236	1530.6240		CLEANING SERVICE/GARBAGE REMOVFLEET & BUILDINGS-CMF	
		66.78	CH MAT SVC		485509	4223095716	1060.6240		CLEANING SERVICE/GARBAGE REMOVMUNICIPAL BLDG & GROUNDS MNTC	
		51.80	CARPET RUNNERS		485406	4223095747	1060.6240		CLEANING SERVICE/GARBAGE REMOVMUNICIPAL BLDG & GROUNDS MNTC	
		<u>154.58</u>								
322557	3/19/2025		<b>113504 CINTAS FIRST AID &amp; SAFETY</b>							
		78.57	1ST AID SUPPLIES - MC		485383	5257034110	1060.6229		GENERAL SUPPLIES	MUNICIPAL BLDG & GROUNDS MNTC
		<u>78.57</u>								
322558	3/19/2025		<b>163452 CLEARLIGHT</b>							
		20,205.82	SAUNAS FOR NEW BUILDING		485462	SO320363	4432.6740	2021172G	CAPITAL OUTLAY-MACH/EQUIP/OTHE	2024A CAPITAL PROJECTS CIP EXP
		<u>20,205.82</u>								
322559	3/19/2025		<b>101119 CLEVELAND GOLF/SRIXON</b>							
		14.28	FREIGHT ON RESALE		485442	8274266SO	2260.6424		GOLF FREIGHT ON RESALE MDSE	GOLF PRO SHOP MERCH SALES
		477.76	RTZ WEDGES		485442	8274266SO	2260.6414		GOLF-CLUBS	GOLF PRO SHOP MERCH SALES
		<u>492.04</u>								
322560	3/19/2025		<b>100510 CORE &amp; MAIN</b>							
		2,150.68	GATE VALVE & VALVE BOX		485411	W483028	5330.6215		EQUIPMENT-PARTS	WTR MAIN/HYDRANT/CURB STOP MNT
		<u>2,150.68</u>								
322561	3/19/2025		<b>100114 CUB FOODS</b>							
		.76-	FIRE SALES TAX ADJUST		485404	160409158249	1310.6275		SCHOOLS/CONFERENCES/EXP LOCAL FIRE TRAINING	
		.76	FIRE SALES TAX ADJUST		485404	160409158249	1000.2330		DUE TO OTHER GOVERNMENT	GENERAL FUND BALANCE SHEET
		46.22	FOOD FOR FF CERT TESTING		485404	160409158249	1310.6275		SCHOOLS/CONFERENCES/EXP LOCAL FIRE TRAINING	
		<u>46.22</u>								

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<b>322561</b>	<b>3/19/2025</b>		<b>100114 CUB FOODS</b>						<b>Continued...</b>	
<b>322562</b>	<b>3/19/2025</b>		<b>143882 CULLIGAN</b>							
		205.00	WATER SOFTENER LEASE		485496	157349250165FEB 25	1920.6249		OTHER CONTRACTUAL SERVICES	SENIOR CENTER
		108.00	HAYES WATER SOFTENING		485400	157985475324FEB 25	5265.6249		OTHER CONTRACTUAL SERVICES	ARENA 2 BLDG MAINTENANCE-HAYES
		108.00	AVSA WATER SOFTENING		485401	157985539939FEB 25	5210.6249		OTHER CONTRACTUAL SERVICES	ARENA 1 BUILDING MAINTENANCE
		<u>421.00</u>								
<b>322563</b>	<b>3/19/2025</b>		<b>156145 CYBER ADVISORS INC</b>							
		2,250.00	VCISO MONTHLY SERVICES MAR		485524	128624	1030.6235		CONSULTANT SERVICES	INFORMATION TECHNOLOGY
		<u>2,250.00</u>								
<b>322564</b>	<b>3/19/2025</b>		<b>100129 DAKOTA AWARDS &amp; ENGRAVING</b>							
		93.00	PAR TAGS AND GEAR RACK TAGS		485491	29090	1330.6229		GENERAL SUPPLIES	FIRE OPERATIONS
		<u>93.00</u>								
<b>322565</b>	<b>3/19/2025</b>		<b>140659 DOMACE VINO</b>							
		1,608.00	WINE#3	00050649	485628	29619	5085.6520		WINE	LIQUOR #3 STOCK PURCHASES
		24.00	FREIGHT#3	00050649	485629	29619	5085.6550		FREIGHT ON RESALE MDSE	LIQUOR #3 STOCK PURCHASES
		<u>1,632.00</u>								
<b>322566</b>	<b>3/19/2025</b>		<b>100434 DOUGHERTY MOLENDASOLFEST HILL</b>							
		727.43	ORCHARD PL 2ND ADDN ROCKPORT L		485477	333279	4502.6231	2020158G	LEGAL SERVICES	IMPROVEMENTS-ASSESSED
		1,568.44	MIXED BUSINESS CAMPUS REZONING		485478	333281	4502.6231	2023115L	LEGAL SERVICES	IMPROVEMENTS-ASSESSED
		170.06	PFAS LITIGATION		485479	333282	5305.6231		LEGAL SERVICES	WATER MGMT/REPORT/DATA ENTRY
		453.53	AV PARK BOND IMPROVEMENTS		485480	333283	2302.6231	PR230062	LEGAL SERVICES	PARKS REF - GENERAL UNASSIGNED
		75.59	PARK BOND VALLEY MIDDLE PARK		485481	333285	2367.6231	PR230062	LEGAL SERVICES	VALLEY MIDDLE PARK
		472.43	PARK BOND HAYES PARK		485482	333287	2343.6231	PR230062	LEGAL SERVICES	HAYES PARK PARK
		37.79	PARK BOND HAYES BASEBALL COMPL		485483	333288	2309.6231	PR230062	LEGAL SERVICES	HAYES BASEBALL/SOFTBALL COMPLX
		491.32	15584 GASLIGHT DR-EDA SALE		485484	333289	3212.6231	2024149G	LEGAL SERVICES	EDA OPERATION
		91.74	AV 11TH & 12TH ADDN-EASEMENT A		485485	333290	4752.6231	2022111E	LEGAL SERVICES	ELECTRIC FRANCHSE
		201.71	AV HS ACTIVITY CTR (PC24-20-B)		485486	333291	4502.6231	2024182L	LEGAL SERVICES	IMPROVEMENTS-ASSESSED
		461.07	MIXED BUSINESS COMP PLAN AMEND		485487	333292	4502.6231	2024183L	LEGAL SERVICES	IMPROVEMENTS-ASSESSED
		2,622.35	MBC DIST-TECH PARK (PC24-23-BC		485488	333293	4502.6231	2024185L	LEGAL SERVICES	IMPROVEMENTS-ASSESSED
		110.14	CODE VIOLATIONS-MISC		485489	333889	1050.6231		LEGAL SERVICES	LEGAL GENERAL SERVICES
		957.19	PARK BOND KELLEY PARK		485490	333891	2349.6231	PR230062	LEGAL SERVICES	KELLEY PARK
		<u>8,440.79</u>								

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322567	3/19/2025		<b>163416 EAGLE ENGRAVING, INC</b>						<b>Continued...</b>	
		2,360.60	BADGES (20), COLLAR BRASS (8)		485418	20251900	1300.6281		UNIFORM/CLOTHING ALLOWANCE	FIRE MANAGEMENT
		<u>2,360.60</u>								
322568	3/19/2025		<b>145240 ECOLAB PEST ELIM DIV</b>							
		75.67	PEST CONTROL - EDU BLDG		485407	7684174	2092.6249		OTHER CONTRACTUAL SERVICES	EDUCATION BUILDING FUND
		<u>75.67</u>								
322569	3/19/2025		<b>158364 EMEENTERPRISESLLC</b>							
		1,600.00	LEG RESTRAINTS		485432	3	1210.6229		GENERAL SUPPLIES	POLICE FIELD OPERATIONS/PATROL
		<u>1,600.00</u>								
322570	3/19/2025		<b>157932 GEMM INTERNATIONAL INC</b>							
		216.00	WINE#3	00052894	485632	700	5085.6520		WINE	LIQUOR #3 STOCK PURCHASES
		264.00	WINE#1	00052894	485630	702	5015.6520		WINE	LIQUOR #1 STOCK PURCHASES
		2.00	FREIGHT#1	00052894	485631	702	5015.6550		FREIGHT ON RESALE MDSE	LIQUOR #1 STOCK PURCHASES
		<u>482.00</u>								
322571	3/19/2025		<b>101328 GOVCONNECTION INC</b>							
		107.79	SSD DRIVE (1)		485438	76220503	1030.6725		CAPITAL OUTLAY-OFFICE EQUIP	INFORMATION TECHNOLOGY
		1,924.82	LAPTOP COMPUTER (1)		485438	76220503	1030.6725		CAPITAL OUTLAY-OFFICE EQUIP	INFORMATION TECHNOLOGY
		<u>2,032.61</u>								
322572	3/19/2025		<b>100827 GRAPE BEGINNINGS INC</b>							
		1,060.00	LIQ#3	00032379	485671	163023	5085.6510		LIQUOR	LIQUOR #3 STOCK PURCHASES
		801.00	WINE#3	00032379	485672	163023	5085.6520		WINE	LIQUOR #3 STOCK PURCHASES
		15.75	FREIGHT#3	00032379	485673	163023	5085.6550		FREIGHT ON RESALE MDSE	LIQUOR #3 STOCK PURCHASES
		<u>1,876.75</u>								
322573	3/19/2025		<b>100222 HACH COMPANY</b>							
		651.03	WTP LAB SUPPLIES		485428	14387087	5325.6229		GENERAL SUPPLIES	WATER TREATMENT FCLTY MNTC/RPR
		<u>651.03</u>								
322574	3/19/2025		<b>101169 HAWKINS, INC.</b>							
		2,342.00	WTP CHEMICALS CHLORINE		485430	6997978	5325.6214		CHEMICALS	WATER TREATMENT FCLTY MNTC/RPR
		<u>2,342.00</u>								
322575	3/19/2025		<b>103314 INNOVATIVE OFFICE SOLUTIONS</b>							
		17.77	FLOOR SCRUBBER PAD		485356	IN4780306	5265.6215		EQUIPMENT-PARTS	ARENA 2 BLDG MAINTENANCE-HAYES
		8.82	PADS, PENS		485384	IN4781131	1200.6210		OFFICE SUPPLIES	POLICE MANAGEMENT
		12.43	PACKING TAPE-FRONT DESK		485405	IN4782890	1021.6210		OFFICE SUPPLIES	FRONT DESK

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<b>322575</b>	<b>3/19/2025</b>		<b>103314 INNOVATIVE OFFICE SOLUTIONS</b>						<b>Continued...</b>	
		218.16	GARBAGE LINERS-BLDG		485405	IN4782890	1060.6229		GENERAL SUPPLIES	MUNICIPAL BLDG & GROUNDS MNTC
		20.74	BADGE HOLDERS- ADMIN		485535	IN4788737	1010.6210		OFFICE SUPPLIES	ADMINISTRATION
		67.83	BUBBL MAILER- BARB IN FIRE		485535	IN4788737	1300.6210		OFFICE SUPPLIES	FIRE MANAGEMENT
		8.56	CALENDAR		485533	IN4788899	1200.6210		OFFICE SUPPLIES	POLICE MANAGEMENT
		<u>354.31</u>								
<b>322576</b>	<b>3/19/2025</b>		<b>100247 INTERSTATE POWER SYSTEMS</b>							
		7,517.93	REPAIR - #314 TRANSMISSION		485423	R00121809701	1630.6265		REPAIRS-EQUIPMENT	STREET EQUIPMENT MAINTENANCE
		4,214.83	REPAIR - #314 TRANSMISSION		485422	R00121816901	1630.6265		REPAIRS-EQUIPMENT	STREET EQUIPMENT MAINTENANCE
		<u>11,732.76</u>								
<b>322577</b>	<b>3/19/2025</b>		<b>160885 KUSSKE CONSTRUCTION CO LLC</b>							
		447,338.37	140TH STREET SS IMPROVE PAY 1		485449	20250227	5365.6810	2025127S	CONSTRUCTION IN PROGRESS	SEWER MGMT/REPORTS/DATA ENTRY
		<u>447,338.37</u>								
<b>322578</b>	<b>3/19/2025</b>		<b>147557 LIBATION PROJECT</b>							
		116.04	WINE#1	00051923	485633	85724	5015.6520		WINE	LIQUOR #1 STOCK PURCHASES
		2.00	FREIGHT#1	00051923	485634	85724	5015.6550		FREIGHT ON RESALE MDSE	LIQUOR #1 STOCK PURCHASES
		363.96	WINE#3	00051923	485635	85850	5085.6520		WINE	LIQUOR #3 STOCK PURCHASES
		6.00	FREIGHT#3	00051923	485636	85850	5085.6550		FREIGHT ON RESALE MDSE	LIQUOR #3 STOCK PURCHASES
		<u>488.00</u>								
<b>322579</b>	<b>3/19/2025</b>		<b>162817 LIFT LEADERSHIP INSTITUTE FOR TEAMS</b>							
		2,000.00	P&R FEB 20 LEADERSHIP TRAINING		485409	1012	1700.6275		SCHOOLS/CONFERENCES/EXP LOCAL PARK & RECREATION MANAGEMENT	
		<u>2,000.00</u>								
<b>322580</b>	<b>3/19/2025</b>		<b>145429 LUBE-TECH RELIABLE PLUS INC</b>							
		86.36	GREASE		485424	3731635	1765.6212		MOTOR FUELS/OILS	PARK EQUIPMENT MAINTENANCE
		86.36	GREASE		485424	3731635	1630.6212		MOTOR FUELS/OILS	STREET EQUIPMENT MAINTENANCE
		86.36	GREASE		485424	3731635	1350.6212		MOTOR FUELS/OILS	FIRE VEHICLE MAINTENANCE
		86.40	GREASE		485424	3731635	1210.6212		MOTOR FUELS/OILS	POLICE FIELD OPERATIONS/PATROL
		86.36	GREASE		485424	3731635	5345.6212		MOTOR FUELS/OILS	WATER EQUIP/VEHICLE/MISC MNTC
		86.36	GREASE		485424	3731635	5390.6212		MOTOR FUELS/OILS	SWR EQUIP/VEHICLE MISC MNTC/RP
		329.76	ATF		485425	3731855	1210.6212		MOTOR FUELS/OILS	POLICE FIELD OPERATIONS/PATROL
		329.76	ATF		485425	3731855	1350.6212		MOTOR FUELS/OILS	FIRE VEHICLE MAINTENANCE
		329.76	ATF		485425	3731855	1630.6212		MOTOR FUELS/OILS	STREET EQUIPMENT MAINTENANCE
		329.76	ATF		485425	3731855	1765.6212		MOTOR FUELS/OILS	PARK EQUIPMENT MAINTENANCE
		329.76	ATF		485425	3731855	5345.6212		MOTOR FUELS/OILS	WATER EQUIP/VEHICLE/MISC MNTC
		329.79	ATF		485425	3731855	5390.6212		MOTOR FUELS/OILS	SWR EQUIP/VEHICLE MISC MNTC/RP
		<u>2,496.79</u>								

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322580	3/19/2025		145429 LUBE-TECH RELIABLE PLUS INC						Continued...	
322581	3/19/2025		119353 MADISON NATIONAL LIFE INS CO INC							
		229.32	LTD INSURANCE MARCH		485403	20250301	1020.6235		CONSULTANT SERVICES	HUMAN RESOURCES
		2,776.55	LTD INSURANCE MARCH		485403	20250301	9000.2113		ACCRUED LTD	PAYROLL CLEARING BAL SHEET
		3,005.87								
322582	3/19/2025		118337 MAHCO							
		65.00	DIAZ - MAHCO DUES		485398	197	1013.6280		DUES & SUBSCRIPTIONS	CODE ENFORCEMENT
		65.00	PIERSON - MAHCO DUES		485399	198	1013.6280		DUES & SUBSCRIPTIONS	CODE ENFORCEMENT
		130.00								
322583	3/19/2025		100309 MENARDS							
		32.89	GRAVEL BED IRRIGATION SUPPLIES		485358	87163A	1720.6229		GENERAL SUPPLIES	PARK GROUNDS MAINTENANCE
		24.92	324 WATER LINE REPAIRS		485380	87174A	5505.6215		EQUIPMENT-PARTS	STORM DRAIN MNTC/RPR/SUMPS
		93.94	3LB CROSS HAMMER/8LB SLEDGE HA		485370	88106	1510.6211		SMALL TOOLS & EQUIPMENT	PW ENGINEERING & TECHNICAL
		23.92	LAC LOAVON PLAYGROUND REPAIR		485360	88751	1735.6229		GENERAL SUPPLIES	PARK PLAY EQUIPMENT MAINTENANC
		10.98	LEGION SHED REPAIR		485361	88752	1715.6211		SMALL TOOLS & EQUIPMENT	PARK ATHLETIC FIELD MAINTENANC
		50.29	OFFICE PAINTING SUPPLIES		485362	88755	1730.6229		GENERAL SUPPLIES	PARK BUILDING MAINTENANCE
		5.07	BATHROOM FIXTURE SUPPLIES		485359	88764	1730.6229		GENERAL SUPPLIES	PARK BUILDING MAINTENANCE
		4.98	TOILET HARDWARE		485497	89085	1920.6215		EQUIPMENT-PARTS	SENIOR CENTER
		14.68	PLUMBING WRENCH		485497	89085	1920.6211		SMALL TOOLS & EQUIPMENT	SENIOR CENTER
		261.67								
322584	3/19/2025		128699 MES SERVICE COMPANY LLC							
		409.48	MOTOR CONTROLLER - TEMPEST FAN		485417	IN2206518	1330.6215		EQUIPMENT-PARTS	FIRE OPERATIONS
		66.95	JOB SHIRT		485394	IN2212715	1330.6281		UNIFORM/CLOTHING ALLOWANCE	FIRE OPERATIONS
		118.00	JOB SHIRT (2)		485494	IN2214023	1330.6281		UNIFORM/CLOTHING ALLOWANCE	FIRE OPERATIONS
		118.00	JOB SHIRT (2)		485495	IN2219411	1330.6281		UNIFORM/CLOTHING ALLOWANCE	FIRE OPERATIONS
		712.43								
322585	3/19/2025		163462 METRO VENT							
		1.00	SURCHARGE REFUND 5920 148TH ST		485534	20250226	1001.4063		PERMIT-HEATING	GENERAL FUND REVENUE
		56.01	PARTIAL REFUND 5920 148TH ST W		485534	20250226	1001.4063		PERMIT-HEATING	GENERAL FUND REVENUE
		57.01								
322586	3/19/2025		100693 MN FIRE SERVICE CERTIFICATION							
		131.00	RIKKERS INSTRUCTOR I CERT TEST		485493	13654	1310.6275		SCHOOLS/CONFERENCES/EXP LOCAL FIRE TRAINING	
		131.00								
322587	3/19/2025		144980 MN PETROLEUM SERVICE							

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322587	3/19/2025		<b>144980 MN PETROLEUM SERVICE</b>						<b>Continued...</b>	
		287.00	LIFT INSPECTION		485393	155234	2240.6265		REPAIRS-EQUIPMENT	GOLF EQUIPMENT MAINTENANCE
		287.00								
322588	3/19/2025		<b>101199 NCPERS MINNESOTA</b>							
		368.00	NCPERS MARCH 2025		485402	314900042025	9000.2120		ACCRUED BENEFIT LIABILITY	PAYROLL CLEARING BAL SHEET
		368.00								
322589	3/19/2025		<b>109947 NEW FRANCE WINE CO</b>							
		1,663.00	WINE#3	00041046	485644	239126	5085.6520		WINE	LIQUOR #3 STOCK PURCHASES
		22.50	FREIGHT#3	00041046	485645	239126	5085.6550		FREIGHT ON RESALE MDSE	LIQUOR #3 STOCK PURCHASES
		376.50	LIQ#3	00041046	485646	239406	5085.6510		LIQUOR	LIQUOR #3 STOCK PURCHASES
		5.00	WINE#3	00041046	485647	239406	5085.6520		WINE	LIQUOR #3 STOCK PURCHASES
		2,067.00								
322590	3/19/2025		<b>121334 NORTHERN STAR COUNCIL EXPLORING</b>							
		380.00	2025/2026 ANNUAL EXPLORER DUES		485395	20250205	1300.6280		DUES & SUBSCRIPTIONS	FIRE MANAGEMENT
		380.00								
322591	3/19/2025		<b>163458 NOZAL, KRISTINA</b>							
		38.60	UB REFUND 12998 EASTVIEW CT		485503	20250313B	5301.4997		WATER/SEWER ACCT REFUNDS	WATER & SEWER FUND REVENUE
		38.60								
322592	3/19/2025		<b>112135 OSLOS, MARK</b>							
		40.00	BANQUET STANDBY FOOD		485396	20250220	1330.6229		GENERAL SUPPLIES	FIRE OPERATIONS
		40.00								
322593	3/19/2025		<b>100316 POWER PLAN</b>							
		196.40	SWEEPER PARTS - HARDWARE		485379	P2775070	5505.6215		EQUIPMENT-PARTS	STORM DRAIN MNTC/RPR/SUMPS
			<b>Supplier</b> 101708 RDO EQUIPMENT CO							
		196.40								
322594	3/19/2025		<b>118355 SHI INTERNATIONAL CORP</b>							
		7,827.20	VEEAM BACKUP SUBSCRIPTION		485440	B19446658	1030.6308		SOFTWARE SUBSCRIPTIONS	INFORMATION TECHNOLOGY
		7,827.20								
322595	3/19/2025		<b>160953 STREFF, KEITH P</b>							
		125.00	DANGEROUS DOG APPEAL		485414	25000696	1200.6249		OTHER CONTRACTUAL SERVICES	POLICE MANAGEMENT
		125.00								
322596	3/19/2025		<b>163426 THAI, SETH</b>							



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322596	3/19/2025		<b>163426 THAI, SETH</b>						<b>Continued...</b>	
		201.49	UB REFUND 861 CORTLAND DR		485368	20250306B	5301.4997		WATER/SEWER ACCT REFUNDS	WATER & SEWER FUND REVENUE
		201.49								
322597	3/19/2025		<b>100777 THRYV</b>							
		29.13	YELLOW PAGES		485536	110115110MAR25	2205.6239		PRINTING	GOLF MANAGEMENT
		29.13								
322598	3/19/2025		<b>120890 VALLEY VIEW GLASS &amp; SCREEN</b>							
		856.00	FS1 REPLACE 4 WINDOW PAINS		485420	20250228	1340.6266		REPAIRS-BUILDING	FIRE BLDG & GROUNDS MNTC
		856.00								
322599	3/19/2025		<b>100839 VALLEY-RICH COMPANY INC</b>							
		7,154.54	WATER MAIN BRK RPR 6585 134TH		485416	34264	5330.6269		REPAIRS-OTHER	WTR MAIN/HYDRANT/CURB STOP MNT
		7,154.54								
322600	3/19/2025		<b>163427 VENDELA, LISA</b>							
		150.00	REBATE 15525 EAGLE SHORE DR		485366	20250306D	5301.4910		WATER CHARGES	WATER & SEWER FUND REVENUE
		150.00								
322601	3/19/2025		<b>152720 VERIZON</b>							
		1,959.60	VERIZON CONNECT SERVICES		485455	316000062738	1530.6237		TELEPHONE/PAGERS	FLEET & BUILDINGS-CMF
		1,959.60								
322602	3/19/2025		<b>100631 VERIZON WIRELESS</b>							
		40.01	IA1 WIRELESS IPAD		485513	6107721434	5250.6237		TELEPHONE/PAGERS	ARENA 1 CONCESSIONS
		40.01	UTIL WIRELESS DATA IPAD		485513	6107721434	5305.6237		TELEPHONE/PAGERS	WATER MGMT/REPORT/DATA ENTRY
		80.02								
322603	3/19/2025		<b>143722 VINIFERA MINNESOTA</b>							
		408.00	WINE#1	00051261	485662	326657	5015.6520		WINE	LIQUOR #1 STOCK PURCHASES
		408.00								
322604	3/19/2025		<b>100521 WINE MERCHANTS</b>							
		1,851.00	WINE#3	00022992	485687	7509750	5085.6520		WINE	LIQUOR #3 STOCK PURCHASES
		16.25	FREIGHT#3	00022992	485688	7509750	5085.6550		FREIGHT ON RESALE MDSE	LIQUOR #3 STOCK PURCHASES
		536.00	WINE#1	00022992	485683	7510548	5015.6520		WINE	LIQUOR #1 STOCK PURCHASES
		5.00	FREIGHT#1	00022992	485684	7510548	5015.6550		FREIGHT ON RESALE MDSE	LIQUOR #1 STOCK PURCHASES
		2,680.00	WINE#3	00022992	485689	7510549	5085.6520		WINE	LIQUOR #3 STOCK PURCHASES
		25.00	FREIGHT#3	00022992	485690	7510549	5085.6550		FREIGHT ON RESALE MDSE	LIQUOR #3 STOCK PURCHASES
		271.98	WINE#3	00022992	485691	7510550	5085.6520		WINE	LIQUOR #3 STOCK PURCHASES

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322604	3/19/2025		<b>100521 WINE MERCHANTS</b>						<b>Continued...</b>	
		8.13	FREIGHT#3	00022992	485692	7510550	5085.6550		FREIGHT ON RESALE MDSE	LIQUOR #3 STOCK PURCHASES
		432.00	WINE#1	00022992	485685	7511353	5015.6520		WINE	LIQUOR #1 STOCK PURCHASES
		5.00	FREIGHT#1	00022992	485686	7511353	5015.6550		FREIGHT ON RESALE MDSE	LIQUOR #3 STOCK PURCHASES
		152.00	WINE#3	00022992	485693	7511354	5085.6520		WINE	LIQUOR #3 STOCK PURCHASES
		1.25	FREIGHT#3	00022992	485694	7511354	5085.6550		FREIGHT ON RESALE MDSE	LIQUOR #3 STOCK PURCHASES
		308.00	WINE#3	00022992	485695	7511355	5085.6520		WINE	LIQUOR #3 STOCK PURCHASES
		3.13	FREIGHT#3	00022992	485696	7511355	5085.6550		FREIGHT ON RESALE MDSE	LIQUOR #3 STOCK PURCHASES
		6,294.74								
322605	3/19/2025		<b>163425 WISE, WENDY ANN</b>							
		262.64	UB REFUND 15377 EAGLE BAY WAY		485369	20250306A	5301.4997		WATER/SEWER ACCT REFUNDS	WATER & SEWER FUND REVENUE
		262.64								
322606	3/19/2025		<b>100363 XCEL ENERGY</b>							
		332.21	STREET LIGHTS ELECTRIC		485702	5168727942MAR25	5805.6545		NON-TAXABLE MISC FOR RESALE	STREET LIGHT UTILITY FUND
		332.21								
20250153	1/27/2025		<b>120679 U S BANK P CARD</b>							
		269.00	LEADERSHIP TRAINING-BOOTH		484515	240007750235000 21351423	1225.6275		SCHOOLS/CONFERENCES/EXP LOCAL POLICE TRAINING	
			<b>Supplier</b> 163260 PRAETORIAN (PCARD)							
		500.00	EROSION CNTRL WAITEPK-HARTMAN		484262	240113450115000 04983898	5505.6276		SCHOOLS/CONFERENCES/EXP OTHERSTORM DRAIN MNTC/RPR/SUMPS	
			<b>Supplier</b> 147373 MN EROSION CONTROL (PCARD)							
		150.00	ZOLA AD		484264	240113450115000 33973290	2270.6239		PRINTING	GOLF FOOD & BEVERAGE
			<b>Supplier</b> 160884 ZOLA.COM VENDORS (PCARD)							
		68.63	SAFETY EQUIPMENT COVERALS		484481	240113450160000 54504772	5330.6229		GENERAL SUPPLIES	WTR MAIN/HYDRANT/CURB STOP MNT
		68.64	SAFETY EQUIPMENT COVERALS		484481	240113450160000 54504772	5375.6229		GENERAL SUPPLIES	SEWER MAINTENANCE AND REPAIR
			<b>Supplier</b> 140339 AMAZON.COM (PCARD)							
		299.00	DE-ESCALATION -TRNG TOLLEFSON		484488	240113450215000 05264155	1225.6275		SCHOOLS/CONFERENCES/EXP LOCAL POLICE TRAINING	
		299.00	DE-ESCALATION -TRNG KLINE		484488	240113450215000 05264155	1225.6275		SCHOOLS/CONFERENCES/EXP LOCAL POLICE TRAINING	
		299.00	DE-ESCALATION -TRNG DEMO		484488	240113450215000 05264155	1225.6275		SCHOOLS/CONFERENCES/EXP LOCAL POLICE TRAINING	
			<b>Supplier</b> 156535 STORM TRAINING GROUP (PCARD)							
		96.00	BITLY YEARLY SUBSCRIPTION		484506	240113450235000	1010.6308		SOFTWARE SUBSCRIPTIONS	ADMINISTRATION

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20250153	1/27/2025		120679 U S BANK P CARD						Continued...	
						02563045				
			Supplier 161219 BITLY.COM (PCARD)							
10.56-			SR CTR SALES TAX ADJUST		484505	240113450235000	1920.6266		REPAIRS-BUILDING	SENIOR CENTER
						11376546				
10.56			SR CTR SALES TAX ADJUST		484505	240113450235000	1000.2330		DUE TO OTHER GOVERNMENT	GENERAL FUND BALANCE SHEET
						11376546				
140.65			AIR FILTERS		484505	240113450235000	1920.6266		REPAIRS-BUILDING	SENIOR CENTER
						11376546				
			Supplier 157614 FILTERBUY.COM (PCARD)							
469.97			RUNNING BOARDS #245		484479	240362950167425	1765.6215		EQUIPMENT-PARTS	PARK EQUIPMENT MAINTENANCE
						93007456				
			Supplier 154726 ETRAILER CORP (PCARD)							
6.62-			POL SALES TAX ADJUST		484476	240362950167445	1272.6229		GENERAL SUPPLIES	POLICE DAK CTY MAAG TEAM
						78360090				
6.62			POL SALES TAX ADJUST		484476	240362950167445	1000.2330		DUE TO OTHER GOVERNMENT	GENERAL FUND BALANCE SHEET
						78360090				
88.12			MACK WEAPON LIGHT SWITCH		484476	240362950167445	1272.6229		GENERAL SUPPLIES	POLICE DAK CTY MAAG TEAM
						78360090				
			Supplier 155772 OPTICSPLANET (PCARD)							
43.19			TRNG-UBER-BECKER-FORTWORTH TX		484489	240362950207162	1210.6276		SCHOOLS/CONFERENCES/EXP OTHERPOLICE FIELD OPERATIONS/PATROL	
						31699647				
6.50			TRNG-UBER-BECKER-FORTWORTH TX		484490	240362950207422	1210.6276		SCHOOLS/CONFERENCES/EXP OTHERPOLICE FIELD OPERATIONS/PATROL	
						31704195				
12.58			TRNG-UBER-BECKER-FORTWORTH TX		484498	240362950217123	1210.6276		SCHOOLS/CONFERENCES/EXP OTHERPOLICE FIELD OPERATIONS/PATROL	
						29722747				
2.00			TRNG-UBER-BECKER-FORTWORTH TX		484499	240362950217123	1210.6276		SCHOOLS/CONFERENCES/EXP OTHERPOLICE FIELD OPERATIONS/PATROL	
						88943713				
2.50			TRNG-UBER-BECKER-FORTWORTH TX		484501	240362950217163	1210.6276		SCHOOLS/CONFERENCES/EXP OTHERPOLICE FIELD OPERATIONS/PATROL	
						29772461				
9.09			TRNG-UBER-BECKER-FORTWORTH TX		484500	240362950217423	1210.6276		SCHOOLS/CONFERENCES/EXP OTHERPOLICE FIELD OPERATIONS/PATROL	
						88914505				
1.50			TRNG-UBER-BECKER-FORTWORTH TX		485386	240362950227144	1210.6276		SCHOOLS/CONFERENCES/EXP OTHERPOLICE FIELD OPERATIONS/PATROL	
						65466856				
12.90			TRNG-UBER-BECKER-FORTWORTH TX		485387	240362950227444	1210.6276		SCHOOLS/CONFERENCES/EXP OTHERPOLICE FIELD OPERATIONS/PATROL	
						65247923				
5.79					485392	240362950237125	1210.6275		SCHOOLS/CONFERENCES/EXP LOCAL POLICE FIELD OPERATIONS/PATROL	
						26947863				
12.97			TRNG-UBER-BECKER-FORTWORTH TX		485388	240362950237186	1210.6276		SCHOOLS/CONFERENCES/EXP OTHERPOLICE FIELD OPERATIONS/PATROL	
						10742425				

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20250153	1/27/2025		<b>120679 U S BANK P CARD</b>						<b>Continued...</b>	
		1.50	TRNG-UBER-BECKER-FORTWORTH TX		485389	240362950237446 69031965	1210.6276		SCHOOLS/CONFERENCES/EXP OTHERPOLICE FIELD OPERATIONS/PATROL	
		7.26	TRNG-UBER-BECKER-FORTWORTH TX		484519	240362950237446 70911999	1210.6276		SCHOOLS/CONFERENCES/EXP OTHERPOLICE FIELD OPERATIONS/PATROL	
		1.85	TRNG-UBER-BECKER-FORTWORTH TX		484520	240362950237446 70963479	1210.6276		SCHOOLS/CONFERENCES/EXP OTHERPOLICE FIELD OPERATIONS/PATROL	
		15.15	TRNG-UBER-BECKER-FORTWORTH TX		485390	240362950247127 01964971	1210.6276		SCHOOLS/CONFERENCES/EXP OTHERPOLICE FIELD OPERATIONS/PATROL	
		17.96	TRNG-UBER-BECKER-FORTWORTH TX		485391	240362950247426 81532696	1210.6276		SCHOOLS/CONFERENCES/EXP OTHERPOLICE FIELD OPERATIONS/PATROL	
			<b>Supplier</b> 150670 UBER (PCARD)							
		842.70	LUNDER VEHICLE TACTICS COURSE		484454	240646650150000 02070809	1225.6275		SCHOOLS/CONFERENCES/EXP LOCAL POLICE TRAINING	
			<b>Supplier</b> 163263 FH GREY GROUP (PCARD)							
		3,417.16	ID CARD PRINTER		484437	241164150137161 80771211	1200.6211		SMALL TOOLS & EQUIPMENT	POLICE MANAGEMENT
			<b>Supplier</b> 155660 BARCODESINC (PCARD)							
		373.92	SCOPE MOUNT FOR LPVO OPTIC		484477	241164150162146 19085590	1272.6229		GENERAL SUPPLIES	POLICE DAK CTY MAAG TEAM
			<b>Supplier</b> 163266 REPTILIA (PCARD)							
		17.26	BUSINESS CARDS		484254	241374650115010 56240711	1200.6239		PRINTING	POLICE MANAGEMENT
			<b>Supplier</b> 100577 OFFICE MAX (PCARD)							
		356.65	BUILDING REPAIRS		484446	241374650161002 95822010	2215.6266		REPAIRS-BUILDING	GOLF CLUBHOUSE BUILDING
			<b>Supplier</b> 148085 MENARDS (PCARD)							
		4.55-	POL SALES TAX ADJUST		484504	241374650235008 25367025	1200.6229		GENERAL SUPPLIES	POLICE MANAGEMENT
		4.55	POL SALES TAX ADJUST		484504	241374650235008 25367025	1000.2330		DUE TO OTHER GOVERNMENT	GENERAL FUND BALANCE SHEET
		60.53	BUSINESS CARDS		484504	241374650235008 25367025	1200.6229		GENERAL SUPPLIES	POLICE MANAGEMENT
			<b>Supplier</b> 100577 OFFICE MAX (PCARD)							
		38.07	SUPPLIES FOR BAR		484510	241374650240014 49887638	2270.6420		GOLF-FOOD	GOLF FOOD & BEVERAGE
			<b>Supplier</b> 149661 HY VEE (PCARD)							
		.89-	PARKS SALES TAX ADJUST		484260	241640750100910 16153281	1800.6229		GENERAL SUPPLIES	REC PROGRAM GENERAL
		.89	PARKS SALES TAX ADJUST		484260	241640750100910	1000.2330		DUE TO OTHER GOVERNMENT	GENERAL FUND BALANCE SHEET

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20250153	1/27/2025		120679 U S BANK P CARD						Continued...	
						16153281				
		11.88	HAND PUMP & NEEDLES		484260	241640750100910	1800.6229		GENERAL SUPPLIES	REC PROGRAM GENERAL
						16153281				
		.32-	POL SALES TAX ADJUST		484441	241640750140910	1200.6229		GENERAL SUPPLIES	POLICE MANAGEMENT
						07424978				
		.32	POL SALES TAX ADJUST		484441	241640750140910	1000.2330		DUE TO OTHER GOVERNMENT	GENERAL FUND BALANCE SHEET
						07424978				
		4.30	TENNIS BALLS		484441	241640750140910	1200.6229		GENERAL SUPPLIES	POLICE MANAGEMENT
						07424978				
		7.00	HOME SCHOOL JAN		484473	241640750160910	1845.6229		GENERAL SUPPLIES	REC SELF SUPPORT PROG GENERAL
						07215168				
		11.99	PS GENERAL		484473	241640750160910	1875.6229		GENERAL SUPPLIES	REC PRESCHOOL PROGRAMS
						07215168				
			Supplier 100463 TARGET STORES (PCARD)							
		1.46-	AVCC SALES TAX ADJUST		484456	242263850160059	1900.6229		GENERAL SUPPLIES	AV COMMUNITY CENTER
						68002950				
		1.46	AVCC SALES TAX ADJUST		484456	242263850160059	1000.2330		DUE TO OTHER GOVERNMENT	GENERAL FUND BALANCE SHEET
						68002950				
		19.40	AVCC KLEENEX		484456	242263850160059	1900.6229		GENERAL SUPPLIES	AV COMMUNITY CENTER
						68002950				
			Supplier 149714 SAMS CLUB (PCARD)							
		385.00	AFO CERTIFICATION - HILL		484503	242476050223005	1940.6275		SCHOOLS/CONFERENCES/EXP LOCAL AQUATIC SWIM CENTER	
						49829510				
			Supplier 156532 HORIZON COMMERCIAL POOL (PCARD)							
		300.00	DAY CAMP SITE		484451	242707450159000	1865.6310		RENTAL EXPENSE	REC DAY CAMP
						14366477				
			Supplier 157020 CITY OF PRIOR LAKE (PCARD)							
		21.79-	PARKS SALES TAX ADJUST		484445	242753950149000	1860.6229		GENERAL SUPPLIES	REC VOLLEYBALL
						17550333				
		21.79	PARKS SALES TAX ADJUST		484445	242753950149000	1000.2330		DUE TO OTHER GOVERNMENT	GENERAL FUND BALANCE SHEET
						17550333				
		289.99	VOLLEYBALL NET CABLES		484445	242753950149000	1860.6229		GENERAL SUPPLIES	REC VOLLEYBALL
						17550333				
		27.09-	PARKS SALES TAX ADJUST		484497	242753950219000	1860.6229		GENERAL SUPPLIES	REC VOLLEYBALL
						18052512				
		27.09	PARKS SALES TAX ADJUST		484497	242753950219000	1000.2330		DUE TO OTHER GOVERNMENT	GENERAL FUND BALANCE SHEET
						18052512				
		360.23	VOLLEYBALL NET CABLES & WRENCH		484497	242753950219000	1860.6229		GENERAL SUPPLIES	REC VOLLEYBALL
						18052512				
			Supplier							

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20250153	1/27/2025		<b>120679 U S BANK P CARD</b>						<b>Continued...</b>	
			158215 GILLPORTER.COM (PCARD)							
		735.73	TV REPLACEMENT (2)		484259	243990050105036	2215.6229		GENERAL SUPPLIES	GOLF CLUBHOUSE BUILDING
						40004361				
		237.86	TV REPLACEMENT		484250	243990050105036	2215.6229		GENERAL SUPPLIES	GOLF CLUBHOUSE BUILDING
						41064117				
			<b>Supplier</b> 113057 BEST BUY (PCARD)							
		37.83	BREAK ROOM WATER/WATER SOFTEN		484251	244273350107302	5095.6229		GENERAL SUPPLIES	LIQUOR #3 OPERATIONS
						56524161				
		73.97	MCNULTY PROMO BADGING		484267	244273350137302	1300.6229		GENERAL SUPPLIES	FIRE MANAGEMENT
						54024526				
			<b>Supplier</b> 148071 CUB FOODS (PCARD)							
		104.29	PEER SUPPORT CONSULTING		484442	244273350147302	1200.6229		GENERAL SUPPLIES	POLICE MANAGEMENT
						55763923				
			<b>Supplier</b> 150735 LUNDS & BYERLYS (PCARD)							
		5.28	HOME SCHOOL JANUARY		484474	244273350167302	1845.6229		GENERAL SUPPLIES	REC SELF SUPPORT PROG GENERAL
						60402101				
		9.98	PS HIBERNATION - JANUARY		484474	244273350167302	1875.6229		GENERAL SUPPLIES	REC PRESCHOOL PROGRAMS
						60402101				
			<b>Supplier</b> 148071 CUB FOODS (PCARD)							
		20.02	TV MOUNTING PARTS		484460	244310650171326	2215.6265		REPAIRS-EQUIPMENT	GOLF CLUBHOUSE BUILDING
						07056201				
			<b>Supplier</b> 148060 ACE HARDWARE (PCARD)							
		22.66-	POL SALES TAX ADJUST		484495	244310650211351	1281.6229		GENERAL SUPPLIES	POLICE K-9
						67333955				
		22.66	POL SALES TAX ADJUST		484495	244310650211351	1000.2330		DUE TO OTHER GOVERNMENT	GENERAL FUND BALANCE SHEET
						67333955				
		301.52	FOOD FOR K9		484495	244310650211351	1281.6229		GENERAL SUPPLIES	POLICE K-9
						67333955				
			<b>Supplier</b> 148838 ROYAL CANIN (PCARD)							
		140.00	MLMS SYMPOSIUM-HARTMAN BERGER		484253	244450050103005	5505.6275		SCHOOLS/CONFERENCES/EXP LOCAL STORM DRAIN MNTC/RPR/SUMPS	
						10894532				
			<b>Supplier</b> 163258 MINNESOTA LAKE MANAGE (PCARD)							
		800.00	FORD DIAG TOOL ANNUAL LICENSE		484444	244450050143004	1530.6308		SOFTWARE SUBSCRIPTIONS	FLEET & BUILDINGS-CMF
						91433967				
			<b>Supplier</b> 153311 HELM FORD DIAG SOFTWARE (PCARD)							
		24.28	LIFE SNACKS INVENTORY		484449	244450050160009	7203.6398		LIFE SNACKS	CITY WELLNESS PROGRAM
						19495600				
			<b>Supplier</b> 120473 DOLLAR TREE STORES, INC. (PCARD)							
		7.28-	FIRE SALES TAX ADJUST		484472	244450050174001	1330.6229		GENERAL SUPPLIES	FIRE OPERATIONS



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						61146928				
		7.28	FIRE SALES TAX ADJUST		484472	244450050174001	1000.2330		DUE TO OTHER GOVERNMENT	GENERAL FUND BALANCE SHEET
						61146928				
		108.80	REHAB SUPPLIES		484472	244450050174001	1330.6229		GENERAL SUPPLIES	FIRE OPERATIONS
						61146928				
			Supplier 149714 SAMS CLUB (PCARD)							
		70.00	MNGOFA 2025 DUES-BOSLEY		484511	244450050233004	1035.6280		DUES & SUBSCRIPTIONS	FINANCE
						92645311				
			Supplier 148093 MN GFOA (PCARD)							
		3.66-	PARKS SALES TAX ADJUST		484518	244450050240009	1800.6229		GENERAL SUPPLIES	REC PROGRAM GENERAL
						07669653				
		3.66	PARKS SALES TAX ADJUST		484518	244450050240009	1000.2330		DUE TO OTHER GOVERNMENT	GENERAL FUND BALANCE SHEET
						07669653				
		48.66	GIFT AND ZIPLOCK BAGS		484518	244450050240009	1800.6229		GENERAL SUPPLIES	REC PROGRAM GENERAL
						07669653				
			Supplier 120473 DOLLAR TREE STORES, INC. (PCARD)							
		30.00	SERVER TRAINING FEE		484447	244538850160065	5025.6275		SCHOOLS/CONFERENCES/EXP LOCAL LIQUOR #1 OPERATIONS	
						04223137				
		45.00	SERVER TRAINING FEE		484447	244538850160065	5095.6275		SCHOOLS/CONFERENCES/EXP LOCAL LIQUOR #3 OPERATIONS	
						04223137				
			Supplier 155888 MN LICENSED BEVERAGE ASSOC (PCARD)							
		32.45	PARTS FOR IRRIGATION TRUCK		484434	244921650140000	1720.6229		GENERAL SUPPLIES	PARK GROUNDS MAINTENANCE
						02134427				
			Supplier 163261 DECKED (PCARD)							
		20.00	CHATGPT PLUS MONTHLY SUB		484443	244921650140000	1010.6308		SOFTWARE SUBSCRIPTIONS	ADMINISTRATION
						13099015				
			Supplier 161101 CHATGPT SUBSCRIPTION (PCARD)							
		52.50-	PARKS MWF SALES TAX ADJUST		484455	244921650160000	1800.6229		GENERAL SUPPLIES	REC PROGRAM GENERAL
						02183125				
		52.50	PARKS MWF SALES TAX ADJUST		484455	244921650160000	1000.2330		DUE TO OTHER GOVERNMENT	GENERAL FUND BALANCE SHEET
						02183125				
		692.50	MWF HEATED MATS FOR STAGE		484455	244921650160000	1800.6229		GENERAL SUPPLIES	REC PROGRAM GENERAL
						02183125				
			Supplier 163259 HEATTRAK (PCARD)							
		89.45-	FIRE SALES TAX ADJUST		484478	244921650175000	1340.6215		EQUIPMENT-PARTS	FIRE BLDG & GROUNDS MNTC
						01451729				
		89.45	FIRE SALES TAX ADJUST		484478	244921650175000	1000.2330		DUE TO OTHER GOVERNMENT	GENERAL FUND BALANCE SHEET
						01451729				
		1,190.45	FS1 HOT WATER HEATER PUMP		484478	244921650175000	1340.6215		EQUIPMENT-PARTS	FIRE BLDG & GROUNDS MNTC

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20250153	1/27/2025		120679 U S BANK P CARD						Continued...	
						01451729				
			Supplier 163267 WATERHEATINGDIREC (PCARD)							
		29.00	PUB ED MAGNETS		484492	244921650225000	1320.6229		GENERAL SUPPLIES	FIRE PREVENTION
						00831452				
		19.00	PUB ED COASTERS		484514	244921650235000	1320.6229		GENERAL SUPPLIES	FIRE PREVENTION
						22940538				
			Supplier 161727 STICKER MULE (PCARD)							
		22.00	FORFEITURE FORMS		484502	245593050229000	1200.6239		PRINTING	POLICE MANAGEMENT
						17647374				
			Supplier 157241 MINNESOTA COUNTY ATTORNEY (PCARD)							
		250.00	MOCIC MEMBERSHIP		484255	246392350129000	1200.6280		DUES & SUBSCRIPTIONS	POLICE MANAGEMENT
						10100954				
			Supplier 158425 MOCIC (PCARD)							
		160.50	MILWAUKEE SPOTLIGHTS FOREMAN		484261	246921650101013	5375.6211		SMALL TOOLS & EQUIPMENT	SEWER MAINTENANCE AND REPAIR
						88365973				
			Supplier 140339 AMAZON.COM (PCARD)							
		72.00	NP STRATEGIES MEMBERSHIP		484256	246921650101014	1200.6280		DUES & SUBSCRIPTIONS	POLICE MANAGEMENT
						87358226				
			Supplier 163265 IN NP STRATEGIES (PCARD)							
		72.44	REPL 12 V BATTERIES		484266	246921650121030	5330.6211		SMALL TOOLS & EQUIPMENT	WTR MAIN/HYDRANT/CURB STOP MNT
						79092799				
		43.70	REPAIR ICE EDGER		484435	246921650131038	5270.6265		REPAIRS-EQUIPMENT	ARENA 2 EQUIPMENT MAINT-HAYES
						48979663				
			Supplier 140339 AMAZON.COM (PCARD)							
		150.00	EXPLORER POST REGISTRATION		484432	246921650131039	1210.6280		DUES & SUBSCRIPTIONS	POLICE FIELD OPERATIONS/PATROL
						15225594				
			Supplier 153314 MN LAW ENFORCEMENT (PCARD)							
		17.58-	FIRE SALES TAX ADJUST		484430	246921650131039	1330.6211		SMALL TOOLS & EQUIPMENT	FIRE OPERATIONS
						26012551				
		17.58	FIRE SALES TAX ADJUST		484430	246921650131039	1000.2330		DUE TO OTHER GOVERNMENT	GENERAL FUND BALANCE SHEET
						26012551				
		231.37	TABLE SAW STAND		484430	246921650131039	1330.6211		SMALL TOOLS & EQUIPMENT	FIRE OPERATIONS
						26012551				
		24.60-	FIRE SALES TAX ADJUST		484431	246921650131039	1330.6211		SMALL TOOLS & EQUIPMENT	FIRE OPERATIONS
						26012569				
		24.60	FIRE SALES TAX ADJUST		484431	246921650131039	1000.2330		DUE TO OTHER GOVERNMENT	GENERAL FUND BALANCE SHEET
						26012569				
		323.80	TABLE SAW		484431	246921650131039	1330.6211		SMALL TOOLS & EQUIPMENT	FIRE OPERATIONS
						26012569				
			Supplier							

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20250153	1/27/2025		120679 U S BANK P CARD						Continued...	
			153081 LOWES (PCARD)							
		123.35	REBUILD ICE EDGER		484450	246921650151049	5215.6265		REPAIRS-EQUIPMENT	ARENA 1 EQUIPMENT MAINTENANCE
						50708989				
		77.75	SAFETY EQUIPMENT BOOTS		484459	246921650151052	5330.6229		GENERAL SUPPLIES	WTR MAIN/HYDRANT/CURB STOP MNT
						12069292				
		77.75	SAFETY EQUIPMENT BOOTS		484459	246921650151052	5375.6229		GENERAL SUPPLIES	SEWER MAINTENANCE AND REPAIR
						12069292				
			Supplier 140339 AMAZON.COM (PCARD)							
		32.00	LAKEVILLE TROPHY		484453	246921650151055	1200.6229		GENERAL SUPPLIES	POLICE MANAGEMENT
						38458070				
			Supplier 148998 LAKEVILLE TROPHY (PCARD)							
		73.53	MILWAUKEE REPL BATTERIES		484480	246921650161063	5330.6211		SMALL TOOLS & EQUIPMENT	WTR MAIN/HYDRANT/CURB STOP MNT
						83629970				
			Supplier 140339 AMAZON.COM (PCARD)							
		42.16	WSJ ONLINE SUBSCRIPTION		484482	246921650171066	1030.6280		DUES & SUBSCRIPTIONS	INFORMATION TECHNOLOGY
						17988027				
			Supplier 157029 WSJ BARRONS SUBSCRIPT (PCARD)							
		44.14	REBUILD ICE EDGER		484484	246921650171066	5215.6265		REPAIRS-EQUIPMENT	ARENA 1 EQUIPMENT MAINTENANCE
						61113944				
			Supplier 140339 AMAZON.COM (PCARD)							
		73.04	GENERAL TABLE COVER		484475	246921650171068	1875.6229		GENERAL SUPPLIES	REC PRESCHOOL PROGRAMS
						22529137				
			Supplier 102901 PARTY CITY (PCARD)							
		85.17	REPL MILWAUKEE SPOT-MANAGERS		484487	246921650171068	5375.6211		SMALL TOOLS & EQUIPMENT	SEWER MAINTENANCE AND REPAIR
						64403647				
		122.68	REBUILD ICE EDGER		484485	246921650171072	5270.6215		EQUIPMENT-PARTS	ARENA 2 EQUIPMENT MAINT-HAYES
						33547155				
		29.18	REPL LIGHT- MANAGERS		484992	246921650181075	5330.6211		SMALL TOOLS & EQUIPMENT	WTR MAIN/HYDRANT/CURB STOP MNT
						74141567				
		1.86-	STREETS SALES TAX ADJUST		484521	246921650231014	1610.6215		EQUIPMENT-PARTS	STREET/BOULEVARD REPAIR & MNTC
						83751320				
		1.86	STREETS SALES TAX ADJUST		484521	246921650231014	1000.2330		DUE TO OTHER GOVERNMENT	GENERAL FUND BALANCE SHEET
						83751320				
		24.76	CHAINSAW CARB		484521	246921650231014	1610.6215		EQUIPMENT-PARTS	STREET/BOULEVARD REPAIR & MNTC
						83751320				
			Supplier 140339 AMAZON.COM (PCARD)							
		9.88-	PARKS SALES TAX ADJUST		484517	246921650231019	1800.6229		GENERAL SUPPLIES	REC PROGRAM GENERAL
						14237865				
		9.88	PARKS SALES TAX ADJUST		484517	246921650231019	1000.2330		DUE TO OTHER GOVERNMENT	GENERAL FUND BALANCE SHEET

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20250153	1/27/2025		120679 U S BANK P CARD						Continued...	
						14237865				
		109.88	ST. PAUL SAINTS MASCOT MWF		484517	246921650231019	1800.6229		GENERAL SUPPLIES	REC PROGRAM GENERAL
						14237865				
			Supplier 161292 DBH ST PAUL LLC (PCARD)							
		229.00	VET EYE CONSULTATION		484433	247017750130202	1281.6235		CONSULTANT SERVICES	POLICE K-9
						00403865				
			Supplier 163262 VET EYE PROS (PCARD)							
		300.00	DOWN PAYMENT FOR MN ZOO TRIP		484265	247170550132601	1825.6399		OTHER CHARGES	REC SUMMER PLAYGROUND ACTIVITY
						39296423				
			Supplier 163264 MN ZOO ONLINE (PCARD)							
		77.71	PESTICIDE RENEWAL - PARRUCCI		484440	247170550157301	1720.6280		DUES & SUBSCRIPTIONS	PARK GROUNDS MAINTENANCE
						54418183				
			Supplier 148091 MN DEPT OF AGRICULTURE (PCARD)							
		120.00	NOTARY RENEWAL - MELLESMOEN		484491	247170550227302	1200.6280		DUES & SUBSCRIPTIONS	POLICE MANAGEMENT
						25656457				
			Supplier 149995 SECRETARY OF STATE (PCARD)							
		75.00	DMT RECERTIFICATION-BOOTH		484516	247170550241202	1225.6275		SCHOOLS/CONFERENCES/EXP LOCAL POLICE TRAINING	
						43217524				
			Supplier 150045 BCA TRAINING EDUCATION (PCARD)							
		91.34	HAND SOAP FOR STATIONS		484448	247554250162901	1350.6229		GENERAL SUPPLIES	FIRE VEHICLE MAINTENANCE
						61055889				
			Supplier 150630 ZORO TOOLS (PCARD)							
		855.63	VOLLEYBALL NETS (2)		484496	247554250227302	1860.6229		GENERAL SUPPLIES	REC VOLLEYBALL
						25799461				
			Supplier 146421 EPIC SPORTS (PCARD)							
		135.00	IIMC DUES - MARSCHALL		484513	247554250241302	1015.6280		DUES & SUBSCRIPTIONS	CITY CLERK/ELECTIONS
						45071991				
		235.00	IIMC DUES - SCIPIONI		484512	247554250241302	1015.6280		DUES & SUBSCRIPTIONS	CITY CLERK/ELECTIONS
						45072015				
			Supplier 148080 IIMC (PCARD)							
		139.85	2 VESTS - M SAAM		484452	247679050150326	1500.6281		UNIFORM/CLOTHING ALLOWANCE	PW MANAGEMENT
						01477762				
			Supplier 155374 LLBEAN DIRECT (PCARD)							
		1,785.98	FUEL TANK AND PUMP 140TH PIPE		484263	247933850100017	5375.6211		SMALL TOOLS & EQUIPMENT	SEWER MAINTENANCE AND REPAIR
						00034079				
		104.48	FUEL HOSE 140TH PUMP		484458	247933850150014	5375.6215	2025127S	EQUIPMENT-PARTS	SEWER MAINTENANCE AND REPAIR
						93403072				
			Supplier 159162 NTE 5425 (PCARD)							
		54.00	EMAIL CAMPAIGN MONTHLY		484483	247933850170007	1200.6308		SOFTWARE SUBSCRIPTIONS	POLICE MANAGEMENT

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20250153	1/27/2025		120679 U S BANK P CARD						Continued...	
						02961076				
			Supplier 141272 MAILCHIMP (PCARD)							
303.03			GREASE GUN & SHOVEL		484509	247933850220013	1610.6211		SMALL TOOLS & EQUIPMENT	STREET/BOULEVARD REPAIR & MNTC
						51098072				
			Supplier 159162 NTE 5425 (PCARD)							
250.00			2025 MIAMA MEMBERSHIP		484457	248019750152136	5205.6280		DUES & SUBSCRIPTIONS	ARENA 1 MANAGEMENT
						13845201				
			Supplier 148089 MIAMA (PCARD)							
2,220.08			PAYTON HILL RPZ CERTIFICATION		485385	248019750162140	1775.6275		SCHOOLS/CONFERENCES/EXP LOCAL PARK MAINTENANCE TRAINING	
						73795349				
			Supplier 156611 METRO TESTING (PCARD)							
875.00			CHIRPICH CRIME SCENE		484436	249064150132192	1200.6275		SCHOOLS/CONFERENCES/EXP LOCAL POLICE MANAGEMENT	
						70772888				
			Supplier 152831 CITY OF BURNSVILLE (PCARD)							
125.00			FBINAA MEMBERSHIP FRANCIS		484461	249064150162195	1200.6280		DUES & SUBSCRIPTIONS	POLICE MANAGEMENT
						51224028				
			Supplier 148074 FBI NATL ACADEMY ASSOC (PCARD)							
875.00			SMITH CRIME SCENE INVEST.		484486	249064150172196	1200.6275		SCHOOLS/CONFERENCES/EXP LOCAL POLICE MANAGEMENT	
						31384031				
			Supplier 152831 CITY OF BURNSVILLE (PCARD)							
5.44-			POL SALES TAX ADJUST		484508	249416650220961	1200.6229		GENERAL SUPPLIES	POLICE MANAGEMENT
						32310271				
5.44			POL SALES TAX ADJUST		484508	249416650220961	1000.2330		DUE TO OTHER GOVERNMENT	GENERAL FUND BALANCE SHEET
						32310271				
72.42			K9 EQUIPMENT		484508	249416650220961	1200.6229		GENERAL SUPPLIES	POLICE MANAGEMENT
						32310271				
			Supplier 100640 FLEET FARM (PCARD)							
11.99			NON OXY FUEL		484257	249430050111292	1600.6212		MOTOR FUELS/OILS	STREET MANAGEMENT
						54427845				
37.90			NON OXY FUEL		484258	249430050111292	1600.6212		MOTOR FUELS/OILS	STREET MANAGEMENT
						54427878				
47.95			NEW RECRUIT TRAINING-FOOD		484507	249430050231364	1200.6275		SCHOOLS/CONFERENCES/EXP LOCAL POLICE MANAGEMENT	
						04235560				
			Supplier 103023 KWIK TRIP INC (PCARD)							
214.95			K9 STORAGE		484252	249430150110101	1210.6211		SMALL TOOLS & EQUIPMENT	POLICE FIELD OPERATIONS/PATROL
						85763269				
18.16-			UTIL SALES TAX ADJUST		484438	249430150140101	5375.6211		SMALL TOOLS & EQUIPMENT	SEWER MAINTENANCE AND REPAIR
						90238007				
18.16-			UTIL SALES TAX ADJUST		484438	249430150140101	5330.6211		SMALL TOOLS & EQUIPMENT	WTR MAIN/HYDRANT/CURB STOP MNT

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20250153	1/27/2025		120679 U S BANK P CARD						Continued...	
						90238007				
		18.16	UTIL SALES TAX ADJUST		484438	249430150140101	5300.2330		DUE TO OTHER GOVERNMENT	WATER & SEWER FUND BAL SHEET
						90238007				
		18.16	UTIL SALES TAX ADJUST		484438	249430150140101	5300.2330		DUE TO OTHER GOVERNMENT	WATER & SEWER FUND BAL SHEET
						90238007				
		241.66	MILWAUKEE DRILL SETS		484438	249430150140101	5330.6211		SMALL TOOLS & EQUIPMENT	WTR MAIN/HYDRANT/CURB STOP MNT
						90238007				
		241.66	MILWAUKEE DRILL SETS		484438	249430150140101	5375.6211		SMALL TOOLS & EQUIPMENT	SEWER MAINTENANCE AND REPAIR
						90238007				
		27.57-	UTIL SALES TAX ADJUST		484439	249430150140101	5375.6211		SMALL TOOLS & EQUIPMENT	SEWER MAINTENANCE AND REPAIR
						90241464				
		27.57	UTIL SALES TAX ADJUST		484439	249430150140101	5300.2330		DUE TO OTHER GOVERNMENT	WATER & SEWER FUND BAL SHEET
						90241464				
		414.57	MILWAUKEE CHARGERS		484439	249430150140101	5375.6211		SMALL TOOLS & EQUIPMENT	SEWER MAINTENANCE AND REPAIR
						90241464				
		4.06-	POL SALES TAX ADJUST		484494	249430150220101	1210.6215		EQUIPMENT-PARTS	POLICE FIELD OPERATIONS/PATROL
						91163469				
		4.06	POL SALES TAX ADJUST		484494	249430150220101	1000.2330		DUE TO OTHER GOVERNMENT	GENERAL FUND BALANCE SHEET
						91163469				
		54.03	CABLE FOR ICV REWIRE		484494	249430150220101	1210.6215		EQUIPMENT-PARTS	POLICE FIELD OPERATIONS/PATROL
						91163469				
		200.31	CABLE FOR ICV REWIRE		484493	249430150220101	1210.6215		EQUIPMENT-PARTS	POLICE FIELD OPERATIONS/PATROL
						91164368				
			Supplier 143525 HOME DEPOT STORE #2833 (PCARD)							
		26,803.19								
20250239	2/18/2025		100873 HEALTHPARTNERS (DENTAL CLAIMS							
		3,383.31	DENTAL CLAIMS 2/6-2/12/25		485537	20250212	7105.6146		DENTAL INSURANCE	INSURANCE TRUST DENTAL
		3,383.31								
20250240	2/24/2025		100873 HEALTHPARTNERS (DENTAL CLAIMS							
		3,774.71	DENTAL CLAIMS 2/13-2/19/25		485538	20250219	7105.6146		DENTAL INSURANCE	INSURANCE TRUST DENTAL
		3,774.71								
20250305	3/14/2025		148015 EMPOWER							
		415.00	MNDGP-ROTH 457 CONTRIBUTIONS		485308	31225913599	9000.2120		ACCRUED BENEFIT LIABILITY	PAYROLL CLEARING BAL SHEET
		3,255.00	MNDGP-457 CONTRIBUTIONS		485308	31225913599	9000.2120		ACCRUED BENEFIT LIABILITY	PAYROLL CLEARING BAL SHEET
		3,670.00								
20250306	3/14/2025		148869 EMPOWER (HCSP)							



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20250306	3/14/2025		<b>148869 EMPOWER (HCSP)</b>						<b>Continued...</b>	
		382.29	SERGEANT HCSP FUNDING-GROSS WA		485298	312259135910	9000.2120		ACCRUED BENEFIT LIABILITY	PAYROLL CLEARING BAL SHEET
		897.84	AFSCME HCSP FUNDING-GROSS WAGE		485298	312259135910	9000.2120		ACCRUED BENEFIT LIABILITY	PAYROLL CLEARING BAL SHEET
		1,205.63	ADMIN HCSP FUNDING-GROSS WAGES		485298	312259135910	9000.2120		ACCRUED BENEFIT LIABILITY	PAYROLL CLEARING BAL SHEET
		1,507.71	SCH 2 HCSP FUNDING-GROSS WAGES		485298	312259135910	9000.2120		ACCRUED BENEFIT LIABILITY	PAYROLL CLEARING BAL SHEET
		1,800.80	SCH 1 HCSP FUNDING-GROSS WAGES		485298	312259135910	9000.2120		ACCRUED BENEFIT LIABILITY	PAYROLL CLEARING BAL SHEET
		1,862.14	POLICE HCSP FUNDING-GROSS WAGE		485298	312259135910	9000.2120		ACCRUED BENEFIT LIABILITY	PAYROLL CLEARING BAL SHEET
		3,238.68	HCSP FUNDING-ANN LV/COMP		485298	312259135910	9000.2120		ACCRUED BENEFIT LIABILITY	PAYROLL CLEARING BAL SHEET
		10,895.09								
20250307	3/17/2025		<b>102664 US BANK</b>							
		12,226.71	EMPLOYEE MEDICARE		485306	31225913597	9000.2111		ACCRUED FEDERAL/FICA	PAYROLL CLEARING BAL SHEET
		12,226.71	CITY SHARE MEDICARE		485306	31225913597	9000.2111		ACCRUED FEDERAL/FICA	PAYROLL CLEARING BAL SHEET
		34,637.97	EMPLOYEE FICA		485306	31225913597	9000.2111		ACCRUED FEDERAL/FICA	PAYROLL CLEARING BAL SHEET
		34,637.97	CITY SHARE FICA		485306	31225913597	9000.2111		ACCRUED FEDERAL/FICA	PAYROLL CLEARING BAL SHEET
		80,580.55	FEDERAL TAXES PR		485306	31225913597	9000.2111		ACCRUED FEDERAL/FICA	PAYROLL CLEARING BAL SHEET
		174,309.91								
20250308	3/17/2025		<b>101238 MINNESOTA CHILD SUPPORT PAYMEN</b>							
		443.00	CHILD SUPPORT DEDUCTIONS		485305	31225913596	9000.2120		ACCRUED BENEFIT LIABILITY	PAYROLL CLEARING BAL SHEET
		443.00								
20250309	3/17/2025		<b>100657 MN DEPT OF REVENUE</b>							
		36,944.20	STATE TAX WITHHOLDING		485304	31225913595	9000.2112		ACCRUED STATE W/H	PAYROLL CLEARING BAL SHEET
		36,944.20								
20250310	3/17/2025		<b>100392 PUBLIC EMPLOYEES RETIREMENT AS</b>							
		71,252.66	EMPLOYEE SHARE PERA		485303	31225913594	9000.2114		ACCRUED PERA	PAYROLL CLEARING BAL SHEET
		94,243.08	CITY SHARE PERA		485303	31225913594	9000.2114		ACCRUED PERA	PAYROLL CLEARING BAL SHEET
		165,495.74								
20250311	3/17/2025		<b>157977 WEX HEALTH INC</b>							
		10,233.13	HSA EMPLOYEE FUNDING		485300	312259135912	9000.2125		ACCRUED HSA/HRA BENEFIT	PAYROLL CLEARING BAL SHEET
		10,233.13								
20250312	3/3/2025		<b>157977 WEX HEALTH INC</b>							
		890.78	FLEX SPENDING DAYCARE 2025		485528	20250303	9000.2119		ACCRUED FLEX SPENDING	PAYROLL CLEARING BAL SHEET
		890.78								
20250313	3/10/2025		<b>157977 WEX HEALTH INC</b>							
		582.31	FLEX SPENDING DAYCARE 2025		485529	20250310	9000.2119		ACCRUED FLEX SPENDING	PAYROLL CLEARING BAL SHEET

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20250313	3/10/2025	582.31	157977 WEX HEALTH INC						Continued...	
20250314	3/14/2025	6,403.11	151440 VANTAGEPOINT TRANSFER AGENTS							
		6,403.11	ROTH 457-PLAN #301171-FIRE TOO		485299	312259135911	9000.2120		ACCRUED BENEFIT LIABILITY	PAYROLL CLEARING BAL SHEET
20250315	3/14/2025	27,622.30	100240 VANTAGEPOINT TRANSFER AGENTS - 457 FT							
		27,622.30	ICMA-PLAN #301171-FIRE TOO		485301	31225913592	9000.2120		ACCRUED BENEFIT LIABILITY	PAYROLL CLEARING BAL SHEET
20250316	3/14/2025	2,461.23	126459 VANTAGEPOINT TRANSFER AGENTS - ROTH							
		2,461.23	ROTH IRA-PLAN #705481		485307	31225913598	9000.2120		ACCRUED BENEFIT LIABILITY	PAYROLL CLEARING BAL SHEET
		1,694,277.22	Grand Total							

## Payment Instrument Totals

Checks	598,682.23
EFT Payments	473,912.01
A/P ACH Payment	621,682.98
Total Payments	1,694,277.22

705 3/19/25  
Rk 3/19/25

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<u>Company</u>	<u>Amount</u>
01000 GENERAL FUND	168,877.74
02025 ROAD ESCROW FUND	295,875.90
02090 PARTNERS IN EDUCATION	1,346.80
02200 VALLEYWOOD GOLF FUND	5,655.69
02300 PARKS REFERENDUM FUND	1,996.53
03210 EDA OPERATIONS FUND	491.32
04430 2024A CAPITAL PROJECT CIP FUND	149,213.50
04500 CONSTRUCTION PROJECTS	5,581.00
04750 ELECTRIC FRANCHISE	91.74
05000 LIQUOR FUND	62,324.82
05200 ARENA FUND	2,385.82
05300 WATER & SEWER FUND	504,109.92
05500 STORM DRAINAGE UTILITY FUND	16,525.81
05600 CEMETERY FUND LEVEL PROGRAM	8,982.78
05800 STREET LIGHT UTIL FUND	9,531.29
07100 INSURANCE TRUST DENTAL FUND	7,158.02
07200 RISK MANAGEMENT/INSURANCE FUND	24.28
07400 VERF-POLICE	7,139.91
09000 PAYROLL CLEARING FUND	446,964.35
Report Totals	1,694,277.22

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<b>34074</b>	<b>3/28/2025</b>		<b>155911 5 STAR INSPECTIONS INC</b>							
		5,717.33	ELECTRICAL FEES-FEB 25 FINALED		485947	20250311	1400.6243		ELECTRICAL PERMIT FEES	INSPECTIONS MANAGEMENT
		509.10	ELECT. FEES-FEB 25 EXPIRED P		485946	20250311A	1400.6243		ELECTRICAL PERMIT FEES	INSPECTIONS MANAGEMENT
		<u>6,226.43</u>								
<b>34075</b>	<b>3/28/2025</b>		<b>100101 ACE HARDWARE</b>							
		2.39-	DISCOUNT		485930	350130100178	1330.6333		GENERAL-CASH DISCOUNTS	FIRE OPERATIONS
		23.98	BROOM HANDLE (2)		485930	350130100178	1330.6215		EQUIPMENT-PARTS	FIRE OPERATIONS
		29.99	HOSE FOR FS3		486393	350130100183	1340.6215		EQUIPMENT-PARTS	FIRE BLDG & GROUNDS MNTC
		.29-	DISCOUNT		486386	350130100200	1350.6333		GENERAL-CASH DISCOUNTS	FIRE VEHICLE MAINTENANCE
		2.99	PART FOR 4990 (FRIDGE LATCH)		486386	350130100200	1350.6215		EQUIPMENT-PARTS	FIRE VEHICLE MAINTENANCE
		1.75-	DISCOUNT		485929	350132100176	5265.6266		REPAIRS-BUILDING	ARENA 2 BLDG MAINTENANCE-HAYES
		17.52	FASTNERS		485929	350132100176	5265.6266		REPAIRS-BUILDING	ARENA 2 BLDG MAINTENANCE-HAYES
		1.59-	DISCOUNT		486385	350133100194	1540.6333		GENERAL-CASH DISCOUNTS	CMF BUILDINGS & GROUNDS MNTC
		15.98	TOOLS FOR TV INSTALL CMF		486385	350133100194	1540.6229		GENERAL SUPPLIES	CMF BUILDINGS & GROUNDS MNTC
		7.99-	DISCOUNT		486390	350134100173	1900.6333		GENERAL-CASH DISCOUNTS	AV COMMUNITY CENTER
		79.91	AVCC BUNGEE CORDS, TRASH CAN		486390	350134100173	1900.6229		GENERAL SUPPLIES	AV COMMUNITY CENTER
		4.65-	DISCOUNT		486389	350134100217	1920.6333		GENERAL-CASH DISCOUNTS	SENIOR CENTER
		46.58	LANDSCAPE EDGING		486389	350134100217	1920.6215		EQUIPMENT-PARTS	SENIOR CENTER
		27.96	CUTLERY		485931	350135100186	1210.6211		SMALL TOOLS & EQUIPMENT	POLICE FIELD OPERATIONS/PATROL
		27.96-	RETURN		485932	350135100187	1210.6211		SMALL TOOLS & EQUIPMENT	POLICE FIELD OPERATIONS/PATROL
		5.39-	DISCOUNT		486391	350138100168	1530.6333		GENERAL-CASH DISCOUNTS	FLEET & BUILDINGS-CMF
		53.95	CMF BUILDING STAFF TOOLS		486391	350138100168	1530.6211		SMALL TOOLS & EQUIPMENT	FLEET & BUILDINGS-CMF
		5.43-	DISCOUNT		486392	350139100167	1680.6333		GENERAL-CASH DISCOUNTS	TRAFFIC SIGNS/SIGNALS/MARKERS
		54.30	MISC. TOOLS		486392	350139100167	1680.6211		SMALL TOOLS & EQUIPMENT	TRAFFIC SIGNS/SIGNALS/MARKERS
		1.29-	DISCOUNT		486387	350139100202	1610.6333		GENERAL-CASH DISCOUNTS	STREET/BOULEVARD REPAIR & MNTC
		12.99	SMALL TOOL REPLACEMENTS		486387	350139100202	1610.6211		SMALL TOOLS & EQUIPMENT	STREET/BOULEVARD REPAIR & MNTC
		21.99	SHOVEL		486388	350139100209	1610.6211		SMALL TOOLS & EQUIPMENT	STREET/BOULEVARD REPAIR & MNTC
		.59-	DISCOUNT		486382	350140100150	5380.6333		GENERAL-CASH DISCOUNTS	SEWER LIFT STN REPAIR & MNTC
		5.99	TORCH REFILL		486382	350140100150	5380.6215		EQUIPMENT-PARTS	SEWER LIFT STN REPAIR & MNTC
		.49-	DISCOUNT		486383	350140100164	5390.6333		GENERAL-CASH DISCOUNTS	SWR EQUIP/VEHICLE MISC MNTC/RP
		4.99	EQUIPMENT REPAIR 420		486383	350140100164	5390.6215		EQUIPMENT-PARTS	SWR EQUIP/VEHICLE MISC MNTC/RP
		2.14-	DISCOUNT		486384	350140100177	5507.6333		GENERAL-CASH DISCOUNTS	ALIMAGNET STM LIFT
		39.45	ALIMAGNET PUMP PARTS		486384	350140100177	5507.6215		EQUIPMENT-PARTS	ALIMAGNET STM LIFT
		<u>376.62</u>								
<b>34076</b>	<b>3/28/2025</b>		<b>147453 ADAM'S PEST CONTROL INC</b>							
		24.38-	CMF SALES TAX ADJUST		485897	4067671	1530.6249		OTHER CONTRACTUAL SERVICES	FLEET & BUILDINGS-CMF
		24.38	CMF SALES TAX ADJUST		485897	4067671	1000.2330		DUE TO OTHER GOVERNMENT	GENERAL FUND BALANCE SHEET
		<u>324.38</u>	PEST CONTROL - CMF		485897	4067671	1530.6249		OTHER CONTRACTUAL SERVICES	FLEET & BUILDINGS-CMF
		324.38								

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34076	3/28/2025		147453 ADAM'S PEST CONTROL INC						Continued...	
34077	3/28/2025		150442 ADVANCED ENGINEERING & ENVIRO							
		6,858.00	WATER MODELING AV TECH PK		485996	101422	4502.6235	2024185L	CONSULTANT SERVICES	IMPROVEMENTS-ASSESSED
		6,858.00								
34078	3/28/2025		153995 AMAZON CAPITAL SERVICES							
		52.13	K HECHSEL FILE ORGANIZER		485911	13N1F4N99PL9	1700.6210		OFFICE SUPPLIES	PARK & RECREATION MANAGEMENT
		142.98	MAGNET BOARD		486086	17KPTFJ7JJMK	1920.6210		OFFICE SUPPLIES	SENIOR CENTER
		21.99	K HECHSEL DRAWER ORGANIZER		485910	1KHRVJDM9NYM	1700.6210		OFFICE SUPPLIES	PARK & RECREATION MANAGEMENT
		39.96	OFFICE SUPPLIES		486085	1MRPGP3Q4D4G	1530.6210		OFFICE SUPPLIES	FLEET & BUILDINGS-CMF
		26.98	COMPUTER PARTS/MOUSE		485926	1NXHJWKMHFKJ	5325.6229		GENERAL SUPPLIES	WATER TREATMENT FCLTY MNTC/RPR
		130.75	BATHROOM SUPPLIES		485767	1R1JMXF76W1Q	1730.6229		GENERAL SUPPLIES	PARK BUILDING MAINTENANCE
		96.64	CLEANING SUPPLIES FOR CMF		486005	1TJ3N9PP4HDL	1540.6229		GENERAL SUPPLIES	CMF BUILDINGS & GROUNDS MNTC
		83.06	CHLORINE EQUIPMENT PARTS		485925	1WWR1NDC73PG	5325.6215		EQUIPMENT-PARTS	WATER TREATMENT FCLTY MNTC/RPR
		594.49								
34079	3/28/2025		101559 BARR ENGINEERING COMPANY							
		32,959.00	A.V. ADDTN STORM STUDY		485945	23191551004	5505.6235	2024163D	CONSULTANT SERVICES	STORM DRAIN MNTC/RPR/SUMPS
		32,959.00								
34080	3/28/2025		100055 BECKER ARENA PRODUCTS INC							
		130.00	AVSA EDGER CHARGER		485908	615439	5215.6229		GENERAL SUPPLIES	ARENA 1 EQUIPMENT MAINTENANCE
		170.00	HAYES EDGER CHARGER		485908	615439	5270.6229		GENERAL SUPPLIES	ARENA 2 EQUIPMENT MAINT-HAYES
		300.00								
34081	3/28/2025		142897 BOLTON & MENK, INC.							
		85.50	FINAL DESIGN		486088	352397	2027.6235	2023108R	CONSULTANT SERVICES	ROAD ESCROW
		8,267.00	CONST.ADMIN 140TH PK TO ERICKS		485954	356611	5365.6235	2025127S	CONSULTANT SERVICES	SEWER MGMT/REPORTS/DATA ENTRY
		319.00	FINAL DESIGN		486087	356615	5505.6235	2024102D	CONSULTANT SERVICES	STORM DRAIN MNTC/RPR/SUMPS
		25,071.50	FINAL DESIGN 2025 STREET & UTI		485955	356616	2027.6235	2025101R	CONSULTANT SERVICES	ROAD ESCROW
		1,678.50	FINAL DESIGN '25 STREET IMP		485956	356617	2027.6235	2025105R	CONSULTANT SERVICES	ROAD ESCROW
		9,372.00	FINAL DESIGN CENTRAL VILLAGE		485957	356618	2027.6235	2025109R	CONSULTANT SERVICES	ROAD ESCROW
		268.50	CAD SUPPORT		485888	356619	1510.6235		CONSULTANT SERVICES	PW ENGINEERING & TECHNICAL
		5,191.00	FINAL DESIGN JOHNY CAKE RD		485958	356620	4502.6235	2025112G	CONSULTANT SERVICES	IMPROVEMENTS-ASSESSED
		3,233.50	DEVEL. REVIEW AV TECH PK		485959	356621	4502.6235	2024185L	CONSULTANT SERVICES	IMPROVEMENTS-ASSESSED
		53,486.50								
34082	3/28/2025		121014 BUCKEYE CLEANING CENTER							
		18.60	SPRAY BOTTLE TOPS		486014	90656483	5265.6229		GENERAL SUPPLIES	ARENA 2 BLDG MAINTENANCE-HAYES
		18.60								

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34082	3/28/2025		121014 BUCKEYE CLEANING CENTER						Continued...	
34083	3/28/2025		148990 CASPERSON, JULIE							
		96.00	XA BEAT INSTRUCTOR		485787	20250320	1920.6249		OTHER CONTRACTUAL SERVICES	SENIOR CENTER
		96.00								
34084	3/28/2025		101562 CDW GOVERNMENT INC							
		190.73	ETHERNET CABLES		486012	AD1549Q	1030.6211		SMALL TOOLS & EQUIPMENT	INFORMATION TECHNOLOGY
		33.04	HDMI CABLES		486011	AD2CV5F	1030.6211		SMALL TOOLS & EQUIPMENT	INFORMATION TECHNOLOGY
		223.77								
34085	3/28/2025		141474 COLE PAPERS INC.							
		996.78	CMF PAPER PRODUCTS		485990	10551938	1530.6229		GENERAL SUPPLIES	FLEET & BUILDINGS-CMF
		219.30	SCBA WASHER SOAP (2)		486016	10556190	1340.6229		GENERAL SUPPLIES	FIRE BLDG & GROUNDS MNTC
		1,216.08								
34086	3/28/2025		123296 CTM SERVICES							
		144.30	AVSA OLY FUSE		485909	7773	5215.6211		SMALL TOOLS & EQUIPMENT	ARENA 1 EQUIPMENT MAINTENANCE
		144.30								
34087	3/28/2025		100128 DAKOTA ELECTRIC ASSOCIATION							
		57.03	COBBLESTONE LK PKY LIGHTS FEB		486024	200001029347FEB 25	5805.6545		NON-TAXABLE MISC FOR RESALE	STREET LIGHT UTILITY FUND
		236.32	QUARRY POINT TOWER FEB		486025	200001036888FEB 25	5320.6255		UTILITIES-ELECTRIC	WATER WELL/BOOSTER STN MNT/RPR
		239.65	VALLEYWOOD MAINT BLDG FEB		486026	200001348960FEB 25	2230.6255		UTILITIES-ELECTRIC	GOLF SHOP BUILDING MAINTENANCE
		243.61	VALLEYWOOD RESERVOIR FEB		486027	200002244242FEB 25	5320.6255		UTILITIES-ELECTRIC	WATER WELL/BOOSTER STN MNT/RPR
		164.83	15298 153RD ST LIGHTS FEB		486028	200003155579FEB 25	5805.6545		NON-TAXABLE MISC FOR RESALE	STREET LIGHT UTILITY FUND
		50.85	15850 DRAWSTONE TRL LIGHTS FEB		486029	200003472842FEB 25	5805.6545		NON-TAXABLE MISC FOR RESALE	STREET LIGHT UTILITY FUND
		54.70	15750 DIAMOND WAY LIGHTS FEB		486030	200003472859FEB 25	5805.6545		NON-TAXABLE MISC FOR RESALE	STREET LIGHT UTILITY FUND
		37.24	15745 COBBLESTONE LK PKY LIGHT		486031	200003472867FEB 25	5805.6545		NON-TAXABLE MISC FOR RESALE	STREET LIGHT UTILITY FUND
		25.84	158TH/DIAMOND PATH MOONLIGHT F		486032	200003472875FEB 25	5805.6545		NON-TAXABLE MISC FOR RESALE	STREET LIGHT UTILITY FUND
		80.25	COBBLESTONE LK PKY LIGHTS		486033	200003571957FEB 25	5805.6545		NON-TAXABLE MISC FOR RESALE	STREET LIGHT UTILITY FUND



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34087	3/28/2025		100128 DAKOTA ELECTRIC ASSOCIATION						Continued...	
		1,555.04	VALLEYWOOD CLUBHOUSE FEB		486034	200004985206FEB 25	2215.6255		UTILITIES-ELECTRIC	GOLF CLUBHOUSE BUILDING
		29.13	COBBLESTONE N 2ND ADDITION FEB		486035	200005663463FEB 28	5805.6545		NON-TAXABLE MISC FOR RESALE	STREET LIGHT UTILITY FUND
		37.11	COBBLESTONE N 2ND ADDITION FEB		486036	200005663471FEB 25	5805.6545		NON-TAXABLE MISC FOR RESALE	STREET LIGHT UTILITY FUND
		5.00	CD SIREN-PILOT KNOB #394930-2		485933	200010000089MAR 25	1290.6255		UTILITIES-ELECTRIC	CIVIL DEFENSE MANAGEMENT
		5.00	CD SIREN-CHAPARRAL #2010833		485933	200010000089MAR 25	1290.6255		UTILITIES-ELECTRIC	CIVIL DEFENSE MANAGEMENT
		5.00	CD SIREN-WILDWOOD #2010825		485933	200010000089MAR 25	1290.6255		UTILITIES-ELECTRIC	CIVIL DEFENSE MANAGEMENT
		5.00	CD SIREN-CED KNOLLS #2010817		485933	200010000089MAR 25	1290.6255		UTILITIES-ELECTRIC	CIVIL DEFENSE MANAGEMENT
		5.00	CD SIREN-GALAXIE & 42 #2010809		485933	200010000089MAR 25	1290.6255		UTILITIES-ELECTRIC	CIVIL DEFENSE MANAGEMENT
		5.00	CD SIREN-DUCHESS #2010791		485933	200010000089MAR 25	1290.6255		UTILITIES-ELECTRIC	CIVIL DEFENSE MANAGEMENT
		5.00	CD SIREN-DELANEY #2010783		485933	200010000089MAR 25	1290.6255		UTILITIES-ELECTRIC	CIVIL DEFENSE MANAGEMENT
		5.00	CD SIREN-HUNTINGTON #2010775		485933	200010000089MAR 25	1290.6255		UTILITIES-ELECTRIC	CIVIL DEFENSE MANAGEMENT
		5.00	CD SIREN-CMF #2010767		485933	200010000089MAR 25	1290.6255		UTILITIES-ELECTRIC	CIVIL DEFENSE MANAGEMENT
		16.24	SCOTT TENNIS LTS #1804079		485933	200010000089MAR 25	1745.6255		UTILITIES-ELECTRIC	PARK CRT/GAME AREA MAINTENANCE
		16.24	BELMONT RD AERATOR 325093-3		485933	200010000089MAR 25	1720.6255		UTILITIES-ELECTRIC	PARK GROUNDS MAINTENANCE
		16.38	LEGION FLD PRESS BX #310081-5		485933	200010000089MAR 25	1730.6255		UTILITIES-ELECTRIC	PARK BUILDING MAINTENANCE
		17.36	FOUNDER PK LT #366449-7		485933	200010000089MAR 25	1740.6255		UTILITIES-ELECTRIC	PARK SIDEWALK/PATH MAINTENANCE
		19.44	ALIMAGNET PK RESTRM #144117-9		485933	200010000089MAR 25	1730.6255		UTILITIES-ELECTRIC	PARK BUILDING MAINTENANCE
		23.19	HAGEMEISTER TENNIS LTS#1804087		485933	200010000089MAR 25	1745.6255		UTILITIES-ELECTRIC	PARK CRT/GAME AREA MAINTENANCE
		26.37	KELLEY PD PK/SPKLR #405066-2		485933	200010000089MAR 25	1720.6255		UTILITIES-ELECTRIC	PARK GROUNDS MAINTENANCE
		47.88	SALT BLDG #310219-1		485933	200010000089MAR	1540.6255		UTILITIES-ELECTRIC	CMF BUILDINGS & GROUNDS MNTC

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34087	3/28/2025		100128 DAKOTA ELECTRIC ASSOCIATION						Continued...	
					25					
		51.48	EASTVIEW PRESS BOX #2079408		485933	200010000089MAR	1730.6255		UTILITIES-ELECTRIC	PARK BUILDING MAINTENANCE
					25					
		58.98	COBBLESTONE PAVILION		485933	200010000089MAR	1730.6255		UTILITIES-ELECTRIC	PARK BUILDING MAINTENANCE
					25					
		59.95	AV EAST PK WMHSE #2148484		485933	200010000089MAR	1730.6255		UTILITIES-ELECTRIC	PARK BUILDING MAINTENANCE
					25					
		64.40	PARK HS #4 FIELDS #224529-8		485933	200010000089MAR	1780.6255		UTILITIES-ELECTRIC	PARK HIGH SCHOOL #4 FIELDS
					25					
		87.79	REDWOOD/POOL #108328-6		485933	200010000089MAR	1730.6255		UTILITIES-ELECTRIC	PARK BUILDING MAINTENANCE
					25					
		98.38	HAGEMEISTER PK SHLTR #151256-5		485933	200010000089MAR	1730.6255		UTILITIES-ELECTRIC	PARK BUILDING MAINTENANCE
					25					
		103.57	PW RADIO EQUIP #215383-1		485933	200010000089MAR	1540.6255		UTILITIES-ELECTRIC	CMF BUILDINGS & GROUNDS MNTC
					25					
		117.66	VALLEY MID PK SHLTR #1247824		485933	200010000089MAR	1730.6255		UTILITIES-ELECTRIC	PARK BUILDING MAINTENANCE
					25					
		170.55	DELANEY PK SHLTR #151247-4		485933	200010000089MAR	1730.6255		UTILITIES-ELECTRIC	PARK BUILDING MAINTENANCE
					25					
		187.87	HUNTINGTON PK SHLTR #2014926		485933	200010000089MAR	1730.6255		UTILITIES-ELECTRIC	PARK BUILDING MAINTENANCE
					25					
		218.95	GALAXIE PK WMHSE #481583-3		485933	200010000089MAR	1730.6255		UTILITIES-ELECTRIC	PARK BUILDING MAINTENANCE
					25					
		219.51	AVFAC EXPANSION #443065-8		485933	200010000089MAR	1940.6255		UTILITIES-ELECTRIC	AQUATIC SWIM CENTER
					25					
		298.86	FARQ PK RESTROOMS #1617653		485933	200010000089MAR	1730.6255		UTILITIES-ELECTRIC	PARK BUILDING MAINTENANCE
					25					
		315.37	CMF STORAGE #2009652		485933	200010000089MAR	1540.6255		UTILITIES-ELECTRIC	CMF BUILDINGS & GROUNDS MNTC
					25					
		814.13	EASTVIEW-HIGHLAND #1889047		485933	200010000089MAR	1715.6255		UTILITIES-ELECTRIC	PARK ATHLETIC FIELD MAINTENANC
					25					
		934.02	TEEN CENTER #268335-7		485933	200010000089MAR	1730.6255		UTILITIES-ELECTRIC	PARK BUILDING MAINTENANCE
					25					
		1,359.87	QUARRY PT ATHLCPLX #456933-1		485933	200010000089MAR	1715.6255		UTILITIES-ELECTRIC	PARK ATHLETIC FIELD MAINTENANC
					25					
		1,407.86	FIRE STATION #3 #146046-8		485933	200010000089MAR	1340.6255		UTILITIES-ELECTRIC	FIRE BLDG & GROUNDS MNTC
					25					
		1,499.65	PARK PATHWAY LTS #2053296		485933	200010000089MAR	1740.6255		UTILITIES-ELECTRIC	PARK SIDEWALK/PATH MAINTENANCE
					25					

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34087	3/28/2025		100128 DAKOTA ELECTRIC ASSOCIATION						Continued...	
		1,571.77	AQUATIC CENTER #273061-2		485933	200010000089MAR 25	1940.6255		UTILITIES-ELECTRIC	AQUATIC SWIM CENTER
		1,668.33	HAYES COMM & SR CTR #451229-9		485933	200010000089MAR 25	1920.6255		UTILITIES-ELECTRIC	SENIOR CENTER
		2,185.22	FIRE STATION #1 #111343-0		485933	200010000089MAR 25	1340.6255		UTILITIES-ELECTRIC	FIRE BLDG & GROUNDS MNTC
		2,643.29	AV COMM CTR #1883305		485933	200010000089MAR 25	1900.6255		UTILITIES-ELECTRIC	AV COMMUNITY CENTER
		2,767.95	CENTRAL MAINT FAC #511870-8		485933	200010000089MAR 25	1540.6255		UTILITIES-ELECTRIC	CMF BUILDINGS & GROUNDS MNTC
		3,992.60	MUNICIPAL CENTER #288247-0		485933	200010000089MAR 25	1060.6255		UTILITIES-ELECTRIC	MUNICIPAL BLDG & GROUNDS MNTC
		1,048.49	OLD CITY HALL #517541-9		485933	200010000089MAR 25	2092.6255		UTILITIES-ELECTRIC	EDUCATION BUILDING FUND
		89.22	CENTRAL VILLAGE P-LOT		485933	200010000089MAR 25	2097.6255		UTILITIES-ELECTRIC	CENTRAL VILLAGE PARKING LOT
		634.09	LIQUOR STORE 2 #138678-8		485933	200010000089MAR 25	5065.6255		UTILITIES-ELECTRIC	LIQUOR #2 OPERATIONS
		1,423.72	LIQUOR STORE 1 #145003-0		485933	200010000089MAR 25	5025.6255		UTILITIES-ELECTRIC	LIQUOR #1 OPERATIONS
		2,841.37	LIQUOR STORE 3 #444140-8		485933	200010000089MAR 25	5095.6255		UTILITIES-ELECTRIC	LIQUOR #3 OPERATIONS
		7,325.93	HAYES PK ICE ARENA #222230-5		485933	200010000089MAR 25	5265.6255		UTILITIES-ELECTRIC	ARENA 2 BLDG MAINTENANCE-HAYES
		7,763.81	ICE ARENA #1#136723-4		485933	200010000089MAR 25	5210.6255		UTILITIES-ELECTRIC	ARENA 1 BUILDING MAINTENANCE
		19.04	PALOMINO RESERVOIR #103546-8		485933	200010000089MAR 25	5320.6255		UTILITIES-ELECTRIC	WATER WELL/BOOSTER STN MNT/RPR
		24.57	HERALD WY PRESS STN #103686-2		485933	200010000089MAR 25	5320.6255		UTILITIES-ELECTRIC	WATER WELL/BOOSTER STN MNT/RPR
		41.21	PUMPHOUSE #5 #135486-9		485933	200010000089MAR 25	5320.6255		UTILITIES-ELECTRIC	WATER WELL/BOOSTER STN MNT/RPR
		62.30	LS 10 NORDIC WOODS #1830835		485933	200010000089MAR 25	5380.6255		UTILITIES-ELECTRIC	SEWER LIFT STN REPAIR & MNTC
		69.66	LS 11-HIGHLAND PT CT #2021699		485933	200010000089MAR 25	5380.6255		UTILITIES-ELECTRIC	SEWER LIFT STN REPAIR & MNTC
		82.15	LS 7 HERITAGE HILLS #144109-6		485933	200010000089MAR 25	5380.6255		UTILITIES-ELECTRIC	SEWER LIFT STN REPAIR & MNTC
		122.32	PUMPHOUSE #2 #108018-3		485933	200010000089MAR	5320.6255		UTILITIES-ELECTRIC	WATER WELL/BOOSTER STN MNT/RPR

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					25					
		125.43	PUMPHOUSE #1 #106890-7		485933	200010000089MAR	5320.6255		UTILITIES-ELECTRIC	WATER WELL/BOOSTER STN MNT/RPR
					25					
		136.11	PUMPHOUSE 08 #1468404		485933	200010000089MAR	5320.6255		UTILITIES-ELECTRIC	WATER WELL/BOOSTER STN MNT/RPR
					25					
		147.08	WTRTWR RESERV-LONGRDG #144881-		485933	200010000089MAR	5320.6255		UTILITIES-ELECTRIC	WATER WELL/BOOSTER STN MNT/RPR
					25					
		161.78	LS 9 4771 DOMINICA WY #525977-		485933	200010000089MAR	5380.6255		UTILITIES-ELECTRIC	SEWER LIFT STN REPAIR & MNTC
					25					
		173.63	PUMPHOUSE 14 #2008852		485933	200010000089MAR	5320.6255		UTILITIES-ELECTRIC	WATER WELL/BOOSTER STN MNT/RPR
					25					
		176.08	PUMPHOUSE #4 #121151-5		485933	200010000089MAR	5320.6255		UTILITIES-ELECTRIC	WATER WELL/BOOSTER STN MNT/RPR
					25					
		177.09	PUMPHOUSE 20 #484299		485933	200010000089MAR	5320.6255		UTILITIES-ELECTRIC	WATER WELL/BOOSTER STN MNT/RPR
					25					
		196.50	6422 140TH ST WELL 15 2121093		485933	200010000089MAR	5320.6255		UTILITIES-ELECTRIC	WATER WELL/BOOSTER STN MNT/RPR
					25					
		216.72	LIFT STN 4 PH LKSHR#1030667		485933	200010000089MAR	5380.6255		UTILITIES-ELECTRIC	SEWER LIFT STN REPAIR & MNTC
					25					
		248.50	LIFT #5 #580685-6		485933	200010000089MAR	5380.6255		UTILITIES-ELECTRIC	SEWER LIFT STN REPAIR & MNTC
					25					
		268.05	PUMPHOUSE 12 #2023273		485933	200010000089MAR	5320.6255		UTILITIES-ELECTRIC	WATER WELL/BOOSTER STN MNT/RPR
					25					
		278.07	PUMPHOUSE #11 #174395-4		485933	200010000089MAR	5320.6255		UTILITIES-ELECTRIC	WATER WELL/BOOSTER STN MNT/RPR
					25					
		282.63	PUMPHOUSE #3 #106099-5		485933	200010000089MAR	5320.6255		UTILITIES-ELECTRIC	WATER WELL/BOOSTER STN MNT/RPR
					25					
		510.99	LFT STN3 133 CHAPARRAL 546943		485933	200010000089MAR	5380.6255		UTILITIES-ELECTRIC	SEWER LIFT STN REPAIR & MNTC
					25					
		854.74	PUMPHOUSE #7 #126394-6		485933	200010000089MAR	5320.6255		UTILITIES-ELECTRIC	WATER WELL/BOOSTER STN MNT/RPR
					25					
		1,560.80	LIFT STN 1 ELLICE #131715-5		485933	200010000089MAR	5380.6255		UTILITIES-ELECTRIC	SEWER LIFT STN REPAIR & MNTC
					25					
		1,780.74	PUMPHOUSE #10 #155867-5		485933	200010000089MAR	5320.6255		UTILITIES-ELECTRIC	WATER WELL/BOOSTER STN MNT/RPR
					25					
		1,796.97	PUMPHOUSE 17 #307438-2		485933	200010000089MAR	5320.6255		UTILITIES-ELECTRIC	WATER WELL/BOOSTER STN MNT/RPR
					25					
		1,881.25	AV BOOSTER-NORDIC #138075-7		485933	200010000089MAR	5320.6255		UTILITIES-ELECTRIC	WATER WELL/BOOSTER STN MNT/RPR
					25					

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		2,193.69	PUMPHOUSE 18 #1078310		485933	200010000089MAR 25	5320.6255		UTILITIES-ELECTRIC	WATER WELL/BOOSTER STN MNT/RPR
		2,775.40	PUMPHOUSE 09 #1526292		485933	200010000089MAR 25	5320.6255		UTILITIES-ELECTRIC	WATER WELL/BOOSTER STN MNT/RPR
		3,349.81	PUMPHOUSE 13 #2023265		485933	200010000089MAR 25	5320.6255		UTILITIES-ELECTRIC	WATER WELL/BOOSTER STN MNT/RPR
		4,961.72	PUMPHOUSE 19 #415728-5		485933	200010000089MAR 25	5320.6255		UTILITIES-ELECTRIC	WATER WELL/BOOSTER STN MNT/RPR
		10,577.26	WTR TREATMENT PLANT #511870-8		485933	200010000089MAR 25	5325.6255		UTILITIES-ELECTRIC	WATER TREATMENT FCLTY MNTC/RPR
		26.51	LS STM SWR HGHWD #1586924		485933	200010000089MAR 25	5505.6255		UTILITIES-ELECTRIC	STORM DRAIN MNTC/RPR/SUMPS
		30.40	LS STM SWR-BELMONT PK #2011021		485933	200010000089MAR 25	5505.6255		UTILITIES-ELECTRIC	STORM DRAIN MNTC/RPR/SUMPS
		43.58	LS STM SWR BRIAR OAKS#1827781		485933	200010000089MAR 25	5505.6255		UTILITIES-ELECTRIC	STORM DRAIN MNTC/RPR/SUMPS
		48.30	LS-WHEATON PONDS #443438-7		485933	200010000089MAR 25	5505.6255		UTILITIES-ELECTRIC	STORM DRAIN MNTC/RPR/SUMPS
		64.57	LS STM SWR PENNOCK SHR #135489		485933	200010000089MAR 25	5505.6255		UTILITIES-ELECTRIC	STORM DRAIN MNTC/RPR/SUMPS
		113.67	LS STM SWR-HANNOVER #19860009		485933	200010000089MAR 25	5505.6255		UTILITIES-ELECTRIC	STORM DRAIN MNTC/RPR/SUMPS
		163.87	LS STN COBB LK #306511-7		485933	200010000089MAR 25	5505.6255		UTILITIES-ELECTRIC	STORM DRAIN MNTC/RPR/SUMPS
		194.78	LS STM SWR ALIMAGNET #144134-4		485933	200010000089MAR 25	5505.6255		UTILITIES-ELECTRIC	STORM DRAIN MNTC/RPR/SUMPS
		240.17	LS STM SWR FARQUAR #137184-8		485933	200010000089MAR 25	5505.6255		UTILITIES-ELECTRIC	STORM DRAIN MNTC/RPR/SUMPS
		1,255.99	LS 2 7698 128TH ST W #490873-7		485933	200010000089MAR 25	5505.6255		UTILITIES-ELECTRIC	STORM DRAIN MNTC/RPR/SUMPS
		53.36	CEMETERY LTS #339637-1		485933	200010000089MAR 25	5605.6255		UTILITIES-ELECTRIC	CEMETERY
		84.50	CEMETERY LTS FLAGPOLE#318998-2		485933	200010000089MAR 25	5605.6255		UTILITIES-ELECTRIC	CEMETERY
		17.55	964 GARDENVIEW DR SL SIGN		485933	200010000089MAR 25	5805.6255		UTILITIES-ELECTRIC	STREET LIGHT UTILITY FUND
		32.20	GREENWAY TUNNEL #563183-3		485933	200010000089MAR 25	5805.6545		NON-TAXABLE MISC FOR RESALE	STREET LIGHT UTILITY FUND
		45.10	GASLIGHT STREET LT #267358-0		485933	200010000089MAR	5805.6545		NON-TAXABLE MISC FOR RESALE	STREET LIGHT UTILITY FUND

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						25				
		45.37	SIGNAL-GARRETT & 150TH#1802081		485933	200010000089MAR	5805.6545		NON-TAXABLE MISC FOR RESALE	STREET LIGHT UTILITY FUND
						25				
		46.62	TUNNEL STREET LT #279581-3		485933	200010000089MAR	5805.6545		NON-TAXABLE MISC FOR RESALE	STREET LIGHT UTILITY FUND
						25				
		48.99	SIGNAL-140TH/FLAGSTAFF#2750370		485933	200010000089MAR	5805.6545		NON-TAXABLE MISC FOR RESALE	STREET LIGHT UTILITY FUND
						25				
		49.26	SIGNAL-147TH/PENNOCK #103448-7		485933	200010000089MAR	5805.6545		NON-TAXABLE MISC FOR RESALE	STREET LIGHT UTILITY FUND
						25				
		49.54	SIGNAL-GALAXIE & 140TH#2053858		485933	200010000089MAR	5805.6545		NON-TAXABLE MISC FOR RESALE	STREET LIGHT UTILITY FUND
						25				
		51.48	SIGNAL-GALAXIE & 147TH#1022698		485933	200010000089MAR	5805.6545		NON-TAXABLE MISC FOR RESALE	STREET LIGHT UTILITY FUND
						25				
		52.46	SIGNAL-149TH/PENNOCK #103448-7		485933	200010000089MAR	5805.6545		NON-TAXABLE MISC FOR RESALE	STREET LIGHT UTILITY FUND
						25				
		54.26	SIGNAL 153RD & CUB #2013084		485933	200010000089MAR	5805.6545		NON-TAXABLE MISC FOR RESALE	STREET LIGHT UTILITY FUND
						25				
		54.54	SIGNAL-140TH/PENNOCK #303778-5		485933	200010000089MAR	5805.6545		NON-TAXABLE MISC FOR RESALE	STREET LIGHT UTILITY FUND
						25				
		58.70	SIGNAL-GALAXIE & 153RD#3128204		485933	200010000089MAR	5805.6545		NON-TAXABLE MISC FOR RESALE	STREET LIGHT UTILITY FUND
						25				
		58.70	SIGNAL-140TH/JOHNNY CK#2750412		485933	200010000089MAR	5805.6545		NON-TAXABLE MISC FOR RESALE	STREET LIGHT UTILITY FUND
						25				
		59.11	SIGNAL-CEDAR & 145TH #2047702		485933	200010000089MAR	5805.6545		NON-TAXABLE MISC FOR RESALE	STREET LIGHT UTILITY FUND
						25				
		61.89	SIGNAL CEDAR & 147TH #1033901		485933	200010000089MAR	5805.6545		NON-TAXABLE MISC FOR RESALE	STREET LIGHT UTILITY FUND
						25				
		63.84	SIGNAL GALAXIE & 150TH#1821115		485933	200010000089MAR	5805.6545		NON-TAXABLE MISC FOR RESALE	STREET LIGHT UTILITY FUND
						25				
		68.13	SIGNAL 42 & PENNOCK #1033836		485933	200010000089MAR	5805.6545		NON-TAXABLE MISC FOR RESALE	STREET LIGHT UTILITY FUND
						25				
		68.28	SIGNAL CEDAR & 140TH #1577386		485933	200010000089MAR	5805.6545		NON-TAXABLE MISC FOR RESALE	STREET LIGHT UTILITY FUND
						25				
		71.74	SIGNAL 42 & GARDENVW #124646-1		485933	200010000089MAR	5805.6545		NON-TAXABLE MISC FOR RESALE	STREET LIGHT UTILITY FUND
						25				
		99.77	SIGNAL-GALAXIE & 38 #2146678		485933	200010000089MAR	5805.6545		NON-TAXABLE MISC FOR RESALE	STREET LIGHT UTILITY FUND
						25				
		103.58	UTIL RADIO EQUIP #215383-1		485933	200010000089MAR	5805.6255		UTILITIES-ELECTRIC	STREET LIGHT UTILITY FUND
						25				

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		163.17	CEDAR/147TH LTS #501520-1		485933	200010000089MAR 25	5805.6545		NON-TAXABLE MISC FOR RESALE	STREET LIGHT UTILITY FUND
		164.83	CO RD 42/CEDAR LTS #501516-9		485933	200010000089MAR 25	5805.6545		NON-TAXABLE MISC FOR RESALE	STREET LIGHT UTILITY FUND
		209.10	147TH ST W LTS #498760-8		485933	200010000089MAR 25	5805.6545		NON-TAXABLE MISC FOR RESALE	STREET LIGHT UTILITY FUND
		247.80	CEDAR/145TH LTS #501526-8		485933	200010000089MAR 25	5805.6545		NON-TAXABLE MISC FOR RESALE	STREET LIGHT UTILITY FUND
		272.50	CEDAR & 153RD LT #487980-5		485933	200010000089MAR 25	5805.6545		NON-TAXABLE MISC FOR RESALE	STREET LIGHT UTILITY FUND
		284.29	CEDAR/140TH LTS #501536-7		485933	200010000089MAR 25	5805.6545		NON-TAXABLE MISC FOR RESALE	STREET LIGHT UTILITY FUND
		308.01	CEDAR & 157RD LT #487985-4		485933	200010000089MAR 25	5805.6545		NON-TAXABLE MISC FOR RESALE	STREET LIGHT UTILITY FUND
		37,026.33	UTILITY STREET LTS #1109149		485933	200010000089MAR 25	5805.6545		NON-TAXABLE MISC FOR RESALE	STREET LIGHT UTILITY FUND
		191.89	12119 GANTRY LN POND		486020	200010036848MAR 25	5805.6545		NON-TAXABLE MISC FOR RESALE	STREET LIGHT UTILITY FUND
		23.06	943 1/2 GARDENVIEW DR MAR		486037	200010052737MAR 25	5805.6255		UTILITIES-ELECTRIC	STREET LIGHT UTILITY FUND
		39.27	HAWK SIGNAL PED CROSSING MAR		486039	200010066613MAR 25	5805.6255		UTILITIES-ELECTRIC	STREET LIGHT UTILITY FUND
		23.04	PILOT KNOB/155TH ST SPKLR MAR		486019	200010066957MAR 25	5805.6545		NON-TAXABLE MISC FOR RESALE	STREET LIGHT UTILITY FUND
		89.08	PILOT KNOB/155TH ST SIGNAL MAR		486022	200010066959MAR 25	5805.6545		NON-TAXABLE MISC FOR RESALE	STREET LIGHT UTILITY FUND
		108.11	SIGN VALLEYWOOD ENTRANCE MAR		486038	200010078741MAR 25	2215.6255		UTILITIES-ELECTRIC	GOLF CLUBHOUSE BUILDING
		49.52	VALLEYWOOD IRRIG MAR		486021	200010117984MAR 25	2243.6255		UTILITIES-ELECTRIC	GOLF IRRIGATION MAINTENANCE
		1,693.17	FIRE STA 2 MAR		486023	200010130380MAR 25	1340.6255		UTILITIES-ELECTRIC	FIRE BLDG & GROUNDS MNTC
		485.52	15584 GASLIGHT DR MAR		486018	200010130931MAR 25	3212.6255	2024149G	UTILITIES-ELECTRIC	EDA OPERATION
		127,276.13								
<b>34088</b>	<b>3/28/2025</b>		<b>117768 DRAIN PRO PLUMBING</b>							
		2,703.37	BASEMENT BATHROOM TRAP REPLACE		485985	77632	1060.6266		REPAIRS-BUILDING	MUNICIPAL BLDG & GROUNDS MNTC
		60.44	BASEMENT BATHROOM TRAP REPLACE		485891	77666	1060.6266		REPAIRS-BUILDING	MUNICIPAL BLDG & GROUNDS MNTC
		342.50	BATHROOM REPAIRS - MC		485889	77710	1060.6266		REPAIRS-BUILDING	MUNICIPAL BLDG & GROUNDS MNTC



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		235.00	TOILET REPAIR		485789	77753	1920.6265		REPAIRS-EQUIPMENT	SENIOR CENTER
		3,220.43								
34089	3/28/2025		<b>100157 FACTORY MOTOR PARTS CO</b>							
		101.00	PARTS - #907		485753	110504376	1210.6215		EQUIPMENT-PARTS	POLICE FIELD OPERATIONS/PATROL
		18.57	BRAKE CLEANER		485749	75516024	1765.6212		MOTOR FUELS/OILS	PARK EQUIPMENT MAINTENANCE
		18.57	BRAKE CLEANER		485749	75516024	1630.6212		MOTOR FUELS/OILS	STREET EQUIPMENT MAINTENANCE
		18.57	BRAKE CLEANER		485749	75516024	1210.6212		MOTOR FUELS/OILS	POLICE FIELD OPERATIONS/PATROL
		18.57	BRAKE CLEANER		485749	75516024	5345.6212		MOTOR FUELS/OILS	WATER EQUIP/VEHICLE/MISC MNTC
		18.60	BRAKE CLEANER		485749	75516024	5390.6212		MOTOR FUELS/OILS	SWR EQUIP/VEHICLE MISC MNTC/RP
		19.74	PARTS - WIPERS		486041	75516704	1630.6215		EQUIPMENT-PARTS	STREET EQUIPMENT MAINTENANCE
		213.62								
34090	3/28/2025		<b>120313 FASTENAL COMPANY</b>							
		100.99	PICNIC TABLE HARDWARE		485766	MNLAK209570	1720.6229		GENERAL SUPPLIES	PARK GROUNDS MAINTENANCE
		122.60	SHOP SUPPLIES		485748	MNLAK209704	1610.6229		GENERAL SUPPLIES	STREET/BOULEVARD REPAIR & MNTC
		223.59								
34091	3/28/2025		<b>100420 FISCHER MINING, LLC</b>							
		216.56	ROCK, FILL SAND & RC BASE		485887	178515	5330.6229		GENERAL SUPPLIES	WTR MAIN/HYDRANT/CURB STOP MNT
		40.75	FILL SAND FOR WATER MAIN BREAK		485886	178516	5330.6229		GENERAL SUPPLIES	WTR MAIN/HYDRANT/CURB STOP MNT
		792.36	ROCK, FILL SAND & RC BASE		485949	178532	5330.6229		GENERAL SUPPLIES	WTR MAIN/HYDRANT/CURB STOP MNT
		1,165.45	SAND, RC & ROCK TO FILL BINS		485951	178573	5330.6229		GENERAL SUPPLIES	WTR MAIN/HYDRANT/CURB STOP MNT
		74.40	GRAVEL BED NURSERY		485907	178596	1720.6229		GENERAL SUPPLIES	PARK GROUNDS MAINTENANCE
		2,289.52								
34092	3/28/2025		<b>100548 FORKLIFTS OF MINNESOTA, INC</b>							
		298.08	AVSA SCRUBBER REPAIR		486044	1S1119750	5215.6265		REPAIRS-EQUIPMENT	ARENA 1 EQUIPMENT MAINTENANCE
		298.08								
34093	3/28/2025		<b>100186 FRONTLINE PLUS INC</b>							
		2,700.00	STORM SIREN MAINTENANCE CONTRA		486045	14404	1290.6249		OTHER CONTRACTUAL SERVICES	CIVIL DEFENSE MANAGEMENT
		2,700.00								
34094	3/28/2025		<b>156110 GOODPOINTE TECHNOLOGY, LLC</b>							
		6,750.00	2025 PAVEMENT MGMT SURVEY		485953	4561	1510.6235		CONSULTANT SERVICES	PW ENGINEERING & TECHNICAL
		6,750.00								
34095	3/28/2025		<b>100217 GRAINGER, INC.</b>							
		18.93	PART - #326		485746	9426866571	1610.6215		EQUIPMENT-PARTS	STREET/BOULEVARD REPAIR & MNTC

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		117.84	SHOP - STATIONARY GRINDER PART		486049	9428037023	1610.6229		GENERAL SUPPLIES	STREET/BOULEVARD REPAIR & MNTC
		114.21	TOILET PARTS		485772	9432835149	1920.6266		REPAIRS-BUILDING	SENIOR CENTER
		<u>250.98</u>								
<b>34096</b>	<b>3/28/2025</b>		<b>101090 GREND AHL, RUTH A</b>							
		2,357.65	NLC CNF WASH DC - GREND AHL		485732	20250312	1005.6276		SCHOOLS/CONFERENCES/EXP OTHERMAYOR/CITY COUNCIL	
		<u>2,357.65</u>								
<b>34097</b>	<b>3/28/2025</b>		<b>153115 HATTOUNI, JOYETTA</b>							
		2,616.96	PAYROLL CNF ORLANDO HATTOUNI		485773	20250310	1020.6276		SCHOOLS/CONFERENCES/EXP OTHERHUMAN RESOURCES	
		<u>2,616.96</u>								
<b>34098</b>	<b>3/28/2025</b>		<b>134313 HEYNE, RICHARD J</b>							
		65.73	LOCAL TRAVEL		485938	20250228	5005.6277		MILEAGE/AUTO ALLOWANCE	LIQUOR GENERAL OPERATIONS
		<u>65.73</u>								
<b>34099</b>	<b>3/28/2025</b>		<b>137297 HUMERATECH</b>							
		3,024.25	HVAC REPAIR KITCHEN MUA		485788	250236	2265.6266		REPAIRS-BUILDING	GOLF KITCHEN
		<u>3,024.25</u>								
<b>34100</b>	<b>3/28/2025</b>		<b>158287 JLG ARCHITECTS</b>							
		8,364.00	AVFAC DESIGN THRU 2-28-25		486003	2342711	2306.6235	PR230064	CONSULTANT SERVICES	APPLE VALLEY AQUATIC CENTER
		<u>8,364.00</u>								
<b>34101</b>	<b>3/28/2025</b>		<b>129571 KRIS ENGINEERING INC</b>							
		523.48	PLOW EDGES (8)		485948	40861	1665.6215		EQUIPMENT-PARTS	STREET SNOW & ICE MATERIALS
		283.84	PLOW EDGES		485745	41097	1665.6215		EQUIPMENT-PARTS	STREET SNOW & ICE MATERIALS
		<u>807.32</u>								
<b>34102</b>	<b>3/28/2025</b>		<b>154177 LEAST SERVICES COUNSELING LLC</b>							
		480.00	MENTAL HEALTH SERVICES FEB		485944	1637	7205.6235		CONSULTANT SERVICES	INSURANCE CLAIMS
		<u>480.00</u>								
<b>34103</b>	<b>3/28/2025</b>		<b>100289 LOGIS</b>							
		15.00	VPN TOKEN		486065	127004	1030.6229		GENERAL SUPPLIES	INFORMATION TECHNOLOGY
		1,860.00	NETWORK SERVICES FEB		486067	128013	1030.6235		CONSULTANT SERVICES	INFORMATION TECHNOLOGY
		12.15	GOPHER STATE FIBER LOCATES		486066	129020	1030.6249		OTHER CONTRACTUAL SERVICES	INFORMATION TECHNOLOGY
		<u>1,887.15</u>								
<b>34104</b>	<b>3/28/2025</b>		<b>100293 MACQUEEN EQUIPMENT</b>							

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34104	3/28/2025		<b>100293 MACQUEEN EQUIPMENT</b>						<b>Continued...</b>	
		141.44	SWEEPER PARTS		485893	P63094	5505.6215		EQUIPMENT-PARTS	STORM DRAIN MNTC/RPR/SUMPS
		122.95	SWEEPER PARTS		485898	P63157	5505.6215		EQUIPMENT-PARTS	STORM DRAIN MNTC/RPR/SUMPS
		282.15	SWEEPER PARTS		485899	P63222	5505.6215		EQUIPMENT-PARTS	STORM DRAIN MNTC/RPR/SUMPS
		88.39	SWEEPER PARTS		485904	P63336	5505.6215		EQUIPMENT-PARTS	STORM DRAIN MNTC/RPR/SUMPS
		94.65	SWEEPER PARTS		486095	P63422	5505.6215		EQUIPMENT-PARTS	STORM DRAIN MNTC/RPR/SUMPS
		30.47	SWEEPER PARTS		486096	P63463	5505.6215		EQUIPMENT-PARTS	STORM DRAIN MNTC/RPR/SUMPS
		243.37	SWEEPER PARTS		486097	P63505	5505.6215		EQUIPMENT-PARTS	STORM DRAIN MNTC/RPR/SUMPS
		1,003.42								
34105	3/28/2025		<b>100299 MASTER ELECTRIC CO</b>							
		433.74	BLEACHER HEATER TIMMER		485999	SD55355	5265.6266		REPAIRS-BUILDING	ARENA 2 BLDG MAINTENANCE-HAYES
		433.74								
34106	3/28/2025		<b>119049 MED COMPASS</b>							
		46.35	HEARING CONSULTANT		486098	46931K	5505.6235		CONSULTANT SERVICES	STORM DRAIN MNTC/RPR/SUMPS
		46.35								
34107	3/28/2025		<b>100849 METRO VOLLEYBALL OFFICIALS ASS</b>							
		1,632.00	VOLLEYBALL OFFICIALS 2/18-3/4		485784	2603	1850.6249		OTHER CONTRACTUAL SERVICES	REC SOFTBALL
		1,632.00								
34108	3/28/2025		<b>100337 MN DEPT OF LABOR &amp; INDUSTRY</b>							
		100.00	ANNUAL ELEVATOR OPER. - MC		485895	ALR0174368X	1060.6266		REPAIRS-BUILDING	MUNICIPAL BLDG & GROUNDS MNTC
		100.00								
34109	3/28/2025		<b>141813 MYLES MILLER DRAFT LINE CLEANING SERVICE</b>							
		85.00	BEER LINE CLEANING		485775	3426	2270.6249		OTHER CONTRACTUAL SERVICES	GOLF FOOD & BEVERAGE
		85.00								
34110	3/28/2025		<b>146279 NORDIC MECHANICAL SERVICES, I</b>							
		453.75	AVCC BOILER REPAIR, NEW GLYCOL		485997	77562	1900.6266		REPAIRS-BUILDING	AV COMMUNITY CENTER
		674.39	LIQUID LINE TEMP SENSOR - MC		485989	77655	1060.6266		REPAIRS-BUILDING	MUNICIPAL BLDG & GROUNDS MNTC
		1,128.14								
34111	3/28/2025		<b>111219 NORTHERN SAFETY TECHNOLOGY INC</b>							
		85.40	SWEEPER LIGHT		486104	59148	5505.6215		EQUIPMENT-PARTS	STORM DRAIN MNTC/RPR/SUMPS
		1,337.25	REPLACEMENT PLUG ENDS		486076	59149	1210.6265		REPAIRS-EQUIPMENT	POLICE FIELD OPERATIONS/PATROL
		1,422.65								
34112	3/28/2025		<b>150632 OERTEL ARCHITECTS</b>							

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34112	3/28/2025		<b>150632 OERTEL ARCHITECTS</b>						<b>Continued...</b>	
		3,100.50	AE DESIGN FEE FOR PD PROJECT		485756	212233	4432.6235	2021172G	CONSULTANT SERVICES	2024A CAPITAL PROJECTS CIP EXP
		3,100.50								
34113	3/28/2025		<b>100385 PLUNKETT'S PEST CONTROL INC</b>							
		94.79	REDWOOD PEST CONTROL		485914	9047401	1930.6249		OTHER CONTRACTUAL SERVICES	REDWOOD CC
		94.79								
34114	3/28/2025		<b>100395 R &amp; R SPECIALTIES OF WISCONSIN INC</b>							
		63.50	AVSA OLY BLADE SHARPENING		486077	84967IN	5215.6229		GENERAL SUPPLIES	ARENA 1 EQUIPMENT MAINTENANCE
		63.50	HAYES OLY BLADE SHARPENING		486077	84967IN	5270.6229		GENERAL SUPPLIES	ARENA 2 EQUIPMENT MAINT-HAYES
		127.00								
34115	3/28/2025		<b>144060 REACH</b>							
		300.00	REACH TV'S		485777	104841	2205.6239		PRINTING	GOLF MANAGEMENT
		300.00								
34116	3/28/2025		<b>144815 RIHM KENWORTH</b>							
		61.32	PARTS - #310		486079	2196467A	1630.6215		EQUIPMENT-PARTS	STREET EQUIPMENT MAINTENANCE
		61.32								
34117	3/28/2025		<b>152480 RMB ENVIRONMENTAL LAB</b>							
		38.00	WATER QUALITY SAMPLES		486080	B016453	5505.6235		CONSULTANT SERVICES	STORM DRAIN MNTC/RPR/SUMPS
		38.00								
34118	3/28/2025		<b>100524 SOUTHERN GLAZERS WINE AND SPIRITS OF MN</b>							
		3,450.61	LIQ#1	00050756	486335	2596708	5015.6510		LIQUOR	LIQUOR #1 STOCK PURCHASES
		67.00	TAX#1	00050756	486336	2596709	5015.6540		TAXABLE MISC FOR RESALE	LIQUOR #1 STOCK PURCHASES
		608.00	WINE#1	00050756	486356	2596710	5015.6520		WINE	LIQUOR #1 STOCK PURCHASES
		1,073.09	LIQ#2	00050756	486343	2596713	5055.6510		LIQUOR	LIQUOR #2 STOCK PURCHASES
		242.44	WINE#2	00050756	486359	2596714	5055.6520		WINE	LIQUOR #2 STOCK PURCHASES
		2,972.39	LIQ#3	00050756	486349	2596732	5085.6510		LIQUOR	LIQUOR #3 STOCK PURCHASES
		939.58	WINE#3	00050756	486363	2596733	5085.6520		WINE	LIQUOR #3 STOCK PURCHASES
		1,716.94	LIQ#1	00050756	486339	2599429	5015.6510		LIQUOR	LIQUOR #1 STOCK PURCHASES
		87.00	TAX#1	00050756	486340	2599430	5015.6540		TAXABLE MISC FOR RESALE	LIQUOR #1 STOCK PURCHASES
		595.20	WINE#1	00050756	486357	2599432	5015.6520		WINE	LIQUOR #1 STOCK PURCHASES
		1,942.20	LIQ#2	00050756	486345	2599434	5055.6510		LIQUOR	LIQUOR #2 STOCK PURCHASES
		785.68	WINE#2	00050756	486360	2599435	5055.6520		WINE	LIQUOR #2 STOCK PURCHASES
		4,293.15	LIQ#3	00050756	486351	2599455	5085.6510		LIQUOR	LIQUOR #3 STOCK PURCHASES
		425.00	LIQ#3	00050756	486352	2599456	5085.6510		LIQUOR	LIQUOR #3 STOCK PURCHASES
		87.00	TAX#3	00050756	486353	2599456	5085.6540		TAXABLE MISC FOR RESALE	LIQUOR #3 STOCK PURCHASES

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34118	3/28/2025		<b>100524 SOUTHERN GLAZERS WINE AND SPIRITS OF MN</b>						<b>Continued...</b>	
		2,253.12	WINE#3	00050756	486365	2599458	5085.6520		WINE	LIQUOR #3 STOCK PURCHASES
		828.30	LIQ#1	00050756	486338	2600107	5015.6510		LIQUOR	LIQUOR #1 STOCK PURCHASES
		4,844.08	LIQ#1	00050756	486341	2601971	5015.6510		LIQUOR	LIQUOR #1 STOCK PURCHASES
		67.00	TAX#1	00050756	486342	2601972	5015.6540		TAXABLE MISC FOR RESALE	LIQUOR #1 STOCK PURCHASES
		1,141.32	WINE#1	00050756	486358	2601973	5015.6520		WINE	LIQUOR #1 STOCK PURCHASES
		2,610.59	LIQ#2	00050756	486346	2601974	5055.6510		LIQUOR	LIQUOR #2 STOCK PURCHASES
		27.00	LIQ#2	00050756	486347	2601975	5055.6510		LIQUOR	LIQUOR #2 STOCK PURCHASES
		578.29	WINE#2	00050756	486361	2601976	5055.6520		WINE	LIQUOR #2 STOCK PURCHASES
		6,806.00	LIQ#3	00050756	486354	2601989	5085.6510		LIQUOR	LIQUOR #3 STOCK PURCHASES
		1,592.00	WINE#3	00050756	486366	2601990	5085.6520		WINE	LIQUOR #3 STOCK PURCHASES
		2,797.60	LIQ#1	00050756	486337	5122731	5015.6510		LIQUOR	LIQUOR #1 STOCK PURCHASES
		660.20	LIQ#2	00050756	486344	5122732	5055.6510		LIQUOR	LIQUOR #2 STOCK PURCHASES
		798.70	LIQ#3	00050756	486350	5122738	5085.6510		LIQUOR	LIQUOR #3 STOCK PURCHASES
		3.50-	CMWINE#1	00050756	486355	9629345	5015.6520		WINE	LIQUOR #1 STOCK PURCHASES
		148.50-	CMLIQ#3	00050756	486348	9629346	5085.6510		LIQUOR	LIQUOR #3 STOCK PURCHASES
		9.00-	CMWINE#3	00050756	486362	9629347	5085.6520		WINE	LIQUOR #3 STOCK PURCHASES
		56.00-	CMWINE#3	00050756	486364	9631212	5085.6520		WINE	LIQUOR #3 STOCK PURCHASES
		44,072.48								
34119	3/28/2025		<b>139811 SRF CONSULTING GROUP</b>							
		12,401.08	TRAFFIC STUDY - TSAC 155TH ST		485995	18967001	1510.6235		CONSULTANT SERVICES	PW ENGINEERING & TECHNICAL
		12,401.08								
34120	3/28/2025		<b>150590 STONEBROOKE ENGINEERING</b>							
		62,856.58	FINAL DESIGN 147TH		485991	R001261004	4732.6235	2019106R	CONSULTANT SERVICES	TIF#1 CAPITAL PROJECTS
		62,856.58								
34121	3/28/2025		<b>100457 STREICHERS INC</b>							
		82.98	NEW HIRE UNIFORM		485923	I1751963	1210.6281		UNIFORM/CLOTHING ALLOWANCE	POLICE FIELD OPERATIONS/PATROL
		524.97	WILSON UNIFORM		486081	I1752096	1210.6281		UNIFORM/CLOTHING ALLOWANCE	POLICE FIELD OPERATIONS/PATROL
		701.95	DOOBAY UNIFORMS		486082	I1752098	1210.6281		UNIFORM/CLOTHING ALLOWANCE	POLICE FIELD OPERATIONS/PATROL
		1,309.90								
34122	3/28/2025		<b>100481 TRI-STATE BOBCAT INC</b>							
		264.01	AVSA SKID REPAIR		486083	P34028	5215.6215		EQUIPMENT-PARTS	ARENA 1 EQUIPMENT MAINTENANCE
		264.01								
34123	3/28/2025		<b>100486 TWIN CITY GARAGE DOOR CO</b>							
		285.00	GARAGE DOOR PARTS		486107	415732247	1530.6266		REPAIRS-BUILDING	FLEET & BUILDINGS-CMF
		285.00								

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34123	3/28/2025		100486 TWIN CITY GARAGE DOOR CO						Continued...	
34124	3/28/2025		101123 USA BLUE BOOK							
		236.13	2258 & 2259 PADLOCKS		486004	INV00639981	5330.6229		GENERAL SUPPLIES	WTR MAIN/HYDRANT/CURB STOP MNT
		236.14	2258 & 2259 PADLOCKS		486004	INV00639981	5375.6229		GENERAL SUPPLIES	SEWER MAINTENANCE AND REPAIR
		472.27								
34125	3/28/2025		100496 VAN PAPER CO							
		345.26	BAGS#1	00008795	486367	10179300	5025.6229		GENERAL SUPPLIES	LIQUOR #1 OPERATIONS
		3.45-	DISCT#1	00008795	486368	10179300	5025.6333		GENERAL-CASH DISCOUNTS	LIQUOR #1 OPERATIONS
		341.81								
34126	3/28/2025		137762 WSB & ASSOCIATES INC							
		2,483.00	FEAS.STUDY CITY HALL LOT& POND		485960	R02338200014	5505.6235	2024108R	CONSULTANT SERVICES	STORM DRAIN MNTC/RPR/SUMPS
		1,644.00	ESC INSPECTIONS JAN		486084	R0254090009	5505.6235		CONSULTANT SERVICES	STORM DRAIN MNTC/RPR/SUMPS
		4,127.00								
322607	3/19/2025		157211 THE STANDARD							
		190.00	SUPP/DEP LIFE INS ADJ BIRD		485731	20250301	9000.2118		ACCRUED LIFE INSUR-SUPP/DEPEND	PAYROLL CLEARING BAL SHEET
		348.95	BASIC LIFE INSURANCE MARCH		485731	20250301	9000.2117		ACCRUED LIFE INSUR-BASIC	PAYROLL CLEARING BAL SHEET
		9,740.95	SUPP/DEP LIFE INS MARCH		485731	20250301	9000.2118		ACCRUED LIFE INSUR-SUPP/DEPEND	PAYROLL CLEARING BAL SHEET
		10,279.90								
322608	3/26/2025		152066 3 GUYS SEWING							
		60.00	UNIFORMS		485921	12039	1210.6281		UNIFORM/CLOTHING ALLOWANCE	POLICE FIELD OPERATIONS/PATROL
		60.00								
322609	3/26/2025		157965 9525 BLACK OAKS PARTNERS LLC							
		2,111.29	LIQ1 TAX ESCROW-APR		486378	20250318	5025.6310		RENTAL EXPENSE	LIQUOR #1 OPERATIONS
		3,502.26	LIQ1 CAM ESCROW-APR		486378	20250318	5025.6310		RENTAL EXPENSE	LIQUOR #1 OPERATIONS
		12,000.00	LIQ1 LEASE-APR		486378	20250318	5025.6310		RENTAL EXPENSE	LIQUOR #1 OPERATIONS
		196.40	LIQ1 CAM ESCROW-MAR		486394	20250326	5025.6310		RENTAL EXPENSE	LIQUOR #1 OPERATIONS
		196.40	LIQ1 CAM ESCROW-APR		486394	20250326	5025.6310		RENTAL EXPENSE	LIQUOR #1 OPERATIONS
		500.00	LIQ1 LEASE-APR		486394	20250326	5025.6310		RENTAL EXPENSE	LIQUOR #1 OPERATIONS
		500.00	LIQ 1 LEASE-MAR		486394	20250326	5025.6310		RENTAL EXPENSE	LIQUOR #1 OPERATIONS
		3,184.96	PRIOR YEAR CAM ADJ 1/24-12/24		486394	20250326	5025.6310		RENTAL EXPENSE	LIQUOR #1 OPERATIONS
		22,191.31								
322610	3/26/2025		147492 ACUSHNET COMPANY							
		15.00-	REFUND FOR BALLS		482717	919571190	2260.6412		GOLF-BALLS	GOLF PRO SHOP MERCH SALES
		1,476.95-	TITLEIST-INCENTIVE REBATE		483713	919624040	2260.6412		GOLF-BALLS	GOLF PRO SHOP MERCH SALES

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<b>322610</b>	<b>3/26/2025</b>		<b>147492 ACUSHNET COMPANY</b>						<b>Continued...</b>	
		60.00	TITLEIST HATS		485329	919792872	2260.6413		GOLF-CAPS/HATS/CLOTHING	GOLF PRO SHOP MERCH SALES
		1,356.00	TITLEIST HATS		485445	919803947	2260.6413		GOLF-CAPS/HATS/CLOTHING	GOLF PRO SHOP MERCH SALES
		8.34-	GOLF DISCOUNT		486380	919839745	2260.6423		GOLF-CASH DISCOUNT	GOLF PRO SHOP MERCH SALES
		417.00	TITLEIST BAGS		486380	919839745	2260.6411		GOLF-BAGS & UMBRELLAS	GOLF PRO SHOP MERCH SALES
		17.85-	GOLF DISCOUNT		486381	919869041	2260.6423		GOLF-CASH DISCOUNT	GOLF PRO SHOP MERCH SALES
		892.50	TITLEIST HATS FOR EV GIRLS		486381	919869041	2260.6413		GOLF-CAPS/HATS/CLOTHING	GOLF PRO SHOP MERCH SALES
		2,390.40	TITLEIST BALLS FOR RHS		485942	919889158	2260.6412		GOLF-BALLS	GOLF PRO SHOP MERCH SALES
		276.00	TITLEIST BAGS		485778	919903036	2260.6411		GOLF-BAGS & UMBRELLAS	GOLF PRO SHOP MERCH SALES
		<u>3,873.76</u>								
<b>322611</b>	<b>3/26/2025</b>		<b>100089 ADVANCE PROFESSIONAL</b>							
		59.98	MOTOR OIL		485770	1594461600	1765.6212		MOTOR FUELS/OILS	PARK EQUIPMENT MAINTENANCE
		4.59	BULB REPLACEMENT		485768	1594470157	1765.6215		EQUIPMENT-PARTS	PARK EQUIPMENT MAINTENANCE
		33.42	TRAILER PARTS		485769	1594472469	1765.6215		EQUIPMENT-PARTS	PARK EQUIPMENT MAINTENANCE
		77.24	OIL CHANGE- BYPASS		485922	1594PICK	5390.6212		MOTOR FUELS/OILS	SWR EQUIP/VEHICLE MISC MNTC/RP
		<u>175.23</u>								
<b>322612</b>	<b>3/26/2025</b>		<b>100019 AMERICAN PUBLIC WORKS ASSN</b>							
		266.05	APWA ANNUAL DUES - NAT RES		486006	866939	1520.6280		DUES & SUBSCRIPTIONS	NATURAL RESOURCES
		266.10	APWA ANNUAL DUES - PW ADMIN		486006	866939	1500.6280		DUES & SUBSCRIPTIONS	PW MANAGEMENT
		266.10	APWA ANNUAL DUES - FLEET		486006	866939	1530.6280		DUES & SUBSCRIPTIONS	FLEET & BUILDINGS-CMF
		532.20	APWA ANNUAL DUES - STREETS		486006	866939	1600.6280		DUES & SUBSCRIPTIONS	STREET MANAGEMENT
		1,596.60	APWA ANNUAL DUES - ENG		486006	866939	1510.6280		DUES & SUBSCRIPTIONS	PW ENGINEERING & TECHNICAL
		266.10	APWA ANNUAL DUES - WATER		486006	866939	5305.6280		DUES & SUBSCRIPTIONS	WATER MGMT/REPORT/DATA ENTRY
		266.10	APWA ANNUAL DUES - SEWER		486006	866939	5365.6280		DUES & SUBSCRIPTIONS	SEWER MGMT/REPORTS/DATA ENTRY
		<u>3,459.25</u>								
<b>322613</b>	<b>3/26/2025</b>		<b>100958 ANCOM COMMUNICATIONS INC</b>							
		160.00	PAGER REPAIR		485791	126738	1330.6265		REPAIRS-EQUIPMENT	FIRE OPERATIONS
		200.00	PAGER BATTERIES (10)		486007	126857	1330.6215		EQUIPMENT-PARTS	FIRE OPERATIONS
		300.00	PAGER PARTS		486007	126857	1330.6215		EQUIPMENT-PARTS	FIRE OPERATIONS
		<u>660.00</u>								
<b>322614</b>	<b>3/26/2025</b>		<b>100023 ANDERSEN INC, EARL F</b>							
		448.80	SIGN REPLACEMENTS/HARDWARE		485986	138805IN	1680.6229		GENERAL SUPPLIES	TRAFFIC SIGNS/SIGNALS/MARKERS
		168.00	SIGN REPLACEMENTS		485894	138832IN	1680.6229		GENERAL SUPPLIES	TRAFFIC SIGNS/SIGNALS/MARKERS
		<u>616.80</u>								
<b>322615</b>	<b>3/26/2025</b>		<b>100036 APPLE VALLEY CHAMBER OF COMMER</b>							
		313.00	2025 AV HOME AND GARDEN		485962	26782	1520.6310		RENTAL EXPENSE	NATURAL RESOURCES



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<b>322615</b>	<b>3/26/2025</b>		<b>100036 APPLE VALLEY CHAMBER OF COMMER</b>						<b>Continued...</b>	
		625.00	2025 AV HOME AND GARDEN		485962	26782	1400.6310		RENTAL EXPENSE	INSPECTIONS MANAGEMENT
		625.00	2025 AV HOME AND GARDEN		485962	26782	1320.6310		RENTAL EXPENSE	FIRE PREVENTION
		625.00	2025 AV HOME AND GARDEN		485962	26782	1710.6310		RENTAL EXPENSE	PARK MAINTENANCE MANAGEMENT
		1,250.00	2025 AV HOME AND GARDEN		485962	26782	1100.6310		RENTAL EXPENSE	DEV MANAGEMENT
		1,250.00	2025 AV HOME AND GARDEN		485962	26782	5305.6310		RENTAL EXPENSE	WATER MGMT/REPORT/DATA ENTRY
		312.00	2025 AV HOME AND GARDEN		485962	26782	5505.6310		RENTAL EXPENSE	STORM DRAIN MNTC/RPR/SUMPS
		5,000.00								
<b>322616</b>	<b>3/26/2025</b>		<b>118892 ASPEN MILLS</b>							
		1,932.01	TAYLOR VEST		485943	349235	1210.6281		UNIFORM/CLOTHING ALLOWANCE	POLICE FIELD OPERATIONS/PATROL
		123.90	DEMARCO UNIFORM		485790	350311	1330.6281		UNIFORM/CLOTHING ALLOWANCE	FIRE OPERATIONS
		2,055.91								
<b>322617</b>	<b>3/26/2025</b>		<b>158552 ASPIRE ADULT VOLLEYBALL LLC</b>							
		960.00	VOLLEYBALL CLINIC INST.DEC-JAN		485783	9	1860.6249		OTHER CONTRACTUAL SERVICES	REC VOLLEYBALL
		960.00								
<b>322618</b>	<b>3/26/2025</b>		<b>100072 BRAUN INTERTEC CORPORATION</b>							
		5,900.00	MATERIALS TESTING CENTRAL V		485994	B421266	2027.6235	2025109R	CONSULTANT SERVICES	ROAD ESCROW
		5,900.00								
<b>322619</b>	<b>3/26/2025</b>		<b>144930 CANON</b>							
		63.41	COPIER LEASE		486010	39081943	1920.6310		RENTAL EXPENSE	SENIOR CENTER
		74.55	COPIER LEASE		486010	39081943	1400.6310		RENTAL EXPENSE	INSPECTIONS MANAGEMENT
		192.34	COPIER LEASE		486010	39081943	1500.6310		RENTAL EXPENSE	PW MANAGEMENT
		215.51	COPIER LEASE		486010	39081943	1700.6310		RENTAL EXPENSE	PARK & RECREATION MANAGEMENT
		417.24	COPIER LEASE		486010	39081943	1200.6310		RENTAL EXPENSE	POLICE MANAGEMENT
		766.26	COPIER LEASE		486010	39081943	1030.6310		RENTAL EXPENSE	INFORMATION TECHNOLOGY
		87.28	COPIER LEASE		486010	39081943	2205.6310		RENTAL EXPENSE	GOLF MANAGEMENT
		42.55	COPIER LEASE		486010	39081943	5025.6310		RENTAL EXPENSE	LIQUOR #1 OPERATIONS
		42.55	COPIER LEASE		486010	39081943	5065.6310		RENTAL EXPENSE	LIQUOR #2 OPERATIONS
		42.55	COPIER LEASE		486010	39081943	5095.6310		RENTAL EXPENSE	LIQUOR #3 OPERATIONS
		49.52	COPIER LEASE		486010	39081943	5210.6310		RENTAL EXPENSE	ARENA 1 BUILDING MAINTENANCE
		49.94	COPIER LEASE		486009	39087827	2012.6310		RENTAL EXPENSE	CABLE TV JOINT POWERS
		2,043.70								
<b>322620</b>	<b>3/26/2025</b>		<b>151149 CHEM-AQUA, INC.</b>							
		290.85	WATER TREATMENT CONTRACT		482415	9002458	1920.6249		OTHER CONTRACTUAL SERVICES	SENIOR CENTER
		308.30	WATER TREATMENT CONTRACT		486089	9077291	1920.6249		OTHER CONTRACTUAL SERVICES	SENIOR CENTER
		599.15								

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322620	3/26/2025		151149 CHEM-AQUA, INC.						Continued...	
322621	3/26/2025		100282 CINTAS CORPORATION							
		9.50	SHOP COVERALLS		486013	4223365805	1530.6281		UNIFORM/CLOTHING ALLOWANCE	FLEET & BUILDINGS-CMF
		13.51	PARKS COVERALLS		486013	4223365805	1710.6281		UNIFORM/CLOTHING ALLOWANCE	PARK MAINTENANCE MANAGEMENT
		44.48	STREETS COVERALLS		486013	4223365805	1600.6281		UNIFORM/CLOTHING ALLOWANCE	STREET MANAGEMENT
		10.80	FLOOR MATS		485750	4223365948	5065.6240		CLEANING SERVICE/GARBAGE REMOV	LIQUOR #2 OPERATIONS
		155.75	CINTAS LINENS		485779	4223608326	2270.6249		OTHER CONTRACTUAL SERVICES	GOLF FOOD & BEVERAGE
		36.00	RUG SERVICE		485900	4223905618	1530.6240		CLEANING SERVICE/GARBAGE REMOV	FLEET & BUILDINGS-CMF
		81.07	AVCC RUG SERVICE		485913	4223905694	1900.6240		CLEANING SERVICE/GARBAGE REMOV	VAV COMMUNITY CENTER
		6.72	MATS		485755	4223905770	5025.6249		OTHER CONTRACTUAL SERVICES	LIQUOR #1 OPERATIONS
		9.50	SHOP COVERALLS		486015	4224038103	1530.6281		UNIFORM/CLOTHING ALLOWANCE	FLEET & BUILDINGS-CMF
		13.51	PARKS COVERALLS		486015	4224038103	1710.6281		UNIFORM/CLOTHING ALLOWANCE	PARK MAINTENANCE MANAGEMENT
		44.48	STREETS COVERALLS		486015	4224038103	1600.6281		UNIFORM/CLOTHING ALLOWANCE	STREET MANAGEMENT
		425.32								
322622	3/26/2025		100096 CITY WIDE WINDOW SERVICES							
		27.03	WINDOW CLEANING		485751	743703	5025.6240		CLEANING SERVICE/GARBAGE REMOV	LIQUOR #1 OPERATIONS
		27.03								
322623	3/26/2025		141919 CIVICPLUS							
		9,984.75	DATA REQU. SOFT. W/ 15 USERS		485754	329648	1030.6308		SOFTWARE SUBSCRIPTIONS	INFORMATION TECHNOLOGY
		11,938.10	AGENDA MANAGEMENT SOFTWARE		485754	329648	1030.6308		SOFTWARE SUBSCRIPTIONS	INFORMATION TECHNOLOGY
		21,922.85								
322624	3/26/2025		130960 COLDSRING GRANITE COMPANY							
		570.00	BOULDER PLATES - BRONSON		485961	RI2349386	5605.6326		CREMATION BOULDER	CEMETERY
		570.00								
322625	3/26/2025		100510 CORE & MAIN							
		742.80	ANODE BAGS FOR WM REPAIRS		486017	W515715	5330.6229		GENERAL SUPPLIES	WTR MAIN/HYDRANT/CURB STOP MNT
		3.28	UTIL SALES TAX ADJUST		485896	W519041	5310.6215		EQUIPMENT-PARTS	WATER METER RPR/REPLACE/READNC
		3.28	UTIL SALES TAX ADJUST		485896	W519041	5300.2330		DUE TO OTHER GOVERNMENT	WATER & SEWER FUND BAL SHEET
		51.03	3/4" & 1" METER GASKETS		485896	W519041	5310.6215		EQUIPMENT-PARTS	WATER METER RPR/REPLACE/READNC
		793.83								
322626	3/26/2025		100114 CUB FOODS							
		7.99	ICE CREAM - REITEN RETIREMENT		485963	160408103767	1540.6229		GENERAL SUPPLIES	CMF BUILDINGS & GROUNDS MNTC
		122.91	MS4 TRAINING SNACKS		485966	160451192498	5505.6229		GENERAL SUPPLIES	STORM DRAIN MNTC/RPR/SUMPS
		130.90								

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<b>322627</b>	<b>3/26/2025</b>		<b>100123 DAKOTA COUNTY FINANCIAL SERVIC</b>						<b>Continued...</b>	
		44,526.59	DPC PARTICIPATION 2025		485757	298018	1290.6249		OTHER CONTRACTUAL SERVICES	CIVIL DEFENSE MANAGEMENT
		44,526.59								
<b>322628</b>	<b>3/26/2025</b>		<b>100434 DOUGHERTY MOLENDIA SOLFEST HILL</b>							
		91.78	CODE VIOLATIONS-MISC		485967	334412	1050.6231		LEGAL SERVICES	LEGAL GENERAL SERVICES
		56.69	CENTRAL MAINT FACILITY		485969	334416	4432.6231	2021154G	LEGAL SERVICES	2024A CAPITAL PROJECTS CIP EXP
		604.70	MIXED BUSINESS CAMPUS REZONING		485968	334417	4502.6231	2023115L	LEGAL SERVICES	IMPROVEMENTS-ASSESSED
		75.58	PFAS LITIGATION		485970	334418	5305.6231		LEGAL SERVICES	WATER MGMT/REPORT/DATA ENTRY
		132.28	PARK BOND REDWOOD PARK		485971	334419	2360.6231	PR230062	LEGAL SERVICES	REDWOOD PARK
		132.28	KELLEY PARK IMPROV PROJECT		485972	334420	2349.6231	PR230062	LEGAL SERVICES	KELLEY PARK
		37.79	PARK BOND HAYES PARK		485973	334421	2343.6231	PR230062	LEGAL SERVICES	HAYES PARK PARK
		37.79	PARK BOND HAYES BASEBALL COMPL		485974	334422	2309.6231	PR230062	LEGAL SERVICES	HAYES BASEBALL/SOFTBALL COMPLX
		37.79	KLJ ENG-LES SCHWAB TIRES CUP(P		485975	334423	4502.6231	2024128L	LEGAL SERVICES	IMPROVEMENTS-ASSESSED
		85.04	AV 11TH & 12TH ADDN-EASEMENT A		485976	334424	4752.6231	2022111E	LEGAL SERVICES	ELECTRIC FRANCHSE
		259.35	AV HS ACTIVITY CTR (PC24-20-B)		485977	334425	4502.6231	2024182L	LEGAL SERVICES	IMPROVEMENTS-ASSESSED
		94.48	ORCHARD PL-MCDONALDS (PC24-22-		485979	334426	4502.6231	2024184L	LEGAL SERVICES	IMPROVEMENTS-ASSESSED
		374.61	MIXED BUSINESS COMP PLAN AMEND		485978	334427	4502.6231	2024183L	LEGAL SERVICES	IMPROVEMENTS-ASSESSED
		979.78	MBC DIST-TECH PARK (PC24-23-BC		485980	334428	4502.6231	2024185L	LEGAL SERVICES	IMPROVEMENTS-ASSESSED
		1,450.36	SALE OF CITY LAND (8xxx 147TH-		485981	334429	4047.6231	2025148G	LEGAL SERVICES	CIP DEVELOPMENT
		264.56	BETHEL CELL TWR (PC25-02-C)		485982	334430	4502.6231	2025132L	LEGAL SERVICES	IMPROVEMENTS-ASSESSED
		132.27	PD-409 CANNABIS MICROBUS. (PC2		485983	334431	4502.6231	2025133L	LEGAL SERVICES	IMPROVEMENTS-ASSESSED
		460.00	GEN CRIMINAL MATTERS		485984	335090	1055.6231		LEGAL SERVICES	LEGAL PROSECUTING ATTORNEY
		5,307.13								
<b>322629</b>	<b>3/26/2025</b>		<b>157586 EMERGENCY TECHNICAL DECON</b>							
		2,853.25	GEAR CLEAN & REPAIR (5 SETS)		486040	229	1330.6265		REPAIRS-EQUIPMENT	FIRE OPERATIONS
		2,853.25								
<b>322630</b>	<b>3/26/2025</b>		<b>102254 ENVIRONMENTAL EQUIPMENT &amp; SERVICES INC</b>							
		476.81	SWEEPER PARTS		485988	24695	5505.6215		EQUIPMENT-PARTS	STORM DRAIN MNTC/RPR/SUMPS
		476.81								
<b>322631</b>	<b>3/26/2025</b>		<b>100166 FEDEX</b>							
		99.29	FREIGHT ON RESALE		485780	879694473	2260.6424		GOLF FREIGHT ON RESALE MDSE	GOLF PRO SHOP MERCH SALES
		99.29								
<b>322632</b>	<b>3/26/2025</b>		<b>101298 FERGUSON ENTERPRISES</b>							
		219.00	PARTS FOR TOILET REPAIR		486090	1455430	1920.6266		REPAIRS-BUILDING	SENIOR CENTER
		219.00								

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322633	3/26/2025		<b>100168 FERRELLGAS</b>						<b>Continued...</b>	
		12.00	LP		486042	RN10804362	1600.6212		MOTOR FUELS/OILS	STREET MANAGEMENT
		12.00								
322634	3/26/2025		<b>136283 FIRE SAFETY USA</b>							
		922.96	EXTRICATION GLOVES (15)		485758	198605	1330.6281		UNIFORM/CLOTHING ALLOWANCE	FIRE OPERATIONS
		922.96								
322635	3/26/2025		<b>163154 FRONT BURNER SPORTS &amp; ENTERTAINMENT</b>							
		3,000.00	HAYES NAMING RIGHTS CONSULTANT		485782	AV250301	5260.6249		OTHER CONTRACTUAL SERVICES	ARENA 2 MANAGEMENT-HAYES
		3,000.00								
322636	3/26/2025		<b>101328 GOVCONNECTION INC</b>							
		860.91	DESKTOP COMPUTER PARKS		486047	76247678	1730.6229		GENERAL SUPPLIES	PARK BUILDING MAINTENANCE
		860.91	DESKTOP COMPUTER LIQUOR		486047	76247678	5065.6211		SMALL TOOLS & EQUIPMENT	LIQUOR #2 OPERATIONS
		221.98	LCD MONITOR PARKS		486048	76252879	1730.6229		GENERAL SUPPLIES	PARK BUILDING MAINTENANCE
		1,006.75	COMPUTER HARD DRIVES		486048	76252879	1030.6725		CAPITAL OUTLAY-OFFICE EQUIP	INFORMATION TECHNOLOGY
		221.98	LCD MONITOR LIQ		486048	76252879	5065.6211		SMALL TOOLS & EQUIPMENT	LIQUOR #2 OPERATIONS
		258.98	WIRELESS HEADSET		486046	76276276	1030.6211		SMALL TOOLS & EQUIPMENT	INFORMATION TECHNOLOGY
		14.74	POWER STRIP SURGE SUPPRESSION		486091	76280730	1030.6211		SMALL TOOLS & EQUIPMENT	INFORMATION TECHNOLOGY
		3,446.25								
322637	3/26/2025		<b>100718 GRAWE, CHARLES H</b>							
		47.32	MILEAGE TO CONSTRUCTION SITE M		486058	20250318	1010.6277		MILEAGE/AUTO ALLOWANCE	ADMINISTRATION
		47.32								
322638	3/26/2025		<b>101630 GURSTEL LAW FIRM</b>							
		1,027.92	GARNISHMENT		485965	20250325	9000.2120		ACCRUED BENEFIT LIABILITY	PAYROLL CLEARING BAL SHEET
		1,027.92								
322639	3/26/2025		<b>100222 HACH COMPANY</b>							
		193.55	WTP LAB SUPPLIES		485917	14397139	5325.6229		GENERAL SUPPLIES	WATER TREATMENT FCLTY MNTC/RPR
		193.55								
322640	3/26/2025		<b>100891 HANCO CORPORATION</b>							
		644.98	MOWER TIRES PARKS		485998	20340900	1765.6216		VEHICLES-TIRES/BATTERIES	PARK EQUIPMENT MAINTENANCE
		644.98								
322641	3/26/2025		<b>101022 HOSE CONVEYORS INC</b>							
		16.74	SWEPPER WATER LINE		485906	112870	5505.6215		EQUIPMENT-PARTS	STORM DRAIN MNTC/RPR/SUMPS
		111.44	SWEPPER RE-BUILD PARTS		486092	112919	5505.6215		EQUIPMENT-PARTS	STORM DRAIN MNTC/RPR/SUMPS

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322641	3/26/2025		101022 HOSE CONVEYORS INC						Continued...	
		128.18								
322642	3/26/2025		103314 INNOVATIVE OFFICE SOLUTIONS							
		6.28	CLIPBOARDS POST ITS		486093	IN4782829	1540.6210		OFFICE SUPPLIES	CMF BUILDINGS & GROUNDS MNTC
		39.07	LABELS FOLDERS TABS NOTES		486093	IN4782829	1600.6210		OFFICE SUPPLIES	STREET MANAGEMENT
		46.83	AVCC FILE TRAY, NOTEPADS, PENS		485912	IN4783813	1900.6210		OFFICE SUPPLIES	AV COMMUNITY CENTER
		4.55	POST IT NOTES		486051	IN4785030	1540.6210		OFFICE SUPPLIES	CMF BUILDINGS & GROUNDS MNTC
		12.45	AVCC MAGNETIC STRIPS		485915	IN4785103	1900.6210		OFFICE SUPPLIES	AV COMMUNITY CENTER
		77.41	DESK REFERENCE SYSTEM		485919	IN4785337	1200.6210		OFFICE SUPPLIES	POLICE MANAGEMENT
		3.84	TABS		486050	IN4788585	1600.6210		OFFICE SUPPLIES	STREET MANAGEMENT
		29.88	STORE SUPPLIES		485752	IN4788649	5025.6229		GENERAL SUPPLIES	LIQUOR #1 OPERATIONS
		8.07	TOILET BRUSHES		485760	IN4788789	1920.6229		GENERAL SUPPLIES	SENIOR CENTER
		120.45	CLEANING SPRAY, GARBAGE LINERS		485759	IN4789663	1920.6229		GENERAL SUPPLIES	SENIOR CENTER
		13.91	DISPOSABLE GLOVES		485786	IN4790770	1920.6229		GENERAL SUPPLIES	SENIOR CENTER
		9.96	TOILET BRUSHES		486094	IN4792032	1920.6229		GENERAL SUPPLIES	SENIOR CENTER
		372.70								
322643	3/26/2025		100255 JOHNSON BROTHERS LIQUOR							
		132.44	LIQ#1	00000109	486108	2738809	5015.6510		LIQUOR	LIQUOR #1 STOCK PURCHASES
		1.04	FREIGHT#1	00000109	486109	2738809	5015.6550		FREIGHT ON RESALE MDSE	LIQUOR #1 STOCK PURCHASES
		1,194.70	WINE#1	00000109	486208	2738810	5015.6520		WINE	LIQUOR #1 STOCK PURCHASES
		28.75	FREIGHT#1	00000109	486209	2738810	5015.6550		FREIGHT ON RESALE MDSE	LIQUOR #1 STOCK PURCHASES
		506.00	LIQ#3	00000109	486172	2741516	5085.6510		LIQUOR	LIQUOR #3 STOCK PURCHASES
		5.00	FREIGHT#3	00000109	486173	2741516	5085.6550		FREIGHT ON RESALE MDSE	LIQUOR #3 STOCK PURCHASES
		5,495.34	LIQ#1	00000109	486110	2741517	5015.6510		LIQUOR	LIQUOR #1 STOCK PURCHASES
		51.46	FREIGHT#1	00000109	486111	2741517	5015.6550		FREIGHT ON RESALE MDSE	LIQUOR #1 STOCK PURCHASES
		2,580.28	LIQ#1	00000109	486112	2741518	5015.6510		LIQUOR	LIQUOR #1 STOCK PURCHASES
		32.71	FREIGHT#1	00000109	486113	2741518	5015.6550		FREIGHT ON RESALE MDSE	LIQUOR #1 STOCK PURCHASES
		218.20	WINE#1	00000109	486210	2741519	5015.6520		WINE	LIQUOR #1 STOCK PURCHASES
		3.75	FREIGHT#1	00000109	486211	2741519	5015.6550		FREIGHT ON RESALE MDSE	LIQUOR #1 STOCK PURCHASES
		488.96	LIQ#3	00000109	486174	2741520	5085.6510		LIQUOR	LIQUOR #3 STOCK PURCHASES
		6.67	FREIGHT#3	00000109	486175	2741520	5085.6550		FREIGHT ON RESALE MDSE	LIQUOR #3 STOCK PURCHASES
		956.50	LIQ#2	00000109	486138	2741521	5055.6510		LIQUOR	LIQUOR #2 STOCK PURCHASES
		11.25	FREIGHT#2	00000109	486139	2741521	5055.6550		FREIGHT ON RESALE MDSE	LIQUOR #2 STOCK PURCHASES
		1,674.50	LIQ#1	00000109	486114	2741522	5015.6510		LIQUOR	LIQUOR #1 STOCK PURCHASES
		21.25	FREIGHT#1	00000109	486115	2741522	5015.6550		FREIGHT ON RESALE MDSE	LIQUOR #1 STOCK PURCHASES
		320.75	WINE#1	00000109	486212	2741523	5015.6520		WINE	LIQUOR #1 STOCK PURCHASES
		6.25	FREIGHT#1	00000109	486213	2741523	5015.6550		FREIGHT ON RESALE MDSE	LIQUOR #1 STOCK PURCHASES
		396.00	LIQ#2	00000109	486140	2741524	5055.6510		LIQUOR	LIQUOR #2 STOCK PURCHASES
		2.50	FREIGHT#2	00000109	486141	2741524	5055.6550		FREIGHT ON RESALE MDSE	LIQUOR #2 STOCK PURCHASES

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322643	3/26/2025		100255 JOHNSON BROTHERS LIQUOR						Continued...	
		594.00	LIQ#1	00000109	486116	2741525	5015.6510		LIQUOR	LIQUOR #1 STOCK PURCHASES
		5.00	FREIGHT#1	00000109	486117	2741525	5015.6550		FREIGHT ON RESALE MDSE	LIQUOR #1 STOCK PURCHASES
		932.00	WINE#1	00000109	486214	2741526	5015.6520		WINE	LIQUOR #1 STOCK PURCHASES
		12.00-	CMWINE#1	00000109	486215	2741526	5015.6520		WINE	LIQUOR #1 STOCK PURCHASES
		20.00	FREIGHT#1	00000109	486216	2741526	5015.6550		FREIGHT ON RESALE MDSE	LIQUOR #1 STOCK PURCHASES
		826.43	LIQ#2	00000109	486142	2741527	5055.6510		LIQUOR	LIQUOR #2 STOCK PURCHASES
		6.25	FREIGHT#2	00000109	486143	2741527	5055.6550		FREIGHT ON RESALE MDSE	LIQUOR #2 STOCK PURCHASES
		568.50	LIQ#2	00000109	486144	2741528	5055.6510		LIQUOR	LIQUOR #2 STOCK PURCHASES
		7.50	FREIGHT#2	00000109	486145	2741528	5055.6550		FREIGHT ON RESALE MDSE	LIQUOR #2 STOCK PURCHASES
		480.00	WINE#2	00000109	486231	2741529	5055.6520		WINE	LIQUOR #2 STOCK PURCHASES
		6.25	FREIGHT#2	00000109	486232	2741529	5055.6550		FREIGHT ON RESALE MDSE	LIQUOR #2 STOCK PURCHASES
		370.87	LIQ#2	00000109	486146	2741530	5055.6510		LIQUOR	LIQUOR #2 STOCK PURCHASES
		3.54	FREIGHT#2	00000109	486147	2741530	5055.6550		FREIGHT ON RESALE MDSE	LIQUOR #2 STOCK PURCHASES
		200.00	WINE#2	00000109	486233	2741531	5055.6520		WINE	LIQUOR #2 STOCK PURCHASES
		1.46	FREIGHT#2	00000109	486234	2741531	5055.6550		FREIGHT ON RESALE MDSE	LIQUOR #2 STOCK PURCHASES
		232.00	WINE#2	00000109	486235	2741532	5055.6520		WINE	LIQUOR #2 STOCK PURCHASES
		5.00	FREIGHT#2	00000109	486236	2741532	5055.6550		FREIGHT ON RESALE MDSE	LIQUOR #2 STOCK PURCHASES
		1,562.36	LIQ#3	00000109	486176	2741533	5085.6510		LIQUOR	LIQUOR #3 STOCK PURCHASES
		8.75	FREIGHT#3	00000109	486177	2741533	5085.6550		FREIGHT ON RESALE MDSE	LIQUOR #3 STOCK PURCHASES
		694.85	LIQ#3	00000109	486178	2741534	5085.6510		LIQUOR	LIQUOR #3 STOCK PURCHASES
		6.25	FREIGHT#3	00000109	486179	2741534	5085.6550		FREIGHT ON RESALE MDSE	LIQUOR #3 STOCK PURCHASES
		906.50	WINE#3	00000109	486255	2741535	5085.6520		WINE	LIQUOR #3 STOCK PURCHASES
		11.25	FREIGHT#3	00000109	486256	2741535	5085.6550		FREIGHT ON RESALE MDSE	LIQUOR #3 STOCK PURCHASES
		111.00	TAX#3	00000109	486180	2741536	5085.6540		TAXABLE MISC FOR RESALE	LIQUOR #3 STOCK PURCHASES
		3.75	FREIGHT#3	00000109	486181	2741536	5085.6550		FREIGHT ON RESALE MDSE	LIQUOR #3 STOCK PURCHASES
		493.00	LIQ#3	00000109	486182	2741537	5085.6510		LIQUOR	LIQUOR #3 STOCK PURCHASES
		6.25	FREIGHT#3	00000109	486183	2741537	5085.6550		FREIGHT ON RESALE MDSE	LIQUOR #3 STOCK PURCHASES
		320.00	WINE#3	00000109	486257	2741538	5085.6520		WINE	LIQUOR #3 STOCK PURCHASES
		6.25	FREIGHT#3	00000109	486258	2741538	5085.6550		FREIGHT ON RESALE MDSE	LIQUOR #3 STOCK PURCHASES
		110.75	LIQ#3	00000109	486184	2741539	5085.6510		LIQUOR	LIQUOR #3 STOCK PURCHASES
		1.25	FREIGHT#3	00000109	486185	2741539	5085.6550		FREIGHT ON RESALE MDSE	LIQUOR #3 STOCK PURCHASES
		48.00	WINE#3	00000109	486259	2741540	5085.6520		WINE	LIQUOR #3 STOCK PURCHASES
		1.25	FREIGHT#3	00000109	486260	2741540	5085.6550		FREIGHT ON RESALE MDSE	LIQUOR #3 STOCK PURCHASES
		270.00	LIQ#2	00000109	486148	2746311	5055.6510		LIQUOR	LIQUOR #2 STOCK PURCHASES
		2.50	FREIGHT#2	00000109	486149	2746311	5055.6550		FREIGHT ON RESALE MDSE	LIQUOR #2 STOCK PURCHASES
		159.53	WINE#2	00000109	486237	2746312	5055.6520		WINE	LIQUOR #2 STOCK PURCHASES
		1.25	FREIGHT#2	00000109	486238	2746312	5055.6550		FREIGHT ON RESALE MDSE	LIQUOR #2 STOCK PURCHASES
		1,025.00	LIQ#1	00000109	486120	2746313	5015.6510		LIQUOR	LIQUOR #1 STOCK PURCHASES
		16.25	FREIGHT#1	00000109	486121	2746313	5015.6550		FREIGHT ON RESALE MDSE	LIQUOR #1 STOCK PURCHASES

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322643	3/26/2025		100255 JOHNSON BROTHERS LIQUOR						Continued...	
		172.75	WINE#1	00000109	486219	2746314	5015.6520		WINE	LIQUOR #1 STOCK PURCHASES
		3.75	FREIGHT#1	00000109	486220	2746314	5015.6550		FREIGHT ON RESALE MDSE	LIQUOR #1 STOCK PURCHASES
		66.67	WINE#2	00000109	486239	2746315	5055.6520		WINE	LIQUOR #2 STOCK PURCHASES
		1.25	FREIGHT#2	00000109	486240	2746315	5055.6550		FREIGHT ON RESALE MDSE	LIQUOR #2 STOCK PURCHASES
		2,858.30	LIQ#1	00000109	486122	2746316	5015.6510		LIQUOR	LIQUOR #1 STOCK PURCHASES
		38.96	FREIGHT#1	00000109	486123	2746316	5015.6550		FREIGHT ON RESALE MDSE	LIQUOR #1 STOCK PURCHASES
		509.55	WINE#1	00000109	486221	2746317	5015.6520		WINE	LIQUOR #1 STOCK PURCHASES
		8.75	FREIGHT#1	00000109	486222	2746317	5015.6550		FREIGHT ON RESALE MDSE	LIQUOR #1 STOCK PURCHASES
		1,968.80	LIQ#1	00000109	486124	2746319	5015.6510		LIQUOR	LIQUOR #1 STOCK PURCHASES
		15.10	FREIGHT#1	00000109	486125	2746319	5015.6550		FREIGHT ON RESALE MDSE	LIQUOR #1 STOCK PURCHASES
		945.00	LIQ#3	00000109	486186	2746320	5085.6510		LIQUOR	LIQUOR #3 STOCK PURCHASES
		8.96	FREIGHT#3	00000109	486187	2746320	5085.6550		FREIGHT ON RESALE MDSE	LIQUOR #3 STOCK PURCHASES
		821.65	WINE#3	00000109	486261	2746321	5085.6520		WINE	LIQUOR #3 STOCK PURCHASES
		8.75	FREIGHT#3	00000109	486262	2746321	5085.6550		FREIGHT ON RESALE MDSE	LIQUOR #3 STOCK PURCHASES
		469.00	LIQ#1	00000109	486126	2746323	5015.6510		LIQUOR	LIQUOR #1 STOCK PURCHASES
		7.50	FREIGHT#1	00000109	486127	2746323	5015.6550		FREIGHT ON RESALE MDSE	LIQUOR #1 STOCK PURCHASES
		832.00	WINE#1	00000109	486223	2746324	5015.6520		WINE	LIQUOR #1 STOCK PURCHASES
		12.50	FREIGHT#1	00000109	486224	2746324	5015.6550		FREIGHT ON RESALE MDSE	LIQUOR #1 STOCK PURCHASES
		168.00	WINE#2	00000109	486241	2746325	5055.6520		WINE	LIQUOR #2 STOCK PURCHASES
		2.50	FREIGHT#2	00000109	486242	2746325	5055.6550		FREIGHT ON RESALE MDSE	LIQUOR #2 STOCK PURCHASES
		337.50	LIQ#2	00000109	486150	2746326	5055.6510		LIQUOR	LIQUOR #2 STOCK PURCHASES
		2.50	FREIGHT#2	00000109	486151	2746326	5055.6550		FREIGHT ON RESALE MDSE	LIQUOR #2 STOCK PURCHASES
		1,017.85	WINE#2	00000109	486243	2746327	5055.6520		WINE	LIQUOR #2 STOCK PURCHASES
		12.50	FREIGHT#2	00000109	486244	2746327	5055.6550		FREIGHT ON RESALE MDSE	LIQUOR #2 STOCK PURCHASES
		432.00	LIQ#2	00000109	486152	2746328	5055.6510		LIQUOR	LIQUOR #2 STOCK PURCHASES
		7.50	FREIGHT#2	00000109	486153	2746328	5055.6550		FREIGHT ON RESALE MDSE	LIQUOR #2 STOCK PURCHASES
		48.00	WINE#2	00000109	486245	2746329	5055.6520		WINE	LIQUOR #2 STOCK PURCHASES
		1.25	FREIGHT#2	00000109	486246	2746329	5055.6550		FREIGHT ON RESALE MDSE	LIQUOR #2 STOCK PURCHASES
		868.65	LIQ#2	00000109	486154	2746330	5055.6510		LIQUOR	LIQUOR #2 STOCK PURCHASES
		8.75	FREIGHT#2	00000109	486155	2746330	5055.6550		FREIGHT ON RESALE MDSE	LIQUOR #2 STOCK PURCHASES
		1,175.00	LIQ#2	00000109	486156	2746331	5055.6510		LIQUOR	LIQUOR #2 STOCK PURCHASES
		21.25	FREIGHT#2	00000109	486157	2746331	5055.6550		FREIGHT ON RESALE MDSE	LIQUOR #2 STOCK PURCHASES
		152.00	WINE#2	00000109	486247	2746332	5055.6520		WINE	LIQUOR #2 STOCK PURCHASES
		3.75	FREIGHT#2	00000109	486248	2746332	5055.6550		FREIGHT ON RESALE MDSE	LIQUOR #2 STOCK PURCHASES
		778.50	LIQ#3	00000109	486188	2746333	5085.6510		LIQUOR	LIQUOR #3 STOCK PURCHASES
		11.25	FREIGHT#3	00000109	486189	2746333	5085.6550		FREIGHT ON RESALE MDSE	LIQUOR #3 STOCK PURCHASES
		536.00	WINE#3	00000109	486263	2746334	5085.6520		WINE	LIQUOR #3 STOCK PURCHASES
		10.00	FREIGHT#3	00000109	486264	2746334	5085.6550		FREIGHT ON RESALE MDSE	LIQUOR #3 STOCK PURCHASES
		1,045.86	LIQ#3	00000109	486190	2746335	5085.6510		LIQUOR	LIQUOR #3 STOCK PURCHASES



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		11.25	FREIGHT#3	00000109	486191	2746335	5085.6550		FREIGHT ON RESALE MDSE	LIQUOR #3 STOCK PURCHASES
		460.96	LIQ#3	00000109	486192	2746336	5085.6510		LIQUOR	LIQUOR #3 STOCK PURCHASES
		3.75	FREIGHT#3	00000109	486193	2746336	5085.6550		FREIGHT ON RESALE MDSE	LIQUOR #3 STOCK PURCHASES
		967.35	WINE#3	00000109	486265	2746337	5085.6520		WINE	LIQUOR #3 STOCK PURCHASES
		12.50	FREIGHT#3	00000109	486266	2746337	5085.6550		FREIGHT ON RESALE MDSE	LIQUOR #3 STOCK PURCHASES
		549.00	LIQ#3	00000109	486194	2746338	5085.6510		LIQUOR	LIQUOR #3 STOCK PURCHASES
		5.00	FREIGHT#3	00000109	486195	2746338	5085.6550		FREIGHT ON RESALE MDSE	LIQUOR #3 STOCK PURCHASES
		312.00	WINE#3	00000109	486267	2746339	5085.6520		WINE	LIQUOR #3 STOCK PURCHASES
		7.50	FREIGHT#3	00000109	486268	2746339	5085.6550		FREIGHT ON RESALE MDSE	LIQUOR #3 STOCK PURCHASES
		415.50	LIQ#1	00000109	486118	2746709	5015.6510		LIQUOR	LIQUOR #1 STOCK PURCHASES
		6.87	FREIGHT#1	00000109	486119	2746709	5015.6550		FREIGHT ON RESALE MDSE	LIQUOR #1 STOCK PURCHASES
		1,406.15	WINE#1	00000109	486217	2746710	5015.6520		WINE	LIQUOR #1 STOCK PURCHASES
		17.52	FREIGHT#1	00000109	486218	2746710	5015.6550		FREIGHT ON RESALE MDSE	LIQUOR #1 STOCK PURCHASES
		6,349.32	LIQ#1	00000109	486128	2750848	5015.6510		LIQUOR	LIQUOR #1 STOCK PURCHASES
		56.46	FREIGHT#1	00000109	486129	2750848	5015.6550		FREIGHT ON RESALE MDSE	LIQUOR #1 STOCK PURCHASES
		1,403.50	LIQ#2	00000109	486158	2750849	5055.6510		LIQUOR	LIQUOR #2 STOCK PURCHASES
		16.25	FREIGHT#2	00000109	486159	2750849	5055.6550		FREIGHT ON RESALE MDSE	LIQUOR #2 STOCK PURCHASES
		3,077.50	LIQ#3	00000109	486196	2750850	5085.6510		LIQUOR	LIQUOR #3 STOCK PURCHASES
		25.00	FREIGHT#3	00000109	486197	2750850	5085.6550		FREIGHT ON RESALE MDSE	LIQUOR #3 STOCK PURCHASES
		2,896.35	LIQ#1	00000109	486130	2750851	5015.6510		LIQUOR	LIQUOR #1 STOCK PURCHASES
		36.25	FREIGHT#1	00000109	486131	2750851	5015.6550		FREIGHT ON RESALE MDSE	LIQUOR #1 STOCK PURCHASES
		2,100.30	WINE#1	00000109	486225	2750852	5015.6520		WINE	LIQUOR #1 STOCK PURCHASES
		40.00	FREIGHT#1	00000109	486226	2750852	5015.6550		FREIGHT ON RESALE MDSE	LIQUOR #1 STOCK PURCHASES
		366.50	LIQ#3	00000109	486198	2750853	5085.6510		LIQUOR	LIQUOR #3 STOCK PURCHASES
		3.75	FREIGHT#3	00000109	486199	2750853	5085.6550		FREIGHT ON RESALE MDSE	LIQUOR #3 STOCK PURCHASES
		3,051.54	WINE#3	00000109	486269	2750854	5085.6520		WINE	LIQUOR #3 STOCK PURCHASES
		27.50	FREIGHT#3	00000109	486270	2750854	5085.6550		FREIGHT ON RESALE MDSE	LIQUOR #3 STOCK PURCHASES
		279.00	LIQ#2	00000109	486160	2750855	5055.6510		LIQUOR	LIQUOR #2 STOCK PURCHASES
		3.75	FREIGHT#2	00000109	486161	2750855	5055.6550		FREIGHT ON RESALE MDSE	LIQUOR #2 STOCK PURCHASES
		379.06	WINE#2	00000109	486249	2750856	5055.6520		WINE	LIQUOR #2 STOCK PURCHASES
		3.75	FREIGHT#2	00000109	486250	2750856	5055.6550		FREIGHT ON RESALE MDSE	LIQUOR #2 STOCK PURCHASES
		423.00	LIQ#1	00000109	486132	2750857	5015.6510		LIQUOR	LIQUOR #1 STOCK PURCHASES
		3.75	FREIGHT#1	00000109	486133	2750857	5015.6550		FREIGHT ON RESALE MDSE	LIQUOR #1 STOCK PURCHASES
		948.01	WINE#1	00000109	486227	2750858	5015.6520		WINE	LIQUOR #1 STOCK PURCHASES
		20.00	FREIGHT#1	00000109	486228	2750858	5015.6550		FREIGHT ON RESALE MDSE	LIQUOR #1 STOCK PURCHASES
		66.67	WINE#2	00000109	486251	2750859	5055.6520		WINE	LIQUOR #2 STOCK PURCHASES
		1.25	FREIGHT#2	00000109	486252	2750859	5055.6550		FREIGHT ON RESALE MDSE	LIQUOR #2 STOCK PURCHASES
		117.00	LIQ#1	00000109	486134	2750860	5015.6510		LIQUOR	LIQUOR #1 STOCK PURCHASES
		2.50	FREIGHT#1	00000109	486135	2750860	5015.6550		FREIGHT ON RESALE MDSE	LIQUOR #1 STOCK PURCHASES

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<b>322643</b>	<b>3/26/2025</b>		<b>100255 JOHNSON BROTHERS LIQUOR</b>						<b>Continued...</b>	
		228.00	WINE#1	00000109	486229	2750861	5015.6520		WINE	LIQUOR #1 STOCK PURCHASES
		5.00	FREIGHT#1	00000109	486230	2750861	5015.6550		FREIGHT ON RESALE MDSE	LIQUOR #1 STOCK PURCHASES
		95.95	TAX#1	00000109	486136	2750862	5015.6540		TAXABLE MISC FOR RESALE	LIQUOR #1 STOCK PURCHASES
		2.50	FREIGHT#1	00000109	486137	2750862	5015.6550		FREIGHT ON RESALE MDSE	LIQUOR #1 STOCK PURCHASES
		1,844.53	LIQ#2	00000109	486162	2750863	5055.6510		LIQUOR	LIQUOR #2 STOCK PURCHASES
		21.25	FREIGHT#2	00000109	486163	2750863	5055.6550		FREIGHT ON RESALE MDSE	LIQUOR #2 STOCK PURCHASES
		418.50	LIQ#2	00000109	486164	2750864	5055.6510		LIQUOR	LIQUOR #2 STOCK PURCHASES
		6.25	FREIGHT#2	00000109	486165	2750864	5055.6550		FREIGHT ON RESALE MDSE	LIQUOR #2 STOCK PURCHASES
		453.00	LIQ#2	00000109	486166	2750865	5055.6510		LIQUOR	LIQUOR #2 STOCK PURCHASES
		5.00	FREIGHT#2	00000109	486167	2750865	5055.6550		FREIGHT ON RESALE MDSE	LIQUOR #2 STOCK PURCHASES
		160.00	LIQ#2	00000109	486168	2750866	5055.6510		LIQUOR	LIQUOR #2 STOCK PURCHASES
		1.25	FREIGHT#2	00000109	486169	2750866	5055.6550		FREIGHT ON RESALE MDSE	LIQUOR #2 STOCK PURCHASES
		1,107.00	LIQ#2	00000109	486170	2750867	5055.6510		LIQUOR	LIQUOR #2 STOCK PURCHASES
		13.75	FREIGHT#2	00000109	486171	2750867	5055.6550		FREIGHT ON RESALE MDSE	LIQUOR #2 STOCK PURCHASES
		320.00	WINE#2	00000109	486253	2750868	5055.6520		WINE	LIQUOR #2 STOCK PURCHASES
		5.00	FREIGHT#2	00000109	486254	2750868	5055.6550		FREIGHT ON RESALE MDSE	LIQUOR #2 STOCK PURCHASES
		3,112.08	LIQ#3	00000109	486200	2750869	5085.6510		LIQUOR	LIQUOR #3 STOCK PURCHASES
		20.00	FREIGHT#3	00000109	486201	2750869	5085.6550		FREIGHT ON RESALE MDSE	LIQUOR #3 STOCK PURCHASES
		970.27	LIQ#3	00000109	486202	2750870	5085.6510		LIQUOR	LIQUOR #3 STOCK PURCHASES
		11.25	FREIGHT#3	00000109	486203	2750870	5085.6550		FREIGHT ON RESALE MDSE	LIQUOR #3 STOCK PURCHASES
		418.00	WINE#3	00000109	486271	2750871	5085.6520		WINE	LIQUOR #3 STOCK PURCHASES
		7.50	FREIGHT#3	00000109	486272	2750871	5085.6550		FREIGHT ON RESALE MDSE	LIQUOR #3 STOCK PURCHASES
		96.00	LIQ#3	00000109	486204	2750872	5085.6510		LIQUOR	LIQUOR #3 STOCK PURCHASES
		1.25	FREIGHT#3	00000109	486205	2750872	5085.6550		FREIGHT ON RESALE MDSE	LIQUOR #3 STOCK PURCHASES
		120.00	WINE#3	00000109	486273	2750873	5085.6520		WINE	LIQUOR #3 STOCK PURCHASES
		3.75	FREIGHT#3	00000109	486274	2750873	5085.6550		FREIGHT ON RESALE MDSE	LIQUOR #3 STOCK PURCHASES
		810.00	LIQ#3	00000109	486206	2750874	5085.6510		LIQUOR	LIQUOR #3 STOCK PURCHASES
		10.00	FREIGHT#3	00000109	486207	2750874	5085.6550		FREIGHT ON RESALE MDSE	LIQUOR #3 STOCK PURCHASES
		372.00	WINE#3	00000109	486275	2750875	5085.6520		WINE	LIQUOR #3 STOCK PURCHASES
		7.50	FREIGHT#3	00000109	486276	2750875	5085.6550		FREIGHT ON RESALE MDSE	LIQUOR #3 STOCK PURCHASES
		76,056.83								
<b>322644</b>	<b>3/26/2025</b>		<b>120273 KENNEDY &amp; GRAVEN CHARTERED</b>							
		190.00	CABLE COMM LEGAL ON PEG FEES		485934	186499	2012.6231		LEGAL SERVICES	CABLE TV JOINT POWERS
		600.00	EMPLOYMENT CONSULT FEB		486052	186711	1020.6235		CONSULTANT SERVICES	HUMAN RESOURCES
		790.00								
<b>322645</b>	<b>3/26/2025</b>		<b>162162 KRANZ, MAXIMILLIAN</b>							
		87.36	MILEAGE REIMBURSEMENT		485761	20250311	1920.6277		MILEAGE/AUTO ALLOWANCE	SENIOR CENTER
		87.36								

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322645	3/26/2025		162162 KRANZ, MAXIMILLIAN						Continued...	
322646	3/26/2025		163376 LB CARLSON LLP							
		2,687.00	AUDIT OF 2024 FINANCIALS		486053	246387	1045.6235		CONSULTANT SERVICES	INDEPENDENT AUDIT
		2,495.00	AUDIT OF 2024 FINANCIALS		486053	246387	5005.6235		CONSULTANT SERVICES	LIQUOR GENERAL OPERATIONS
		2,159.00	AUDIT OF 2024 FINANCIALS		486053	246387	5305.6235		CONSULTANT SERVICES	WATER MGMT/REPORT/DATA ENTRY
		2,159.00	AUDIT OF 2024 FINANCIALS		486053	246387	5365.6235		CONSULTANT SERVICES	SEWER MGMT/REPORTS/DATA ENTRY
		9,500.00								
322647	3/26/2025		103445 LEMKE, SHARON							
		132.65	MILEAGE REIMBURSEMENT		485785	20250317	1920.6277		MILEAGE/AUTO ALLOWANCE	SENIOR CENTER
		132.65								
322648	3/26/2025		161278 LEXISNEXIS RISK SOLUTIONS FL INC							
		840.00	ACCURINT SUBC FEB		485940	1300094516	1210.6308		SOFTWARE SUBSCRIPTIONS	POLICE FIELD OPERATIONS/PATROL
		840.00								
322649	3/26/2025		100288 LMC INSURANCE TRUST							
		2,332.00	CABLE TV PROP & LIAB INS		485964	20250224	2012.6311		INSURANCE-PROPERTY LIABILITY	CABLE TV JOINT POWERS
		21,526.00	LIQ LIAB INS ANNUAL		485939	20250320	7205.6311		INSURANCE-PROPERTY/LIABILITY	INSURANCE CLAIMS
		127,610.00	EXCESS LIAB INS ANNUAL		485939	20250320	7205.6311		INSURANCE-PROPERTY/LIABILITY	INSURANCE CLAIMS
		193,825.00	1ST QTR PROP /LIAB INS		485939	20250320	7205.6311		INSURANCE-PROPERTY/LIABILITY	INSURANCE CLAIMS
		345,293.00								
322650	3/26/2025		101616 LMC INSURANCE TRUST							
		1,050.10	WC DED WARD A MARCH		486055	24032	7205.6315		WORKERS COMP-DEDUCTIBLE	INSURANCE CLAIMS
		157.31	WC DED GLEWWE R MARCH		485937	24037	7205.6315		WORKERS COMP-DEDUCTIBLE	INSURANCE CLAIMS
		1,955.82	WC DED SHARPE J MARCH		486057	24056	7205.6315		WORKERS COMP-DEDUCTIBLE	INSURANCE CLAIMS
		311.99	WC DED ODONNELL MARCH		485936	24063	7205.6315		WORKERS COMP-DEDUCTIBLE	INSURANCE CLAIMS
		54.19	WC DED WIESNER K MARCH		485935	24075	7205.6315		WORKERS COMP-DEDUCTIBLE	INSURANCE CLAIMS
		702.02	WC DED BECKER T MARCH		486056	24087	7205.6315		WORKERS COMP-DEDUCTIBLE	INSURANCE CLAIMS
		470.80	WC DED KOSKI MARCH		486054	24140	7205.6315		WORKERS COMP-DEDUCTIBLE	INSURANCE CLAIMS
		4,702.23								
322651	3/26/2025		100942 MADDEN GALANTER HANSEN, LLP							
		2,808.80	LABOR RELATIONS SERVICES FEB		486059	20250306	1020.6235		CONSULTANT SERVICES	HUMAN RESOURCES
		2,808.80								
322652	3/26/2025		100309 MENARDS							
		16.99	SIGN TRUCK TOOLS		485905	87153A	1680.6211		SMALL TOOLS & EQUIPMENT	TRAFFIC SIGNS/SIGNALS/MARKERS
		25.52	TUBING- JETTER TRAILER		485792	88239	5390.6215		EQUIPMENT-PARTS	SWR EQUIP/VEHICLE MISC MNTC/RP

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<b>322652</b>	<b>3/26/2025</b>		<b>100309 MENARDS</b>						<b>Continued...</b>	
		135.63	WTP SHOP SUPPLIES		485918	88754	5325.6229		GENERAL SUPPLIES	WATER TREATMENT FCLTY MNTC/RPR
		98.76	LIGHT AND LIGHTER		485774	88830	2230.6229		GENERAL SUPPLIES	GOLF SHOP BUILDING MAINTENANCE
		18.32	JETTER TRAILER PARTS		485924	88849	5390.6215		EQUIPMENT-PARTS	SWR EQUIP/VEHICLE MISC MNTC/RP
		59.97	MAILBOX REPAIR SUPPLIES		485901	88851	1665.6229		GENERAL SUPPLIES	STREET SNOW & ICE MATERIALS
		301.86	MAILBOX REPAIR SUPPLIES		485902	88877	1665.6229		GENERAL SUPPLIES	STREET SNOW & ICE MATERIALS
		70.86	PAINT		485776	88881	2230.6229		GENERAL SUPPLIES	GOLF SHOP BUILDING MAINTENANCE
		258.78	MAILBOX REPAIR SUPPLIES		485903	88892	1665.6229		GENERAL SUPPLIES	STREET SNOW & ICE MATERIALS
		72.61	MISC. SUPPLIES/TOOLS		485892	89023	1610.6211		SMALL TOOLS & EQUIPMENT	STREET/BOULEVARD REPAIR & MNTC
		88.93	SNOW PLOW DAMAGE REPAIRS		485890	89062	1665.6229		GENERAL SUPPLIES	STREET SNOW & ICE MATERIALS
		16.96	TOOLS FOR IRRIGATION TRUCK		485762	89084	1720.6211		SMALL TOOLS & EQUIPMENT	PARK GROUNDS MAINTENANCE
		61.08	PAYTON TRUCK TOOLS		485764	89109	1720.6211		SMALL TOOLS & EQUIPMENT	PARK GROUNDS MAINTENANCE
		10.75	OUTLET COVERS		485765	89110	1715.6229		GENERAL SUPPLIES	PARK ATHLETIC FIELD MAINTENANC
		332.95	TV INSTALL @CMF TOOLS		485747	89112	1540.6229		GENERAL SUPPLIES	CMF BUILDINGS & GROUNDS MNTC
		10.62	BATTING CAGE SUPPLIES		485763	89133	1715.6229		GENERAL SUPPLIES	PARK ATHLETIC FIELD MAINTENANC
		72.99	GROUT, SOFTNER SALT, ANCHORS		486060	89214	1060.6229		GENERAL SUPPLIES	MUNICIPAL BLDG & GROUNDS MNTC
		216.35	TOOLS AND SUPPLIES TV INSTALL		486062	89220	1540.6229		GENERAL SUPPLIES	CMF BUILDINGS & GROUNDS MNTC
		31.16	BATTERIES		486069	89222	1600.6229		GENERAL SUPPLIES	STREET MANAGEMENT
		42.66	SWEEPER PARTS - WATER LINE		486100	89223	5505.6215		EQUIPMENT-PARTS	STORM DRAIN MNTC/RPR/SUMPS
		11.47	BMP MAINTENANCE		486068	89231	5505.6249		OTHER CONTRACTUAL SERVICES	STORM DRAIN MNTC/RPR/SUMPS
		187.15	FENCE REPLACE 140TH ST		485928	89345	5375.6229		GENERAL SUPPLIES	SEWER MAINTENANCE AND REPAIR
		26.13	TOOLS AND SUPPLIES TV INSTALL		486063	89412	1540.6229		GENERAL SUPPLIES	CMF BUILDINGS & GROUNDS MNTC
		61.66	WTP MISC		485927	89469	5325.6229		GENERAL SUPPLIES	WATER TREATMENT FCLTY MNTC/RPR
		1.89	BUILDING PARTS		486099	89497	1530.6215		EQUIPMENT-PARTS	FLEET & BUILDINGS-CMF
		70.20	SMALL TOOL REPAIRS		486103	89541	1610.6211		SMALL TOOLS & EQUIPMENT	STREET/BOULEVARD REPAIR & MNTC
		65.94	SWEEPER RE-BUILD TOOLS		486102	89546	1610.6211		SMALL TOOLS & EQUIPMENT	STREET/BOULEVARD REPAIR & MNTC
		1.69	SCREW ANCHORS		486061	89547	1060.6229		GENERAL SUPPLIES	MUNICIPAL BLDG & GROUNDS MNTC
		159.80	SHOP FLOOR DRY		486101	89557	1530.6229		GENERAL SUPPLIES	FLEET & BUILDINGS-CMF
		14.57	CLEANING SUPPLIES		486064	89560	1330.6229		GENERAL SUPPLIES	FIRE OPERATIONS
		2,544.25								
<b>322653</b>	<b>3/26/2025</b>		<b>157987 MINNESOTA SECRETARY OF STATE-NOTARY</b>							
		120.00	NOTARY RENEWAL - KONGNSO		485920	20250318	1200.6280		DUES & SUBSCRIPTIONS	POLICE MANAGEMENT
		120.00								
<b>322654</b>	<b>3/26/2025</b>		<b>161911 MN LAW ENFORCEMENT EXPLORER ASSOC</b>							
		585.00	'25 EXPLR CNF ROCHESTER LUNDER		486074	5803	1225.6276		SCHOOLS/CONFERENCES/EXP OTHERPOLICE TRAINING	
		585.00	'25 EXPLR CNF ROCHESTER WAGNER		486074	5803	1225.6276		SCHOOLS/CONFERENCES/EXP OTHERPOLICE TRAINING	
		585.00	'25 EXPLR CNF ROCHESTER ST.GEO		486074	5803	1225.6276		SCHOOLS/CONFERENCES/EXP OTHERPOLICE TRAINING	
		585.00	'25 EXPLR CNF ROCHESTER ATHMAN		486074	5803	1225.6276		SCHOOLS/CONFERENCES/EXP OTHERPOLICE TRAINING	
		2,340.00								

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322654	3/26/2025		161911 MN LAW ENFORCEMENT EXPLORER ASSOC						Continued...	
322655	3/26/2025		100995 NAPA AUTO PARTS							
		16.21	PARTS - #376T		486072	956850	1630.6215		EQUIPMENT-PARTS	STREET EQUIPMENT MAINTENANCE
		200.17	PARTS - #907		486071	956878	1210.6215		EQUIPMENT-PARTS	POLICE FIELD OPERATIONS/PATROL
		113.08	PARTS - WIPERS		486075	957163	1210.6215		EQUIPMENT-PARTS	POLICE FIELD OPERATIONS/PATROL
		40.04	AIR FILTERS FOR MOWERS		485771	957164	1765.6215		EQUIPMENT-PARTS	PARK EQUIPMENT MAINTENANCE
		15.14	PARTS - #217		486073	957273	1765.6215		EQUIPMENT-PARTS	PARK EQUIPMENT MAINTENANCE
		53.48	FILTERS		486070	957563	1210.6215		EQUIPMENT-PARTS	POLICE FIELD OPERATIONS/PATROL
		37.78								
322656	3/26/2025		156974 NORTHWESTERN UNIVERSITY CENTER FOR PUBLI							
		4,750.00	COMMAND STAFF TRAINING-TSCHIDA		485781	25266	1225.6275		SCHOOLS/CONFERENCES/EXP LOCAL POLICE TRAINING	
		4,750.00								
322657	3/26/2025		158558 OUTDOOR CUSTOM SPORTSWEAR LLC							
		57.66	LOGO UNIFORM SHIRTS		486379	601467	5005.6281		UNIFORM/CLOTHING ALLOWANCE	LIQUOR GENERAL OPERATIONS
		173.02	LOGO UNIFORM SHIRTS		486379	601467	5025.6281		UNIFORM/CLOTHING ALLOWANCE	LIQUOR #1 OPERATIONS
		461.38	LOGO UNIFORM SHIRTS		486379	601467	5025.6281		UNIFORM/CLOTHING ALLOWANCE	LIQUOR #1 OPERATIONS
		461.38	LOGO UNIFORM SHIRTS		486379	601467	5095.6281		UNIFORM/CLOTHING ALLOWANCE	LIQUOR #3 OPERATIONS
		1,153.44								
322658	3/26/2025		100751 PHILLIPS WINE & SPIRITS INC							
		7.34	CMTAX#1	00000106	486315	544372	5015.6540		TAXABLE MISC FOR RESALE	LIQUOR #1 STOCK PURCHASES
		19.38	CMLIQ#1	00000106	486316	544374	5015.6510		LIQUOR	LIQUOR #1 STOCK PURCHASES
		1,190.96	LIQ#1	00000106	486277	6939394	5015.6510		LIQUOR	LIQUOR #1 STOCK PURCHASES
		17.50	FREIGHT#1	00000106	486278	6939394	5015.6550		FREIGHT ON RESALE MDSE	LIQUOR #1 STOCK PURCHASES
		205.80	LIQ#1	00000106	486317	6939395	5015.6510		LIQUOR	LIQUOR #1 STOCK PURCHASES
		352.50	WINE#1	00000106	486318	6939395	5015.6520		WINE	LIQUOR #1 STOCK PURCHASES
		11.25	FREIGHT#1	00000106	486319	6939395	5015.6550		FREIGHT ON RESALE MDSE	LIQUOR #1 STOCK PURCHASES
		199.90	LIQ#2	00000106	486287	6939396	5055.6510		LIQUOR	LIQUOR #2 STOCK PURCHASES
		2.50	FREIGHT#2	00000106	486288	6939396	5055.6550		FREIGHT ON RESALE MDSE	LIQUOR #2 STOCK PURCHASES
		237.15	LIQ#2	00000106	486289	6939397	5055.6510		LIQUOR	LIQUOR #2 STOCK PURCHASES
		6.25	FREIGHT#2	00000106	486290	6939397	5055.6550		FREIGHT ON RESALE MDSE	LIQUOR #2 STOCK PURCHASES
		52.10	NTAX#2	00000106	486291	6939398	5055.6545		NON-TAXABLE MISC FOR RESALE	LIQUOR #2 STOCK PURCHASES
		1.25	FREIGHT#2	00000106	486292	6939398	5055.6550		FREIGHT ON RESALE MDSE	LIQUOR #2 STOCK PURCHASES
		876.59	LIQ#3	00000106	486299	6939399	5085.6510		LIQUOR	LIQUOR #3 STOCK PURCHASES
		10.00	FREIGHT#3	00000106	486300	6939399	5085.6550		FREIGHT ON RESALE MDSE	LIQUOR #3 STOCK PURCHASES
		205.80	LIQ#3	00000106	486301	6939400	5085.6510		LIQUOR	LIQUOR #3 STOCK PURCHASES
		144.00	WINE#3	00000106	486302	6939400	5085.6520		WINE	LIQUOR #3 STOCK PURCHASES
		10.00	FREIGHT#3	00000106	486303	6939400	5085.6550		FREIGHT ON RESALE MDSE	LIQUOR #3 STOCK PURCHASES

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322658	3/26/2025		100751 PHILLIPS WINE & SPIRITS INC						Continued...	
		297.00	LIQ#3	00000106	486304	6939401	5085.6510		LIQUOR	LIQUOR #3 STOCK PURCHASES
		59.75	TAX#3	00000106	486305	6939401	5085.6540		TAXABLE MISC FOR RESALE	LIQUOR #3 STOCK PURCHASES
		48.15	NTAX#3	00000106	486306	6939401	5085.6545		NON-TAXABLE MISC FOR RESALE	LIQUOR #3 STOCK PURCHASES
		3.75	FREIGHT#3	00000106	486307	6939401	5085.6550		FREIGHT ON RESALE MDSE	LIQUOR #3 STOCK PURCHASES
		88.00	WINE#2	00000106	486325	6943245	5055.6520		WINE	LIQUOR #2 STOCK PURCHASES
		2.50	FREIGHT#2	00000106	486326	6943245	5055.6550		FREIGHT ON RESALE MDSE	LIQUOR #2 STOCK PURCHASES
		2,680.95	LIQ#1	00000106	486279	6943246	5015.6510		LIQUOR	LIQUOR #1 STOCK PURCHASES
		37.29	FREIGHT#1	00000106	486280	6943246	5015.6550		FREIGHT ON RESALE MDSE	LIQUOR #1 STOCK PURCHASES
		2,602.53	WINE#1	00000106	486320	6943247	5015.6520		WINE	LIQUOR #1 STOCK PURCHASES
		71.25	FREIGHT#1	00000106	486321	6943247	5015.6550		FREIGHT ON RESALE MDSE	LIQUOR #1 STOCK PURCHASES
		88.00	TAX#1	00000106	486281	6943248	5015.6540		TAXABLE MISC FOR RESALE	LIQUOR #1 STOCK PURCHASES
		1.25	FREIGHT#1	00000106	486282	6943248	5015.6550		FREIGHT ON RESALE MDSE	LIQUOR #1 STOCK PURCHASES
		775.51	LIQ#2	00000106	486293	6943249	5055.6510		LIQUOR	LIQUOR #2 STOCK PURCHASES
		11.25	FREIGHT#2	00000106	486294	6943249	5055.6550		FREIGHT ON RESALE MDSE	LIQUOR #2 STOCK PURCHASES
		1,379.02	WINE#2	00000106	486327	6943250	5055.6520		WINE	LIQUOR #2 STOCK PURCHASES
		16.25	FREIGHT#2	00000106	486328	6943250	5055.6550		FREIGHT ON RESALE MDSE	LIQUOR #2 STOCK PURCHASES
		67.20	NTAX#2	00000106	486295	6943251	5055.6545		NON-TAXABLE MISC FOR RESALE	LIQUOR #2 STOCK PURCHASES
		1.25	FREIGHT#2	00000106	486296	6943251	5055.6550		FREIGHT ON RESALE MDSE	LIQUOR #2 STOCK PURCHASES
		630.55	LIQ#3	00000106	486308	6943252	5085.6510		LIQUOR	LIQUOR #3 STOCK PURCHASES
		6.25	FREIGHT#3	00000106	486309	6943252	5085.6550		FREIGHT ON RESALE MDSE	LIQUOR #3 STOCK PURCHASES
		1,782.76	WINE#3	00000106	486331	6943253	5085.6520		WINE	LIQUOR #3 STOCK PURCHASES
		29.38	FREIGHT#3	00000106	486332	6943253	5085.6550		FREIGHT ON RESALE MDSE	LIQUOR #3 STOCK PURCHASES
		176.00	TAX#3	00000106	486310	6943254	5085.6540		TAXABLE MISC FOR RESALE	LIQUOR #3 STOCK PURCHASES
		2.50	FREIGHT#3	00000106	486311	6943254	5085.6550		FREIGHT ON RESALE MDSE	LIQUOR #3 STOCK PURCHASES
		1,064.00	THC#3	00000106	486312	6943255	5085.6515		THC/CBD	LIQUOR #3 STOCK PURCHASES
		1,392.45	LIQ#1	00000106	486283	6946850	5015.6510		LIQUOR	LIQUOR #1 STOCK PURCHASES
		20.00	FREIGHT#1	00000106	486284	6946850	5015.6550		FREIGHT ON RESALE MDSE	LIQUOR #1 STOCK PURCHASES
		531.05	LIQ#1	00000106	486322	6946851	5015.6510		LIQUOR	LIQUOR #1 STOCK PURCHASES
		1,969.48	WINE#1	00000106	486323	6946851	5015.6520		WINE	LIQUOR #1 STOCK PURCHASES
		41.25	FREIGHT#1	00000106	486324	6946851	5015.6550		FREIGHT ON RESALE MDSE	LIQUOR #1 STOCK PURCHASES
		31.00	TAX#1	00000106	486285	6946852	5015.6540		TAXABLE MISC FOR RESALE	LIQUOR #1 STOCK PURCHASES
		1.25	FREIGHT#1	00000106	486286	6946852	5015.6550		FREIGHT ON RESALE MDSE	LIQUOR #1 STOCK PURCHASES
		99.00	LIQ#2	00000106	486297	6946853	5055.6510		LIQUOR	LIQUOR #2 STOCK PURCHASES
		1.25	FREIGHT#2	00000106	486298	6946853	5055.6550		FREIGHT ON RESALE MDSE	LIQUOR #2 STOCK PURCHASES
		252.25	WINE#2	00000106	486329	6946854	5055.6520		WINE	LIQUOR #2 STOCK PURCHASES
		6.25	FREIGHT#2	00000106	486330	6946854	5055.6550		FREIGHT ON RESALE MDSE	LIQUOR #2 STOCK PURCHASES
		214.93	LIQ#3	00000106	486313	6946855	5085.6510		LIQUOR	LIQUOR #3 STOCK PURCHASES
		3.75	FREIGHT#3	00000106	486314	6946855	5085.6550		FREIGHT ON RESALE MDSE	LIQUOR #3 STOCK PURCHASES
		1,704.00	WINE#3	00000106	486333	6946856	5085.6520		WINE	LIQUOR #3 STOCK PURCHASES

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322658	3/26/2025		<b>100751 PHILLIPS WINE &amp; SPIRITS INC</b>						<b>Continued...</b>	
		17.50	FREIGHT#3	00000106	486334	6946856	5085.6550		FREIGHT ON RESALE MDSE	LIQUOR #3 STOCK PURCHASES
		21,704.58								
322659	3/26/2025		<b>143336 PREMIER LOCATING INC</b>							
		110.51	PREMIER LOCATES		486105	42980	5805.6249		OTHER CONTRACTUAL SERVICES	STREET LIGHT UTILITY FUND
		110.51								
322660	3/26/2025		<b>151932 RED WING BUSINESS ADVANTAGE ACCOUNT</b>							
		243.28	BOOTS - T LEE		486078	7241157345	1600.6281		UNIFORM/CLOTHING ALLOWANCE	STREET MANAGEMENT
		243.28								
322661	3/26/2025		<b>163463 ROSA, NATHAN</b>							
		680.95	NRPA CNF WHEELING WV-ROSA		486001	20250305	1700.6276		SCHOOLS/CONFERENCES/EXP OTHER	PARK & RECREATION MANAGEMENT
		680.95								
322662	3/26/2025		<b>101235 SAFETY SIGNS</b>							
		5,326.25	TRAFFIC CNTRL 140TH PK-ERICKSO		485952	25000233	5365.6810	2025127S	CONSTRUCTION IN PROGRESS	SEWER MGMT/REPORTS/DATA ENTRY
		5,326.25								
322663	3/26/2025		<b>132465 SAM'S CLUB DIRECT</b>							
		28.62	N/A		485848	202502221416	2270.6421		GOLF-NON ALCOHOLIC BEVERAGES	GOLF FOOD & BEVERAGE
		28.62								
322664	3/26/2025		<b>100432 SEH ENGINEERS</b>							
		4,719.14	FEASIBILITY STUDY NCGT		485993	483787	2017.6235	2025114P	CONSULTANT SERVICES	PARK DEDICATION
		36,162.22	FINAL DESIGN JOHNNY CAKE RD		485992	483788	2027.6235	2025104R	CONSULTANT SERVICES	ROAD ESCROW
		40,881.36								
322665	3/26/2025		<b>163486 SELLNER PLUMBING LLC</b>							
		117.83	WATER METER REFUND DIFFERENCE		486106	20250314	5301.4921		METER SALES	WATER & SEWER FUND REVENUE
		117.83								
322666	3/26/2025		<b>150913 SOCCER SHOTS</b>							
		600.00	25 FEB MARCH SOCCER SHOTS		486000	3102025	1845.6249		OTHER CONTRACTUAL SERVICES	REC SELF SUPPORT PROG GENERAL
		600.00								
322667	3/26/2025		<b>162372 SPOHN RANCH INC</b>							
		71,250.00	SKATEPARK PMT 2, DESIGN SELECT		486002	AV002	2347.6235	PR230010	CONSULTANT SERVICES	JOHNNY CAKE RIDGE WEST PARK
		71,250.00								



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<b>322668</b>	<b>3/26/2025</b>		<b>100780 TK ELEVATOR CORPORATION</b>						<b>Continued...</b>	
		2,404.50	ELEVATOR REPAIR - MC		485987	3008386837	1060.6266		REPAIRS-BUILDING	MUNICIPAL BLDG & GROUNDS MNTC
		2,404.50								
<b>322669</b>	<b>3/26/2025</b>		<b>156853 UTILITY LOGIC LLC</b>							
		321.65	EZ-T PROBE FOR GROUND		485916	15260	5335.6211		SMALL TOOLS & EQUIPMENT	WATER FINAL/SERVICE ON OFF/LOC
		321.65								
<b>322670</b>	<b>3/26/2025</b>		<b>101467 VALLEY IMAGES</b>							
		220.00	DEPARTMENT PHOTOGRAPHS		485941	6273	1200.6239		PRINTING	POLICE MANAGEMENT
		220.00								
<b>322671</b>	<b>3/26/2025</b>		<b>100839 VALLEY-RICH COMPANY INC</b>							
		42,545.31	3 SEWER REPAIRS 140TH ST		485950	34301	5375.6269		REPAIRS-OTHER	SEWER MAINTENANCE AND REPAIR
		42,545.31								
<b>20250241</b>	<b>2/12/2025</b>		<b>100319 CENTERPOINT ENERGY</b>							
		101.05	SWIM GAS JAN		485881	110055472JAN25	1940.6256		UTILITIES-NATURAL GAS	AQUATIC SWIM CENTER
		6,374.61	CH GAS JAN		485880	110055563JAN25	1060.6256		UTILITIES-NATURAL GAS	MUNICIPAL BLDG & GROUNDS MNTC
		5,772.19	IA1 GAS JAN		485851	110060944JAN25	5210.6256		UTILITIES-NATURAL GAS	ARENA 1 BUILDING MAINTENANCE
		6,317.00	CMF GAS JAN		485852	110061900JAN25	1540.6256		UTILITIES-NATURAL GAS	CMF BUILDINGS & GROUNDS MNTC
		36.04	EDA GAS JAN		485885	137470969JAN25	3212.6256		UTILITIES-NATURAL GAS	EDA OPERATION
		38.88	DELANEY PK GAS JAN		485853	55372148JAN25	1730.6256		UTILITIES-NATURAL GAS	PARK BUILDING MAINTENANCE
		547.00	FIRE STA 3 GAS JAN		485855	55533657JAN25	1340.6256		UTILITIES-NATURAL GAS	FIRE BLDG & GROUNDS MNTC
		540.11	LIQ 2 GAS JAN		485856	55533673JAN25	5065.6256		UTILITIES-NATURAL GAS	LIQUOR #2 OPERATIONS
		326.87	VALLEY MID PK GAS JAN		485857	55611420JAN25	1730.6256		UTILITIES-NATURAL GAS	PARK BUILDING MAINTENANCE
		371.53	REDWOOD PK GAS JAN		485854	55612972JAN25	1930.6256		UTILITIES-NATURAL GAS	REDWOOD CC
		162.42	WELL 2 GAS JAN		485865	55675664JAN25	5320.6256		UTILITIES-NATURAL GAS	WATER WELL/BOOSTER STN MNT/RPR
		4,610.76	AVCC GAS JAN		485858	55686299JAN25	1900.6256		UTILITIES-NATURAL GAS	AV COMMUNITY CENTER
		1,613.72	OLD CH GAS JAN		485879	55710289JAN25	2092.6256		UTILITIES-NATURAL GAS	EDUCATION BUILDING FUND
		1,691.55	CMF STRG BLD 2 GAS JAN		485859	55793483JAN25	1540.6256		UTILITIES-NATURAL GAS	CMF BUILDINGS & GROUNDS MNTC
		143.82	GALAXIE PK GAS JAN		485883	55848238JAN25	1730.6256		UTILITIES-NATURAL GAS	PARK BUILDING MAINTENANCE
		109.66	AV EAST PK GAS JAN		485860	55851521JAN25	1730.6256		UTILITIES-NATURAL GAS	PARK BUILDING MAINTENANCE
		400.74	WELL 5 GAS JAN		485861	55851562JAN25	5320.6256		UTILITIES-NATURAL GAS	WATER WELL/BOOSTER STN MNT/RPR
		303.71	WELL 4 GAS JAN		485862	55851604JAN25	5320.6256		UTILITIES-NATURAL GAS	WATER WELL/BOOSTER STN MNT/RPR
		3,155.21	WTP GAS JAN		485863	55877872JAN25	5325.6256		UTILITIES-NATURAL GAS	WATER TREATMENT FCLTY MNTC/RPR
		226.81	WELL 1 GAS JAN		485864	55887046JAN25	5320.6256		UTILITIES-NATURAL GAS	WATER WELL/BOOSTER STN MNT/RPR
		1,984.69	FIRE STA 1 GAS JAN		485866	55888184JAN25	1340.6256		UTILITIES-NATURAL GAS	FIRE BLDG & GROUNDS MNTC
		6,213.90	IA 2 GAS JAN		485867	55978928JAN25	5265.6256		UTILITIES-NATURAL GAS	ARENA 2 BLDG MAINTENANCE-HAYES
		3,631.30	CMF STRG BLD 1 GAS JAN		485868	56034416JAN25	1540.6256		UTILITIES-NATURAL GAS	CMF BUILDINGS & GROUNDS MNTC
		146.27	HAGEMEISTER PK GAS JAN		485869	56100324JAN25	1730.6256		UTILITIES-NATURAL GAS	PARK BUILDING MAINTENANCE

Council Check Register by GL  
Council Check Register by Invoice & Summary

2/12/2025 -- 3/28/2025

Check #	Date	Amount	Supplier / Explanation	PO #	Doc No	Inv No	Account No	Subledger	Account Description	Business Unit
20250241	2/12/2025		<b>100319 CENTERPOINT ENERGY</b>						<b>Continued...</b>	
		1,375.72	LIQ 1 GAS JAN		485870	56265598JAN25	5025.6256		UTILITIES-NATURAL GAS	LIQUOR #1 OPERATIONS
		417.18	JC ACTIVITY CTR GAS JAN		485872	56281637JAN25	1730.6256		UTILITIES-NATURAL GAS	PARK BUILDING MAINTENANCE
		2,358.79	AQUATIC CTR GAS JAN		485871	56284078JAN25	1940.6256		UTILITIES-NATURAL GAS	AQUATIC SWIM CENTER
		97.46	HUNTINGTON PK GAS JAN		485873	56346620JAN25	1730.6256		UTILITIES-NATURAL GAS	PARK BUILDING MAINTENANCE
		1,531.63	CMF STRG BLD 3 GAS JAN		485874	56696487JAN25	1540.6256		UTILITIES-NATURAL GAS	CMF BUILDINGS & GROUNDS MNTC
		26.68	460 REFLECTION RD GAS JAN		485875	75761361JAN25	5380.6256		UTILITIES-NATURAL GAS	SEWER LIFT STN REPAIR & MNTC
		93.46	SWIM UNIT D GAS JAN		485876	78955218JAN25	1940.6256		UTILITIES-NATURAL GAS	AQUATIC SWIM CENTER
		540.44	SWIM PK GAS JAN		485877	79512695JAN25	1940.6256		UTILITIES-NATURAL GAS	AQUATIC SWIM CENTER
		1,148.74	HCSC GAS JAN		485878	79615332JAN25	1920.6256		UTILITIES-NATURAL GAS	SENIOR CENTER
		41.33	UTIL SAN LIFT 2 GEN GAS JAN		485882	91747147JAN25	5380.6256		UTILITIES-NATURAL GAS	SEWER LIFT STN REPAIR & MNTC
		1,989.34	GOLF GAS JAN		485884	96338967JAN25	2215.6256		UTILITIES-NATURAL GAS	GOLF CLUBHOUSE BUILDING
		54,440.61								
20250242	2/14/2025		<b>100338 MN UNEMPLOYMENT COMP FUND</b>							
		27.72	UNEMPLOYMENT BENEFITS PAID		486372	20250214	1900.6143		UNEMPLOYMENT COMPENSATION	AV COMMUNITY CENTER
		5,175.00	UNEMPLOYMENT BENEFITS PAID		486372	20250214	1710.6143		UNEMPLOYMENT COMPENSATION	PARK MAINTENANCE MANAGEMENT
		489.16	UNEMPLOYMENT BENEFITS PAID		486372	20250214	2205.6143		UNEMPLOYMENT COMPENSATION	GOLF MANAGEMENT
		9.06	UNEMPLOYMENT BENEFITS PAID		486372	20250214	5205.6143		UNEMPLOYMENT COMPENSATION	ARENA 1 MANAGEMENT
		2,387.76	UNEMPLOYMENT BENEFITS PAID		486372	20250214	5305.6143		UNEMPLOYMENT COMPENSATION	WATER MGMT/REPORT/DATA ENTRY
		8,088.70								
20250243	2/18/2025		<b>157977 WEX HEALTH INC</b>							
		538.50	FLEX SPENDING DAYCARE 2025		486370	20250218	9000.2119		ACCRUED FLEX SPENDING	PAYROLL CLEARING BAL SHEET
		538.50								
20250317	3/6/2025		<b>100319 CENTERPOINT ENERGY</b>							
		4,548.18	FIRE STA 2 GAS FEB		485850	6403587606FEB25	1340.6256		UTILITIES-NATURAL GAS	FIRE BLDG & GROUNDS MNTC
		93.28	FIRE STA 2 GEN GAS FEB		485849	64035876073FEB2	1340.6256		UTILITIES-NATURAL GAS	FIRE BLDG & GROUNDS MNTC
						5				
		4,641.46								
20250318	3/1/2025		<b>157977 WEX HEALTH INC</b>							
		1,473.36	HSA EMPLOYER FUNDING		486371	20250301	9000.2125		ACCRUED HSA/HRA BENEFIT	PAYROLL CLEARING BAL SHEET
		1,890.04	HRA EMPLOYER FUNDING		486371	20250301	9000.2125		ACCRUED HSA/HRA BENEFIT	PAYROLL CLEARING BAL SHEET
		3,363.40								
20250319	3/12/2025		<b>100000 MN DEPT OF REVENUE</b>							
		3,009.00	SALES/USE TAX-GENERAL FUND		486369	20250312	1000.2330		DUE TO OTHER GOVERNMENT	GENERAL FUND BALANCE SHEET
		250.00	SALES/USE TAX-GOLF		486369	20250312	2200.2330		DUE TO OTHER GOVERNMENT	VALLEYWOOD GOLF
		14,828.00	SALES/USE TAX-LIQUOR #2		486369	20250312	5000.2330		DUE TO OTHER GOVERNMENT	LIQUOR BALANCE SHEET

Council Check Register by GL  
Council Check Register by Invoice & Summary

2/12/2025 -- 3/28/2025


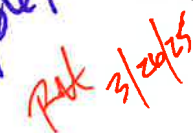
Check #	Date	Amount	Supplier / Explanation	PO #	Doc No	Inv No	Account No	Subledger	Account Description	Business Unit
<b>20250319</b>	<b>3/12/2025</b>		<b>100000 MN DEPT OF REVENUE</b>						<b>Continued...</b>	
		30,120.00	SALES/USE TAX-LIQUOR #3		486369	20250312	5000.2330		DUE TO OTHER GOVERNMENT	LIQUOR BALANCE SHEET
		35,444.00	SALES/USE TAX-LIQUOR #1		486369	20250312	5000.2330		DUE TO OTHER GOVERNMENT	LIQUOR BALANCE SHEET
		59.00	SALES/USE TAX-ARENA		486369	20250312	5200.2330		DUE TO OTHER GOVERNMENT	ARENA FUND BALANCE SHEET
		2,510.00	SALES/USE TAX-WATER & SWR		486369	20250312	5300.2330		DUE TO OTHER GOVERNMENT	WATER & SEWER FUND BAL SHEET
		25.00	SALES/USE TAX-RISK MGMT		486369	20250312	7200.2330		DUE TO OTHER GOVERNMENT	RISK MGMT/INSUR BALANCE SHEET
		<u>86,245.00</u>								
<b>20250320</b>	<b>3/3/2025</b>		<b>100873 HEALTHPARTNERS (DENTAL CLAIMS)</b>							
		5,643.44	DENTAL CLAIMS 2/20-2/26/25		486376	20250226	7105.6146		DENTAL INSURANCE	INSURANCE TRUST DENTAL
		<u>5,643.44</u>								
<b>20250321</b>	<b>3/10/2025</b>		<b>100873 HEALTHPARTNERS (DENTAL CLAIMS)</b>							
		3,647.04	DENTAL CLAIMS 2/27-3/5/25		486375	20250305	7105.6146		DENTAL INSURANCE	INSURANCE TRUST DENTAL
		<u>3,647.04</u>								
<b>20250322</b>	<b>3/17/2025</b>		<b>100873 HEALTHPARTNERS (DENTAL CLAIMS)</b>							
		994.55	DENTAL CLAIMS 3/6-3/12/25		486374	20250312	7105.6146		DENTAL INSURANCE	INSURANCE TRUST DENTAL
		<u>994.55</u>								
<b>20250323</b>	<b>3/19/2025</b>		<b>142866 HEALTHPARTNERS</b>							
		13.12-	GACKSTETTER CANCEL DEN COVER J		486377	20250301	7105.6146		DENTAL INSURANCE	INSURANCE TRUST DENTAL
		6.56-	EHMKE CANCEL DENTAL COVERAGE		486377	20250301	7105.6146		DENTAL INSURANCE	INSURANCE TRUST DENTAL
		6.56-	GLEWWE, R CANCEL DEN COVERAGE		486377	20250301	7105.6146		DENTAL INSURANCE	INSURANCE TRUST DENTAL
		6.56-	GOODWIN, CANCEL DEN COVERAGE		486377	20250301	7105.6146		DENTAL INSURANCE	INSURANCE TRUST DENTAL
		6.56-	REITEN, J CANCEL DEN COVERAGE		486377	20250301	7105.6146		DENTAL INSURANCE	INSURANCE TRUST DENTAL
		6.56-	REITEN, L CANCEL DEN COVERAGE		486377	20250301	7105.6146		DENTAL INSURANCE	INSURANCE TRUST DENTAL
		6.56	REITEN, J RETIRED ADD DENTAL C		486377	20250301	7105.6146		DENTAL INSURANCE	INSURANCE TRUST DENTAL
		6.56	REITEN, L RETIRED ADD DENTAL C		486377	20250301	7105.6146		DENTAL INSURANCE	INSURANCE TRUST DENTAL
		6.56	MEADOR NEW HIRE DEN COVERAGE		486377	20250301	7105.6146		DENTAL INSURANCE	INSURANCE TRUST DENTAL
		13.12	GACKSTETTER RETIRED ADD DEN CO		486377	20250301	7105.6146		DENTAL INSURANCE	INSURANCE TRUST DENTAL
		1,528.48	DENTAL		486377	20250301	7105.6146		DENTAL INSURANCE	INSURANCE TRUST DENTAL
		2,304.50-	GOODWIN, CANCEL MED COVERAGE		486377	20250301	9000.2115		ACCRUED MEDICAL INSURANCE	PAYROLL CLEARING BAL SHEET
		1,878.00-	GACKSTETTER CANCEL MED COVER J		486377	20250301	9000.2115		ACCRUED MEDICAL INSURANCE	PAYROLL CLEARING BAL SHEET
		1,097.00-	REITEN, J CANCEL MED COVERAGE		486377	20250301	9000.2115		ACCRUED MEDICAL INSURANCE	PAYROLL CLEARING BAL SHEET
		1,097.00-	REITEN, L CANCEL MED COVERAGE		486377	20250301	9000.2115		ACCRUED MEDICAL INSURANCE	PAYROLL CLEARING BAL SHEET
		958.00-	GLEWWE, R CANCEL MED COVERAGE		486377	20250301	9000.2115		ACCRUED MEDICAL INSURANCE	PAYROLL CLEARING BAL SHEET
		958.00-	EHMKE CANCEL MEDICAL COVERAGE		486377	20250301	9000.2115		ACCRUED MEDICAL INSURANCE	PAYROLL CLEARING BAL SHEET
		983.50	MEADOR NEW HIRE MED COVERAGE		486377	20250301	9000.2115		ACCRUED MEDICAL INSURANCE	PAYROLL CLEARING BAL SHEET
		<u>299,477.50</u>	MEDICAL		486377	20250301	9000.2115		ACCRUED MEDICAL INSURANCE	PAYROLL CLEARING BAL SHEET
		<u>293,683.86</u>								

2/12/2025 -- 3/28/2025

Check #	Date	Amount	Supplier / Explanation	PO #	Doc No	Inv No	Account No	Subledger	Account Description	Business Unit
20250323	3/19/2025		142866 HEALTHPARTNERS						Continued...	
20250324	3/25/2025		157977 WEX HEALTH INC							
		316.25	HSA MONTHLY		486373	20250228	7205.6235		CONSULTANT SERVICES	INSURANCE CLAIMS
		326.25	BENEFITS SOLUTION		486373	20250228	7205.6235		CONSULTANT SERVICES	INSURANCE CLAIMS
		642.50								
20250325	3/21/2025		102664 US BANK							
		904.56	EMPLOYEE MEDICARE		485475	318251501235	9000.2111		ACCRUED FEDERAL/FICA	PAYROLL CLEARING BAL SHEET
		904.56	CITY SHARE MEDICARE		485475	318251501235	9000.2111		ACCRUED FEDERAL/FICA	PAYROLL CLEARING BAL SHEET
		3,860.93	FEDERAL TAXES PR		485475	318251501235	9000.2111		ACCRUED FEDERAL/FICA	PAYROLL CLEARING BAL SHEET
		5,670.05								
20250326	3/21/2025		100657 MN DEPT OF REVENUE							
		1,849.08	STATE TAX WITHHOLDING		485474	318251501234	9000.2112		ACCRUED STATE W/H	PAYROLL CLEARING BAL SHEET
		1,849.08								
20250327	3/20/2025		100038 APPLE VALLEY FIREFIGHTERS RELI (EFT)							
		1,438.50	FIRE RELIEF DUES		485471	318251501231	9000.2120		ACCRUED BENEFIT LIABILITY	PAYROLL CLEARING BAL SHEET
		1,438.50								
20250328	3/20/2025		151440 VANTAGEPOINT TRANSFER AGENTS							
		350.00	ROTH 457-PLAN #301171-FIRE TOO		485476	318251501236	9000.2120		ACCRUED BENEFIT LIABILITY	PAYROLL CLEARING BAL SHEET
		350.00								
20250329	3/20/2025		100240 VANTAGEPOINT TRANSFER AGENTS - 457 FT							
		800.00	ICMA-PLAN #301171-FIRE TOO		485472	318251501232	9000.2120		ACCRUED BENEFIT LIABILITY	PAYROLL CLEARING BAL SHEET
		800.00								
20250330	3/20/2025		100241 VANTAGEPOINT TRANSFER AGENTS - 457 PT							
		3,048.92	ICMA-PLAN #306561-FIRE ONLY		485473	318251501233	9000.2120		ACCRUED BENEFIT LIABILITY	PAYROLL CLEARING BAL SHEET
		3,048.92								
		1,659,052.28	Grand Total							

## Payment Instrument Totals

Checks	782,614.05
EFT Payments	475,085.61
A/P ACH Payment	401,352.62
Total Payments	1,659,052.28

 3/26/25  
 3/26/25

Note: Payment amount may not reflect the actual amount due to data sequencing and/or data selection.

## Council Check Summary

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2/12/2025 - 3/28/2025

<u>Company</u>	<u>Amount</u>
01000 GENERAL FUND	227,078.51
02010 CABLE TV RESERVE FUND	2,571.94
02015 PARK DEDICATION FUND	4,719.14
02025 ROAD ESCROW FUND	78,269.72
02090 PARTNERS IN EDUCATION	2,662.21
02095 CENTRAL VILLAGE PARKING LOT	89.22
02200 VALLEYWOOD GOLF FUND	12,504.39
02300 PARKS REFERENDUM FUND	79,954.14
03210 EDA OPERATIONS FUND	521.56
04045 CIP DEVELOPMENT FUND	1,450.36
04430 2024A CAPITAL PROJECT CIP FUND	3,157.19
04500 CONSTRUCTION PROJECTS	18,030.04
04730 TIF DIST#1-CAPITAL PROJECTS	62,856.58
04750 ELECTRIC FRANCHISE	85.04
05000 LIQUOR FUND	256,573.16
05200 ARENA FUND	31,794.91
05300 WATER & SEWER FUND	112,038.10
05500 STORM DRAINAGE UTILITY FUND	41,891.35
05600 CEMETERY FUND LEVEL PROGRAM	707.86
05800 STREET LIGHT UTIL FUND	40,950.97
07100 INSURANCE TRUST DENTAL FUND	11,800.39
07200 RISK MANAGEMENT/INSURANCE FUND	348,810.73
09000 PAYROLL CLEARING FUND	320,534.77
Report Totals	1,659,052.28



ITEM:  
COUNCIL MEETING DATE:  
SECTION:

4.R.  
April 10, 2025  
Consent Agenda

<b>Description:</b>	
Approve Personnel Report	
<b>Staff Contact:</b>	<b>Department / Division:</b>
Mary Thelen, HR Coordinator	Human Resources Division

**ACTION REQUESTED:**

Approve the personnel report.

**SUMMARY:**

The employment actions attached to this memo are recommended for City Council approval.

**BACKGROUND:**

The City Council's approval of the Personnel Report includes the ratification of the City Administrator's actions in carrying out the terms and conditions of the employment of the City personnel.

**BUDGET IMPACT:**

Budgeted positions.

**ATTACHMENTS:**

Personnel Report

## EMPLOYMENT ACTIONS

The following employment actions are recommended for City Council approval:

First Name	Last Name	Action	Position	Status	Dept.	Base Pay Rate	Pay Type	Pay Scale	Date (on or about)
Wayne	Anderson	Hire	Golf Outside Service Attendant	Casual, Seasonal	2205	\$ 14.30	Hourly	C-01	3/31/2025
Abby	Balster	Hire	Golf Shop Attendant	Casual, Seasonal	2205	\$ 14.30	Hourly	SMI	3/31/2025
Nate	Becker	Promotion	Engineering Technician II	Full-Time, Regular	1510	\$ 40.83	Hourly	170	4/19/2025
Douglas	Carlson	Rehire	Maintenance Worker I	Casual, Seasonal	2205	\$ 18.75	Hourly	SMI	3/31/2025
Ethan	Christensen	Hire	Maintenance Worker I	Casual, Seasonal	2205	\$ 18.75	Hourly	SMI	3/31/2025
Maria	Cordova	Separation from Employment	Division/Department Specialist	Full-Time, Regular					3/26/2025
Jasmine	Davis	Hire	Food and Beverage Server	Casual, Variable Hour	2205	\$ 14.30	Hourly	C-01	3/31/2025
Antonio	Gaalyswk	Hire	Maintenance Worker I	Full-Time, Regular	5305	\$ 35.85	Hourly	UMI	4/17/2025
Carter	Hayes	Hire	Planner	Full-Time, Regular	1100	\$ 101,920.00	Annual	E190	4/14/2025
Carter	Hench	Hire	Golf Outside Service Attendant	Casual, Seasonal	2205	\$ 14.30	Hourly	C-01	3/31/2025
Makayla	Hobgood	Hire	Food and Beverage Server	Casual, Variable Hour	2205	\$ 14.30	Hourly	C-01	3/31/2025
Brady	Hoffman	Rehire	Seasonal Maintenance I	Casual, Seasonal	1710	\$ 19.35	Hourly	SM2	5/15/2025
Ed	Hurney	Rehire	Maintenance Worker II	Casual, Seasonal	2205	\$ 20.75	Hourly	SMI	3/31/2025
Donald	Johnson	Rehire	Maintenance Worker I	Casual, Seasonal	2205	\$ 18.75	Hourly	SMI	3/31/2025
Shane	Klokonos	Accept Retirement	Police Officer	Full-Time, Regular	1200				10/3/2025
Madeline	Lommen	Hire	Golf Shop Attendant	Casual, Seasonal	2205	\$ 14.30	Hourly	SMI	3/31/2025
Robert	MacDonald	Rehire	Maintenance Worker I	Casual, Seasonal	2205	\$ 18.75	Hourly	SMI	3/31/2025
Lori	Marschall	Rehire	Food and Beverage Server	Casual, Variable Hour	2205	\$ 14.30	Hourly	C-01	3/31/2025
Kirk	Olson	Accept Resignation	Maintenance Worker II	Full-Time, Regular	1060				4/2/2025
Craig	Osborne	Rehire	Maintenance Worker I	Casual, Seasonal	2205	\$ 18.75	Hourly	SMI	3/31/2025
Danyel	Post	Hire	Accountant I	Full-Time, Regular	1035	\$ 45.50	Hourly	160	4/16/2025
Minnie	Proeung	Hire	Golf Shop Attendant	Casual, Seasonal	2205	\$ 14.30	Hourly	SMI	3/31/2025
Joshua	Neuenschwander	Hire	Maintenance Worker I	Casual, Seasonal	2205	\$ 18.75	Hourly	SMI	3/31/2025
Cody	Rezny	Hire	Golf Outside Service Attendant	Casual, Seasonal	2205	\$ 14.30	Hourly	C-01	3/31/2025

The Council's approval of the Personnel Report includes the ratification of the City Administrator's actions in carrying out the terms and conditions of the employment of the City personnel.



**PERSONNEL REPORT**

April 10, 2025

City of Apple Valley

Human Resources

First Name	Last Name	Action	Position	Status	Dept.	Base Pay Rate	Pay Type	Pay Scale	Date (on or about)
Dane	Roback	Hire	Golf Shop Attendant	Casual, Seasonal	2205	\$ 14.30	Hourly	SMI	3/31/2025
Sam	Schmucker	Hire	Golf Outside Service Attendant	Casual, Seasonal	2205	\$ 14.30	Hourly	C-01	3/31/2025
Craig	Schultz	Hire	Seasonal Inspector	Casual, Seasonal	2205	\$ 30.00	Hourly	C-10	4/14/2025
Matthew	Schwinefus	Rehire	Seasonal Maintenance I	Casual, Seasonal	1710	\$ 19.95	Hourly	SMI	5/15/2025
Franklin	Setterlund	Hire	Golf Outside Service Attendant	Casual, Seasonal	2205	\$ 14.30	Hourly	C-01	3/31/2025
Logan	Shaffer	Rehire	Seasonal Maintenance I	Casual, Seasonal	1710	\$ 19.95	Hourly	SMI	5/15/2025
Mason	Talbot	Hire	Maintenance Worker I	Casual, Seasonal	2205	\$ 18.75	Hourly	SMI	3/31/2025
Matthew	Thostenson	Hire	Maintenance Worker I	Casual, Seasonal	1600	\$ 19.35	Hourly	SMI	5/15/2025
Abigail	Wanous	Hire	Golf Outside Service Attendant	Casual, Seasonal	2205	\$ 14.30	Hourly	C-01	3/31/2025

The Council's approval of the Personnel Report includes the ratification of the City Administrator's actions in carrying out the terms and conditions of the employment of the City personnel.



ITEM:  
COUNCIL MEETING DATE:  
SECTION:

5.A.  
April 10, 2025  
Regular Agenda

<b>Description:</b>	
Introduction and Oath of Office of Police Officers Mitchell Taylor and Ethan Solheid	
<b>Staff Contact:</b>	<b>Department / Division:</b>
Nick Francis, Police Chief	Police Department

**ACTION REQUESTED:**

N/A

**SUMMARY:**

The Police Chief will introduce Police Officers Mitchell Taylor and Ethan Solheid and the City Clerk will administer the oath of office.

**BACKGROUND:**

Both officers were hired in the fall of 2024. They have completed field training and are now assigned to solo patrol.

**BUDGET IMPACT:**

N/A



ITEM:  
COUNCIL MEETING DATE:  
SECTION:

5.B.  
April 10, 2025  
Regular Agenda

**Description:**

PHS Apple Valley Senior Housing, Inc. - Orchard Path Phase III Project

**Staff Contact:**

Ron Hedberg, Finance Director

**Department / Division:**

Finance Department

**ACTION REQUESTED:**

1. Hold public hearing.
2. Adopt the resolution providing for the approval of a Second Amended and Restated Housing Program and the issuance and sale of Senior Housing Revenue Bonds, Series 2025, relating to a senior housing and health care project.

**SUMMARY:**

The City has received a request from PHS Apple Valley Senior Housing, Inc., to issue up to \$35,000,000 of Senior Housing Revenue Bonds. A public hearing has been set for April 10, 2025, at 7:00 p.m. on the issuance of Senior Housing Revenue Refunding Bonds to be issued in an amount to finance the construction of 75 independent-living units as an addition to the existing PHS Orchard Path project at Cobblestone. The current Orchard Path project is currently comprised of 175 independent living units, 58 assisted living units, and 20 memory care units. These bonds are payable only from the revenues of PHS Apple Valley Senior Housing, Inc., and are not an obligation of the City of Apple Valley and will not impact the City's bond ratings through Moody's and Standard and Poor's.

**BACKGROUND:**

PHS Apple Valley Senior Housing, Inc., has requested the City of Apple Valley issue refunding revenue bonds to finance the (1) construction, improvement, and equipping of 75 independent-living units at 15791 Cobblestone Lake Parkway South, as an addition to the existing four-story Presbyterian Homes facility at 5400 157th Street West PHS Orchard Path project at Cobblestone, (2) funding any required reserve funds, (3) capitalization of interest on the bonds, and (4) payment of certain costs of issuing of the bonds. The bonds to be issued would be in an amount not to exceed \$35,000,000.

The project is an addition to the facility located at 5400 157th Street West in the Cobblestone neighborhood. The existing facility consists of 175 independent living units, 58 assisted living units, and 20 assisted memory care units. In order to issue this series of bonds it is required that the housing finance program be amended to provide for the issuance and construction of the expansion.

These bonds are payable only from the revenues of PHS Apple Valley Senior Housing, Inc., and are not an obligation of the City of Apple Valley and will not impact the City's bond

ratings through Moody's and Standard and Poor's.

Attached is a copy of the Public Hearing Notice that was published calling for the hearing along with a copy of the Preliminary Official Statement associated with the bond issue.

**BUDGET IMPACT:**

There will not be a budget impact, all costs associated with the issuance are to be reimbursed by PHS Apple Valley Senior Housing, Inc. In addition, the applicant will pay a conduit debt issuance fee.

**ATTACHMENTS:**

Resolution

Exhibit

Exhibit

Extract of Minutes of a Meeting of the  
City Council of the  
City of Apple Valley, Minnesota

Pursuant to due call and notice thereof, a regular meeting of the City Council of the City of Apple Valley, Minnesota, was duly held at the City Hall in such City on Thursday, the 10th day of April, 2025 at 7:00 o'clock p.m.

The following Council members were present:

and the following Council members were absent:

Member \_\_\_\_\_ introduced the following resolution and moved its adoption:

CITY OF APPLE VALLEY  
RESOLUTION NO. 2025-\_\_

A RESOLUTION PROVIDING FOR THE APPROVAL OF  
A SECOND AMENDED AND RESTATED HOUSING PROGRAM AND THE ISSUANCE  
AND SALE OF  
SENIOR HOUSING REVENUE BONDS (PHS APPLE VALLEY SENIOR HOUSING, INC.–  
ORCHARD PATH PHASE III PROJECT), SERIES 2025  
RELATING TO A SENIOR HOUSING AND HEALTH CARE PROJECT

BE IT RESOLVED by the City Council of the City of Apple Valley, Minnesota (the “City”), as follows:

1. Authority. The City is, by the Constitution and laws of the State of Minnesota, including Minnesota Statutes, Chapter 462C, as amended (the “Act”), authorized to issue and sell its revenue bonds for the purpose of financing or refinancing the cost of housing, assisted living, and memory care facilities for the elderly and to enter into agreements necessary or convenient in the exercise of the powers granted by the Act.

2. Authorization of Project; Documents Presented. PHS Apple Valley Senior Housing, Inc., a Minnesota nonprofit corporation (the “Borrower”), has proposed that the City issue and sell its Senior Housing Revenue Bonds (PHS Apple Valley Senior Housing, Inc.– Orchard Path Phase III Project), Series 2025 in an amount not to exceed \$35,000,000 (the “Bonds”) in substantially the form set forth in the Supplement (as hereafter defined) pursuant to the Act and loan the proceeds thereof to the Borrower, in order to (i) finance the construction, improvement, and equipping of an addition to the Borrower’s existing senior living campus to add 75 independent-living units, with an address of 15791 Cobblestone Lake Parkway S. in the City (the “Improvements”), as part of an existing single contiguous four-story building located at 5400

157th Street West in the City (the “Facility”), which is currently comprised of 175 independent living units, 58 assisted living units, and 20 memory care units, (ii) fund any required reserve funds, (iii) pay any capitalized interest, and (iv) pay all or a portion of the costs of issuing the Bonds (collectively, the “Project”). Forms of the following documents relating to the Bonds have been submitted to the City, all of which are dated as of the first day of the month in which the Bonds are issued, unless otherwise indicated:

(a) The Second Amendment to Loan Agreement (the “Amendment”), which amends that certain Loan Agreement dated as of September 1, 2018 as previously amended by that certain First Amendment to Loan Agreement dated as of September 1, 2021 (collectively, the “Loan Agreement”) between the City and the Borrower, whereby the City agrees to make a loan of the proceeds of sale of the Bonds to the Borrower and pursuant to which agreement the Borrower agrees to construct the Improvements and to pay amounts in repayment of the loan sufficient to provide for the full and prompt payment of the principal of, premium, if any, and interest on the Bonds; and

(b) The Second Supplemental Trust Indenture (the “Supplement”), which supplements that certain Trust Indenture dated as of September 1, 2018 as previously amended and supplemented by that certain First Supplemental Trust Indenture dated as of September 1, 2021 (collectively, the “Indenture”) between the City and UMB Bank, n.a., as trustee (the “Trustee”), authorizing the issuance of the Bonds and pledging certain revenues, including those to be derived from the Loan Agreement, as security for the Bonds, and setting forth proposed recitals, covenants and agreements relating thereto; and

(c) The Third Amended and Restated Mortgage, Security Agreement, Assignment of Leases and Rents and Fixture Financing Statement (the “Mortgage”) between the Borrower, as mortgagor, and the Trustee, as mortgagee, granting to the Trustee a first mortgage lien on and security interest in the Facility as security for repayment of the Bonds (this document not executed by the City); and

(d) The Bond Purchase Agreement (the “Bond Purchase Agreement”), among Piper Sandler & Co. (the “Underwriter”), the Borrower, and the City, providing for the purchase of the Bonds from the City by the Underwriter and setting forth the terms and conditions of purchase; and

(e) The Preliminary Official Statement (together with the form of final Official Statement and the insertion of the final underwriting details of the Bonds, including the interest rates thereon, and any other changes deemed necessary or desirable, intended to constitute the form of the final Official Statement, and including all Appendices thereto (together the “Official Statement”)), describing the offering of the Bonds, and certain terms and provisions of the foregoing documents relating to the Bonds.

3. Findings. It is hereby found, determined and declared that:

(a) Based on Borrower representations to the City, the Project constitutes a project authorized by and described in the Act as elderly rental housing facilities.

(b) A public hearing on the Project and the amended and restated housing finance program was held this same date, after notice was published in the official newspaper of the City not less than 15 days in advance of said public hearing, and materials were made available for public inspection at the City Hall, all as required by the Act and Section 147(f) of the Internal Revenue Code of 1986, as amended (the “Code”), at which public hearing all those appearing who desired to speak were heard and written comments were accepted.

(c) Pursuant to Section 462C.04 of the Act, the City made timely submission of the housing finance program to the Metropolitan Council for its review and comment, and the City has heretofore received favorable comment from the Metropolitan Council on such program.

(d) No public official of the City has either a direct or indirect financial interest in the Project nor will any public official either directly or indirectly benefit financially from the Project.

(e) There is no litigation pending or, to the City’s actual knowledge, threatened against the City relating to the Bonds, the Amendment, the Bond Purchase Agreement, or the Supplement (collectively, the “City Bond Documents”) or questioning the due organization of the City, or the powers or authority of the City to issue the Bonds and undertake the transactions contemplated hereby.

(f) The execution, delivery and performance of the City’s obligations under the City Bond Documents do not and will not violate any order of any court or other agency of government of which the City is aware or in which the City is a party, or any indenture, agreement or other instrument to which the City is a party or by which it or any of its property is bound, or be in conflict with, result in a breach of, or constitute (with due notice or lapse of time or both) a default under any such indenture, agreement or other instrument.

(g) It is desirable that the Bonds be issued by the City upon the terms set forth in the Indenture under the provisions of which the City’s interest in the Loan Agreement will be pledged to the Trustee as security for the payment of principal of, premium, if any, and interest on the Bonds.

(h) Under the provisions of the Act, and as provided in the City Bond Documents, the Bonds are not to be payable from nor charged upon any funds other than amounts payable pursuant to the Loan Agreement and moneys in the funds and accounts held by the Trustee which are pledged to the payment thereof; the City is not subject to any liability thereon; no owners of the Bonds shall ever have the right to compel the exercise of the taxing power of the City to pay any of the Bonds or the interest thereon, nor to enforce payment thereof against any property of the City; the Bonds shall not constitute a general or moral obligation of the City or a charge, lien or encumbrance, legal or equitable, upon any property of the City (other than the interest of the City in the Loan Repayments to be made by the Borrower under the Loan Agreement); and each Bond issued under the Indenture shall recite that such Bond, including interest thereon, shall not constitute or give rise to a charge against the general credit or taxing powers of the City.



4. Approval and Execution of Documents. The form of the Bonds and the City Bond Documents are approved. The City Bond Documents, together with such other documents necessary in connection therewith, are authorized to be executed in the name and on behalf of the City by the Mayor and the City Clerk at such time, if any, as they may deem appropriate, or executed or attested by other officers of the City, in substantially the form on file, but with all such changes therein, not inconsistent with the Act or other law, as may be approved by the officers executing the same, which approval shall be conclusively evidenced by the execution thereof; and then shall be delivered to the Trustee. Modifications to the form of Mortgage may be made at the discretion of the parties thereto.

5. Approval, Execution and Delivery of Bonds. The City is authorized to issue the Bonds, in an aggregate principal amount of not to exceed \$35,000,000, in the form and upon the terms set forth in the Indenture which terms are for this purpose incorporated in this resolution and made a part hereof; provided, however, that the initial aggregate principal amount of and the maturities of the Bonds, the interest rates thereon, and any provisions for the optional or mandatory redemption thereof shall all be as set forth in the final form of the Indenture to be approved, executed and delivered by the officers of the City authorized to do so by the provisions of this Resolution, which approval shall be conclusively evidenced by such execution and delivery. The Underwriter has agreed pursuant to the provisions of the Bond Purchase Agreement and subject to the conditions therein set forth, to purchase the Bonds at the purchase price set forth in the Bond Purchase Agreement and said purchase price is hereby accepted. The Mayor, City Clerk, and other City officers are authorized to execute the Bonds as prescribed in the Indenture at such time, if any, as they may deem appropriate, and to deliver them to the Trustee, together with a certified copy of this Resolution and the other documents required by Section 2.09 of the Indenture for authentication, registration and delivery to the Underwriter.

6. Official Statement. As requested by the Underwriter, the City hereby consents to the circulation by the Underwriter of the Official Statement in offering the Bonds for sale; provided, however, that the City has not participated in the preparation of the Official Statement or independently verified the information in the Official Statement except with respect to the information under the heading "THE ISSUER" and with respect to litigation against the City relating to issuance of the Bonds (of which there is none) under the heading "ABSENCE OF MATERIAL LITIGATION—The Issuer" and takes no responsibility for, and makes no representations or warranties as to, the accuracy, completeness or sufficiency of such information.

7. Certificates, etc. The Mayor, City Clerk, and other officers of the City are authorized at such time, if any, as they may deem appropriate, to prepare and furnish to bond counsel and the purchaser of the Bonds, when issued, certified copies of all proceedings and records of the City relating to the Bonds, and such other affidavits and certificates as may be required to show the facts appearing from the books and records in the officers custody and control or as otherwise known to them; and all such certified copies, certificates and affidavits, including any heretofore furnished, shall constitute representations of the City as to the truth of all statements contained therein.

8. Housing Program. The second amended and restated housing program in substantially the form attached hereto as Exhibit A is hereby approved.

Adopted by the City Council of the City of Apple Valley, Minnesota, this 10th day of April, 2025.

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Clint Hooppaw, Mayor

ATTEST:

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Christina M. Scipioni, City Clerk

The motion for the adoption of the foregoing resolution was duly seconded by member \_\_\_\_\_, and after full discussion thereof and upon vote being taken thereon, the following voted in favor thereof:

and the following voted against the same:

whereupon said resolution was declared duly passed and adopted.

## **EXHIBIT A**

### **SECOND AMENDED AND RESTATED PROGRAM FOR FINANCING A MULTIFAMILY RENTAL HOUSING DEVELOPMENT**

Proposal Authority. Pursuant to Minnesota Statutes, Chapter 462C (the “Act”), the City of Apple Valley, Minnesota (the “City”) is authorized to develop and administer programs of multifamily senior housing developments and facilities for seniors who need additional assisted living and special services under the circumstances and within the limitations set forth in the Act, specifically Minnesota Statutes, Section 462C.05, subdivision 7. Minnesota Statutes, Section 462C.07 provides that such programs for Minnesota multifamily housing and health care developments may be financed by revenue bonds issued by the City. This housing and health care finance program (this “Program”) is undertaken by the City to finance the 2018 Project, the 2021 Project, and the 2025 Project each as hereinafter described (collectively, the “Project”), which are owned and operated by PHS Apple Valley Senior Housing, Inc., a Minnesota nonprofit corporation (the “Borrower”), an affiliate of Presbyterian Homes and Services, a Minnesota nonprofit corporation. The City has issued revenue bonds (the “2018 Bonds” and the “2021 Bonds”) pursuant to the Act to assist in financing the 2018 Project and the 2021 Project and expects to issue one or more series of tax-exempt and/or taxable revenue bonds or other obligations (the “2025 Bonds”) pursuant to the Act to assist in financing the 2025 Project.

General Description of the Project and Location. The 2018 Project consisted of the refinancing of the outstanding principal amount of the \$49,725,000 Revenue Bonds (Presbyterian Homes and Services Bond Program-PHS Apple Valley Senior Housing, Inc., Project), Series 2016A (the “Prior Bonds”), issued by the Public Finance Authority to finance the acquisition, construction, and equipping of a senior living campus located at 5400 157th Street West in the City (the “Original Facility”) (the “2018 Project”). The Original Facility consisted of one approximately 325,000 square-foot contiguous four-story building with a total of 193 units, which are comprised of 115 independent living units, 58 assisted living units, and 20 assisted memory care units. The 2021 Project consisted of the financing of (i) the construction, improvement, and equipping of an addition to the Original Facility that added 60 independent-living units (the “2021 Addition”), (ii) the funding of any required reserve funds, and (iii) the payment of all or a portion of the costs of issuance. The 2025 Project consists of the financing of (i) the construction,

improvement, and equipping of an addition to the Original Facility that will add 75 independent-living units (the “2025 Addition” and, together with the Original Facility and the 2021 Addition, the “Facility”), with an address of 15791 Cobblestone Lake Parkway S. in the City, (ii) the funding of any required reserve funds, (iii) the payment of any capitalized interest, and (iv) the payment of all or a portion of the costs of issuance. The Facility is and will be owned and operated by the Borrower or a related entity.

The Facility has been designed and is intended for residency solely by elderly and/or disabled persons and, consequently, no income limits apply under the Act or other state law. The Facility will consist of the following living units:

2025 Unit Type <sup>1</sup>	Number of Apartments	Apartment Size <sup>2</sup>	*Monthly Rate (at opening)
<b>Terrace Independent Living:</b>			
One-bedroom	21	792-802	\$2,930-\$2,967
One-bedroom w/sunroom & 1/2 bath	20	1,186	\$4,388
Two-bedroom	15	1,152	\$4,262
Two-bedroom w/sun, dining & 1/2 bath	3	1,385	\$5,125
Two-bedroom w/sun, dining & 1/2 bath	16	1,454	\$5,380
<b>TOTAL</b>	<b>75</b>	<b>1,134</b> <sup>3</sup>	<b>\$4,196</b> <sup>3</sup>

\*Final unit rent adjustments to be made by marketing: Ex. 2 bedroom to be more than 1 bedroom sun

2021 Unit Type <sup>1</sup>	Number of Apartments	Apartment Size <sup>2</sup>	Monthly Rate
<b>Terrace Independent Living:</b>			
One-bedroom	1	790	\$2,640
One-bedroom w/Kitchen Island	20	790-945	\$2,730
One-bedroom w/Kitchen Island & Den	12	1,171	\$3,150
Two-bedroom w/Kitchen Island	7	1,144-1,201	\$3,815
Two-bedroom w/Kitchen Island & sunroom	4	1,150	\$3,840
Two-bedroom w/Kitchen Island & sunroom	8	1,425-1,437	\$3,588
<b>TOTAL</b>	<b>56</b>	<b>1,130</b> <sup>3</sup>	<b>\$3,774</b> <sup>3</sup>

ORIGINAL Unit Type <sup>1</sup>	Number of Apartments	Apartment Size <sup>2</sup>	Monthly Rate
<b>Terrace Independent Living:</b>			
One-bedroom	32	739-818	\$2,336
One-bedroom Plus	4	1,067-1,114	\$3,328
One-bedroom Plus	25	1,171-1,179	\$3,617
Two-bedroom	17	1,144-1,201	\$3,728
Two-bedroom	1	1,568	\$4,495
Two-bedroom Plus	24	1,425-1,437	\$4,523
Two-bedroom Plus	8	1,620	\$4,975
Two-bedroom Plus	4	1,849	\$5,105
<b>TOTAL</b>	<b>115</b>	<b>1,178</b> <sup>3</sup>	<b>\$3,610</b> <sup>3</sup>

Unit Type <sup>1</sup>	Number of Apartments	Apartment Size <sup>2</sup>	Monthly Rate
<b>Commons Assisted Living:</b>			
Studio	12	468	\$4,075
One-bedroom	34	569-620	\$4,662
One-bedroom w/Den	6	755	\$5,435
Two-bedroom	6	902-962	\$5,805
<b>TOTAL</b>	<b>58</b>	<b>634</b> <sup>3</sup>	<b>\$4,739</b> <sup>3</sup>

Unit Type <sup>1</sup>	Number of Beds	Room Size <sup>2</sup>	Monthly Rate
<b>Arbor Memory Care</b>			
Studio	4	468-516	\$4,590
One-bedroom	16	596-686	\$5,056
<b>TOTAL</b>	<b>20</b>	<b>594</b> <sup>3</sup>	<b>\$4,963</b> <sup>3</sup>

<sup>1</sup> Independent Living and Assisted Living are units, Memory Care are beds.

<sup>2</sup> Approximate Square Feet

<sup>3</sup> Average

Operation of the Project. The Borrower will operate the Project in accordance with applicable development restrictions, and all construction was and is subject to applicable state and local building codes. The Project is not inconsistent with any Housing Plan adopted by the City under Minnesota Statutes, Chapter 462C. The Project is and will be available for rental to the general public. The Borrower is and will be required to operate the Project in accordance with state and local anti-discrimination laws and ordinances.

2018 Bonds. The Borrower has indicated that the original principal amount of the 2018 Bonds issued to finance the 2018 Project was \$49,185,000, and the final maturity of the 2018 Bonds is approximately 40 years after the date of issuance of the 2018 Bonds. The proceeds of the 2018 Bonds financed the current refunding of the Prior Bonds and paid certain costs of issuing the 2018 Bonds.

2021 Bonds. The Borrower has indicated that the original principal amount of the 2021 Bonds issued to finance the 2021 Project was \$18,130,000 and the final maturity of the 2021 Bonds is approximately 40 years after the date of issuance of the 2021 Bonds. The proceeds of the 2021 Bonds were used to pay the costs of the 2021 Project, including any functionally related and subordinate facilities.

2025 Bonds. The Borrower has indicated that the original principal amount of the 2025 Bonds issued to finance the 2025 Project will not exceed \$35,000,000, and the final maturity of the 2025 Bonds will be in approximately 40 years. The 2025 Bonds may be structured so as to take advantage of whatever means are available or necessary and are permitted by law to enhance the security for and marketability of the 2025 Bonds. Substantially all of the net proceeds of the 2025 Bonds (the initial principal amount thereof, less amounts deposited in a reasonably required reserve or paid out as costs of issuance of the 2025 Bonds) will be used to pay the costs of the 2025 Project, including any functionally related and subordinate facilities.

Allocation of Issuance Authority. Because the Borrower is a nonprofit entity and an organization described in Section 501(c)(3) of the Internal Revenue Code of 1986, as amended, no

allocation of authority to issue tax-exempt bonds is required pursuant to Minnesota Statutes, Chapter 474A. The 2018 Bonds and the 2021 Bonds were, and the 2025 Bonds will be, issued pursuant to Section 462C.07, subdivision 1, of the Act and are and will be payable primarily from revenues of this Program. Issuance of the 2018 Bonds occurred in September, 2018, issuance of the 2021 Bonds occurred in September, 2021, and the issuance of the 2025 Bonds is anticipated to occur in the spring of 2025.

Monitoring. The Borrower expects to enter into suitable agreements with necessary parties to ensure consistent compliance with the objectives of this Program, as well as with the requirements of applicable law.

Use of Bond Proceeds. The proceeds of the 2018 Bonds and the 2021 Bonds were, and the proceeds of the 2025 Bonds will be, loaned to the Borrower pursuant to an amended and restated revenue agreement (the “Loan Agreement”) by and between the City and the Borrower. The Borrower will be required, pursuant to the Loan Agreement, to make payments sufficient to pay when due the principal of, premium, if any, and interest on the 2018 Bonds, the 2021 Bonds, and the 2025 Bonds.

Project Costs. The costs of the Project and the program of financing the Project, including specifically the costs of the City, generally will be paid or reimbursed by the Borrower.

STATE OF MINNESOTA    )  
  ) ss.  
COUNTY OF DAKOTA    )

I, the undersigned, being the duly qualified and acting Clerk of the City of Apple Valley, Minnesota, DO HEREBY CERTIFY that I have compared the attached and foregoing extract of minutes with the original thereof on file in my office, and that the same is a full, true and complete transcript of the minutes of a meeting of the City Council of said City duly called and held on the date therein indicated, insofar as such minutes relate to approval of an amended and restated housing program and the issuance of housing revenue bonds by the City.

WITNESS my hand this \_\_\_\_ day of \_\_\_\_\_, 2025.

\_\_\_\_\_  
Christina M. Scipioni, City Clerk



# AFFIDAVIT OF PUBLICATION

STATE OF MINNESOTA ) ss  
COUNTY OF DAKOTA

I do solemnly swear that the notice, as per the proof, was published in the edition of the

Dakota County Tribune

with the known office of issue being located in the county of:

DAKOTA

with additional circulation in the counties of:

DAKOTA

and has full knowledge of the facts stated below:

(A) The newspaper has complied with all of the requirements constituting qualification as a qualified newspaper as provided by Minn. Stat. §331A.02.

(B) This Public Notice was printed and published in said newspaper(s) once each week, for 1 successive week(s); the first insertion being on 03/21/2025 and the last insertion being on 03/21/2025.

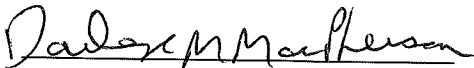
## MORTGAGE FORECLOSURE NOTICES

Pursuant to Minnesota Stat. §580.033 relating to the publication of mortgage foreclosure notices: The newspaper complies with the conditions described in §580.033, subd. 1, clause (1) or (2). If the newspaper's known office of issue is located in a county adjoining the county where the mortgaged premises or some part of the mortgaged premises described in the notice are located, a substantial portion of the newspaper's circulation is in the latter county.

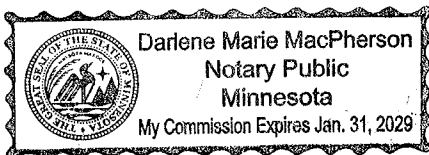
By: 

Designated Agent

Subscribed and sworn to or affirmed before me on 03/21/2025



Notary Public



### Rate Information:

(1) Lowest classified rate paid by commercial users for comparable space:

\$999.99 per column inch

Ad ID 1458240

**CITY OF APPLE VALLEY  
NOTICE OF PUBLIC HEARING  
ON A PROPOSAL FOR A SECOND AMENDED AND RESTATED  
HOUSING FINANCE PROGRAM AND ISSUANCE OF REVENUE BONDS  
(PHS APPLE VALLEY SENIOR HOUSING, INC. – ORCHARD PATH PROJECT)**

Notice is hereby given that the City Council of the City of Apple Valley, Minnesota (the "City"), will meet on Thursday, April 10, 2025, at 7:00 p.m. in the Apple Valley Municipal Center, 7100 147<sup>th</sup> Street West, in the City, to consider the proposal of PHS Apple Valley Senior Housing, Inc., a Minnesota nonprofit corporation (the "Borrower"), an affiliate of Presbyterian Homes and Services, a Minnesota nonprofit corporation, that the City adopt a second amended and restated housing financing program and issue revenue bonds or other obligations, in one or more series (the "Bonds"), pursuant to Minnesota Statutes, Chapter 462C (the "Act"), in order to finance the costs of the project described below.

The Borrower has proposed that it will use the proceeds of the Bonds to (i) finance the construction, improvement, and equipping of an addition to the Borrower's existing senior living campus to add 75 independent-living units, with an address of 15791 Cobblestone Lake Parkway S. in the City (the "Addition"), as part of an existing single contiguous four-story building located at 5400 157<sup>th</sup> Street West in the City (collectively, the "Facility"), which is currently comprised of 175 independent living units, 58 assisted living units, and 20 memory care units, (ii) fund any required reserve funds, (iii) pay any capitalized interest and (iv) pay all or a portion of the costs of issuing the Bonds (collectively, the "Project"). The Facility is and will be owned and operated by the Borrower. The Addition is currently anticipated to consist of the following units:

<u>Unit Description</u>	<u>Number of Units</u>	<u>Average Sq. Feet/Unit</u>	<u>Approximate Base Rent</u>
<u>Independent Living:</u>			
One-bedroom	21	792-802	\$2,867-\$2,903
One-bedroom w/ sunroom	20	1,186	\$4,293
Two-bedroom	15	1,152	\$4,170
Two-bedroom w/ sunroom	19	1,385-1,454	\$5,014-\$5,263

The aggregate estimated principal amount of the Bonds to be issued by the City to finance the Project and related costs will not exceed \$35,000,000.

The Bonds, if and when issued, will not constitute a charge, lien, or encumbrance upon any property of the City, except the Facility and the revenues to be derived from the Facility. The Bonds will not be a charge against the general credit or taxing powers of the City, but will be payable from sums to be paid by the Borrower pursuant to a revenue agreement.

A draft copy of the proposed second amended and restated housing finance program is available for inspection during normal business hours in the office of the City Clerk located within the Apple Valley Municipal Center.

At the time and place fixed for the public hearing, the City Council of the City will give all persons who appear at the hearing an opportunity to express their views with respect to the proposed amended and restated housing program and Bonds. Written comments will be considered if submitted at the office of the City Clerk on or before the date of the public hearing.

Dated: March 21, 2025

CITY OF APPLE VALLEY, MINNESOTA  
By Christina M. Scipioni  
City Clerk

Published in the  
Dakota County Tribune  
March 21, 2025  
1458240

## BOOK-ENTRY ONLY

## NOT RATED

*In the opinion of Taft Stettinius & Hollister LLP, Bond Counsel, based upon an analysis of existing laws, regulations, rulings and decisions in effect on the date of delivery of the Series 2025 Bonds and assuming, among other matters, the accuracy of certain representations and compliance by the Borrower with certain covenants, interest on the Series 2025 Bonds is excludable from gross income for federal income tax purposes, and is excludable, to the same extent, from taxable net income of individuals, estates and trusts for State of Minnesota income tax purposes. Interest on the Series 2025 Bonds is not an item of tax preference for purposes of determining the federal alternative minimum tax, and for purposes of determining the Minnesota alternative minimum tax imposed on individuals, estates or trusts. However, interest on the Series 2025 Bonds will be included in the "adjusted financial statement income" of certain corporations that are subject to the alternative minimum tax under Section 55 of the Internal Revenue Code of 1986, as amended. Interest on the Series 2025 Bonds is subject to the Minnesota franchise tax imposed on corporations and financial institutions. Bond Counsel expresses no opinion regarding any other tax consequences related to the ownership or disposition of, or the accrual or receipt of interest on the Series 2025 Bonds. For a more complete discussion of the tax aspects of this issue, see "TAX MATTERS" herein.*



**[\$29,100,000]\***  
**City of Apple Valley, Minnesota**  
**Senior Housing Revenue Bonds**  
**(PHS Apple Valley Senior Housing, Inc. –**  
**Orchard Path Phase III Project)**  
**Series 2025**

**Bonds Dated: Date of Delivery****Due: as shown on inside front cover**

The above-captioned bonds (the "Series 2025 Bonds") are issuable only in fully registered form without coupons in the denomination of \$5,000 principal amount or any integral multiple thereof. The Series 2025 Bonds will be dated the date of their initial issuance and delivery, and will be issued in the aggregate principal amount and will mature (subject to prior redemption as described below) as provided on the inside cover page of this Official Statement. Purchasers of the Series 2025 Bonds will not receive certificates representing their interest in the Series 2025 Bonds purchased. Bonds will be registered in the name of Cede & Co., as registered owner and nominee of The Depository Trust Company, New York, New York. Principal of and interest on the Series 2025 Bonds is payable by UMB Bank, n.a., as trustee (the "Trustee"), to Cede & Co. which will remit such payments to the Participants for subsequent disbursement to the purchasers of the Series 2025 Bonds. See "THE SERIES 2025 BONDS - Book-Entry Only System" herein. All capitalized words not herein defined have the definitions given such terms in APPENDIX E: "SUMMARY OF DOCUMENTS AND CERTAIN DEFINITIONS."

The Series 2025 Bonds are being issued pursuant to a Trust Indenture, as amended and supplemented by a First Supplemental Trust Indenture, and as amended and supplemented by a Second Supplemental Trust Indenture (as amended and supplemented, the "Indenture"), each by and between the City of Apple Valley, Minnesota (the "Issuer") and the Trustee, in order to fund a loan in the principal amount of [\$29,100,000]\* (the "Loan") to PHS Apple Valley Senior Housing, Inc., a Minnesota nonprofit corporation (the "Borrower"), the proceeds of which will be used to finance: (i) the payment of the acquisition, construction, improvement and equipping of a 75-unit addition of independent living units, with an address of 15791 Cobblestone Lake Parkway S. in the City of Apple Valley, Minnesota (the "2025 Addition"), to the Borrower's 253-unit senior living campus located at 5400 157<sup>th</sup> Street West in the City of Apple Valley, Minnesota (collectively, the "Existing Facility" and, together with the 2025 Addition, "Project Facilities"), (ii) the funding of a debt service reserve fund, (iii) the funding of capitalized interest on the Series 2025 Bonds, and (iv) the payment of transaction costs related to the Series 2025 Bonds. The Series 2025 Bonds are being issued as Additional Bonds under the Indenture, on a parity with the Series 2021 Bonds (defined herein) and the Series 2018 Bonds (defined herein). The Series 2025 Bonds will be payable solely from the moneys held for the payment thereof under the Indenture. Such amounts include a Reserve Fund and loan repayments to be made by the Borrower pursuant to the Loan Agreement (described herein). The security for the Series 2025 Bonds is more fully described herein.

**The Series 2025 Bonds are subject to earlier redemption and repayment as described herein under "THE SERIES 2025 BONDS - Redemption Prior to Maturity." The Series 2025 Bonds shall mature and bear interest as set forth on the inside front cover of this Official Statement.**

**AN INVESTMENT IN THE SERIES 2025 BONDS IS SUBJECT TO CERTAIN RISKS. SEE "BONDHOLDERS' RISKS" HEREIN.**

THE SERIES 2025 BONDS ARE SPECIAL, LIMITED OBLIGATIONS OF THE ISSUER. THE SERIES 2025 BONDS AND THE INTEREST THEREON DO NOT CONSTITUTE NOR GIVE RISE TO A PECUNIARY LIABILITY, GENERAL OR MORAL OBLIGATION OR A PLEDGE OF THE FULL FAITH AND CREDIT OF THE ISSUER, THE STATE OF MINNESOTA OR ANY POLITICAL SUBDIVISION OF THE STATE OF MINNESOTA WITHIN THE MEANING OF ANY CONSTITUTIONAL OR STATUTORY LIMITATIONS. NEITHER THE STATE OF MINNESOTA NOR ANY POLITICAL SUBDIVISION OF THE STATE OF MINNESOTA NOR THE ISSUER SHALL BE OBLIGATED TO PAY THE PRINCIPAL OF THE SERIES 2025 BONDS, THE INTEREST THEREON OR OTHER COSTS INCIDENT THERETO EXCEPT FROM REVENUES PLEDGED THEREFOR UNDER THE INDENTURE, ALL AS MORE FULLY SET FORTH IN THE INDENTURE. NEITHER THE FULL FAITH AND CREDIT NOR THE TAXING POWER OF THE ISSUER, THE STATE OF MINNESOTA, NOR ANY POLITICAL SUBDIVISION THEREOF, IS PLEDGED TO THE PAYMENT OF THE PRINCIPAL OF THE SERIES 2025 BONDS OR THE INTEREST THEREON OR OTHER COSTS INCIDENT THERETO.

The Series 2025 Bonds are offered when, as and if issued and received by the Underwriter subject to the approving opinion of Taft Stettinius & Hollister LLP, Minneapolis, Minnesota, Bond Counsel. Certain matters will be passed upon for the Borrower by the general counsel of Presbyterian Homes and Services, a Minnesota nonprofit corporation and affiliate of Borrower and by Vantage Law Group, Minneapolis, Minnesota, real estate counsel. The Underwriter is being represented in this transaction by Frost Brown Todd LLP, Charleston, West Virginia. It is expected that the Series 2025 Bonds will be available for delivery through the facilities of The Depository Trust Company in New York, New York, on or about May \_\_, 2025.

[Piper Sandler LOGO]

\* Preliminary, subject to change

*This Official Statement is dated May \_\_, 2025.*

## MATURITY SCHEDULE

**[\$29,100,000]\***  
**City of Apple Valley, Minnesota**  
**Senior Housing Revenue Bonds**  
**(PHS Apple Valley Senior Housing, Inc. – Orchard Path Phase III Project)**  
**Series 2025**

\$\_\_\_\_\_ Serial Series 2025 Bonds

<u>Maturity</u> <u>(September 1)</u>	<u>Principal</u> <u>Amount</u>	<u>Interest</u> <u>Rate</u>	<u>Price</u>	<u>Yield</u>	<u>CUSIP®</u>
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\$\_\_\_\_\_ % Series 2025 Term Bonds due September 1, 20\_\_\_\_  
*Price of \_\_\_\_\_% to Yield \_\_\_\_\_%, CUSIP: 03800R \_\_\_\_\_*

\$\_\_\_\_\_ % Series 2025 Term Bonds due September 1, 20\_\_\_\_  
*Price of \_\_\_\_\_% to Yield \_\_\_\_\_%, CUSIP: 03800R \_\_\_\_\_*

For a schedule of the mandatory sinking fund payments with respect to the Series 2025 Term Bonds, see “THE SERIES 2025 BONDS - Redemption Prior to Maturity - Scheduled Mandatory Redemption” herein.

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\* Preliminary, subject to change

## **Aerial Photos of Project Facilities**

IN CONNECTION WITH THE OFFERING OF THE SERIES 2025 BONDS, THE UNDERWRITER MAY OVER-ALLOT OR EFFECT TRANSACTIONS WHICH STABILIZE OR MAINTAIN THE MARKET PRICE OF THE SERIES 2025 BONDS AT LEVELS ABOVE THOSE WHICH MIGHT OTHERWISE PREVAIL IN THE OPEN MARKET. SUCH STABILIZATION, IF COMMENCED, MAY BE DISCONTINUED AT ANY TIME.

No dealer, broker, salesperson or other person has been authorized by the Issuer, the Borrower or the Underwriter to give any information or to make any representations other than those contained in this Official Statement, and, if given or made, such other information or representations must not be relied upon as having been authorized by any of the foregoing. This Official Statement does not constitute an offer to sell or the solicitation of an offer to buy, and there shall not be any sale of the Series 2025 Bonds by any person in any jurisdiction in which it is unlawful for such person to make such offer, solicitation or sale.

The information contained in this Official Statement and the appendices hereto has been furnished by the Borrower and other sources which are believed to be reliable. The information and expressions of opinion herein are subject to change without notice, and neither the delivery of this Official Statement nor any sale made hereunder shall, under any circumstances, create any implication that there has been no change in the affairs of the parties referred to above since the date hereof.

Neither the Issuer nor any of its members, agents, employees or representatives have reviewed this Official Statement or investigated the statements or representations contained herein, except for those statements relating to the Issuer set forth under the captions “THE ISSUER” and “ABSENCE OF MATERIAL LITIGATION – The Issuer.” Except with respect to the information contained under such captions, neither the Issuer nor any of its members, agents, employees or representatives make any representation as to the completeness, sufficiency and truthfulness of the statements set forth in this Official Statement. Representatives of the Issuer and any other person executing the Series 2025 Bonds are not subject to personal liability by reason of the issuance of the Series 2025 Bonds.

THE SERIES 2025 BONDS HAVE NOT BEEN REGISTERED UNDER THE SECURITIES ACT OF 1933, AS AMENDED, AND THE INDENTURE HAS NOT BEEN QUALIFIED UNDER THE TRUST INDENTURE ACT OF 1939, AS AMENDED, IN RELIANCE UPON EXEMPTIONS CONTAINED IN SUCH ACTS. THE REGISTRATION OR QUALIFICATION OF THE SERIES 2025 BONDS IN ACCORDANCE WITH THE APPLICABLE PROVISIONS OF LAWS OF THE STATES IN WHICH SERIES 2025 BONDS HAVE BEEN REGISTERED OR QUALIFIED AND THE EXEMPTION FROM REGISTRATION OR QUALIFICATION IN OTHER STATES CANNOT BE REGARDED AS A RECOMMENDATION THEREOF. NEITHER THESE STATES NOR ANY OF THEIR AGENCIES HAVE PASSED UPON THE MERITS OF THE SERIES 2025 BONDS OR THE ACCURACY OR COMPLETENESS OF THIS OFFICIAL STATEMENT. ANY REPRESENTATION TO THE CONTRARY MAY BE A CRIMINAL OFFENSE.

#### **CAUTIONARY STATEMENT REGARDING FORWARD-LOOKING STATEMENTS**

**THIS OFFICIAL STATEMENT, INCLUDING THE APPENDICES HERETO, CONTAINS STATEMENTS WHICH SHOULD BE CONSIDERED “FORWARD-LOOKING STATEMENTS,” MEANING THEY REFER TO POSSIBLE FUTURE EVENTS OR CONDITIONS. SUCH STATEMENTS ARE GENERALLY IDENTIFIABLE BY THE WORDS SUCH AS “PLAN,” “EXPECT,” “ESTIMATE,” “BUDGET” OR SIMILAR WORDS. THE ACHIEVEMENT OF CERTAIN RESULTS OR OTHER EXPECTATIONS CONTAINED IN SUCH FORWARD-LOOKING STATEMENTS INVOLVE KNOWN AND UNKNOWN RISKS, UNCERTAINTIES AND OTHER FACTORS WHICH MAY CAUSE ACTUAL RESULTS,**



**PERFORMANCE OR ACHIEVEMENTS DESCRIBED TO BE MATERIALLY DIFFERENT FROM ANY FUTURE RESULTS, PERFORMANCE OR ACHIEVEMENTS EXPRESSED OR IMPLIED BY SUCH FORWARD-LOOKING STATEMENTS.**

**READERS SHOULD NOT PLACE UNDUE RELIANCE ON FORWARD-LOOKING STATEMENTS. ALL FORWARD-LOOKING STATEMENTS INCLUDED IN THIS OFFICIAL STATEMENT ARE BASED ON INFORMATION AVAILABLE TO THE ISSUER AND THE BORROWER ON THE DATE HEREOF. THE ISSUER AND THE BORROWER DISCLAIM ANY OBLIGATION OR UNDERTAKING TO RELEASE PUBLICLY ANY UPDATES OR REVISIONS TO ANY FORWARD-LOOKING STATEMENT CONTAINED HEREIN TO REFLECT ANY CHANGE IN THE ISSUER'S OR THE BORROWER'S EXPECTATIONS WITH REGARD THERETO OR ANY CHANGE IN EVENTS, CONDITIONS OR CIRCUMSTANCES ON WHICH ANY SUCH STATEMENT IS BASED.**

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## SUMMARY INFORMATION

*The following is a summary of certain information contained in this Official Statement. The summary is not comprehensive or complete and is qualified in its entirety by reference to the remainder of the Official Statement. Undefined capitalized terms used below are defined in APPENDIX E: "SUMMARY OF DOCUMENTS AND CERTAIN DEFINITIONS," or elsewhere in this Official Statement.*

<b>The Series 2025 Bonds</b> .....	[\$29,100,000]* Senior Housing Revenue Bonds (PHS Apple Valley Senior Housing, Inc. – Orchard Path Phase III Project) Series 2025 (the "Series 2025 Bonds") to be issued by the City of Apple Valley, Minnesota (the "Issuer") in whole multiples of \$5,000 principal amount. Individual purchases of interests in the Series 2025 Bonds will be made only in book-entry form through the facilities of The Depository Trust Company. See "THE SERIES 2025 BONDS – General" and "THE SERIES 2025 BONDS – Book-Entry Only System" herein.
<b>Payment</b> .....	Interest accrues on the Series 2025 Bonds at the rates set forth on the cover page hereof and is scheduled to be paid on March 1* and September 1* of each year, commencing September 1, 2025*. Principal of the Series 2025 Bonds is scheduled to be paid on September 1* of each year, commencing [September 1, 202__]*. See "THE SERIES 2025 BONDS – General" herein.
<b>Redemption and Prepayment</b> .....	As more fully described herein, the Series 2025 Bonds are subject to redemption and prepayment as follows: (i) the Series 2025 Bonds are subject to mandatory redemption in the event a Determination of Taxability is made with respect to the Series 2025 Bonds, at a redemption price equal to par, plus accrued interest, plus a premium of three percent (3%) of the principal amount of the Series 2025 Bonds outstanding; (ii) the Series 2025 Bonds are subject to extraordinary optional redemption due to the occurrence of certain events of casualty or condemnation, at a redemption price equal to the principal amount thereof plus accrued interest; (iii) the Series 2025 Bonds are subject to optional redemption upon request of the Borrower on or after September 1, 20__*, at a redemption price equal to the principal amount thereof, plus accrued interest and a premium on certain dates as described herein; and (iv) the Series 2025 Term Bonds are subject to mandatory sinking fund redemption on the dates and in the amounts set forth herein, at par plus accrued interest. See "THE SERIES 2025 BONDS - Redemption Prior to Maturity" herein.
<b>Use of Proceeds</b> .....	Proceeds of the Series 2025 Bonds will be loaned to the Borrower and will be used to finance: (i) the payment of the acquisition, construction, improvement and equipping of a 75-unit addition of independent living units, with an address of 15791 Cobblestone Lake Parkway S. in the City of Apple Valley, MN (the "2025 Addition"), to the Borrower's 253-unit senior living campus located at 5400 157 <sup>th</sup> Street West in the City of Apple Valley, MN (collectively, the "Existing Facility" and, together with the 2025 Addition, the "Project Facilities"); (ii) the funding of a debt service reserve fund, (iii) the funding of capitalized interest on the Series 2025 Bonds, and (iv) the payment of transaction costs related to the Series 2025 Bonds. See "ESTIMATED SOURCES AND USES OF FUNDS" herein and APPENDIX A: "THE BORROWER AND THE PROJECT" attached hereto.
<b>Security for the Series 2025 Bonds</b> .....	The Series 2025 Bonds are being issued on a parity with the Issuer's \$49,185,000 City of Apple Valley, Minnesota Senior Housing Revenue Refunding Bonds (PHS Apple Valley Senior Housing, Inc. – Orchard Path Project) Series 2018 (the "Series 2018 Bonds"), the proceeds of which were used to refinance the original facility at 5400 157 <sup>th</sup> Street West in the City of Apple Valley, MN (the "Original Facility") and the Issuer's \$18,130,000 Senior Housing Revenue Bonds (PHS Apple Valley Senior Housing, Inc. – Orchard Path Phase II Project) Series 2021 (the "Series 2021 Bonds," and together with the Series 2018 Bonds and the Series 2025 Bonds, the "Bonds") the proceeds of which were used to finance a 60-unit addition to the Original Facility. The Bonds are secured by and payable from a first and prior assignment and pledge of (i) all moneys pledged therefor under the Indenture, including amounts to be deposited in a Reserve Fund described herein; (ii) the interest of the Issuer in the Loan Agreement (except for certain rights to indemnification and payments of fees and expenses); (iii) the amounts realized pursuant to the Mortgage (as defined herein) and insurance benefits and condemnation awards payable with respect thereto; and (iv) investment earnings on any of the foregoing. Pursuant to the Mortgage, subject to certain Permitted Encumbrances, the Borrower will grant a first mortgage lien on and security interest in and an assignment of leases and rents with respect to the Project Facilities in favor of the Trustee to secure its obligations with respect to the Bonds under the Loan Agreement. The Bonds are not general obligations of the Issuer and are not payable from any taxes, revenues or assets of the Issuer, except for the Issuer's interest in the Loan Agreement and amounts held pursuant to the Indenture. See "SECURITY FOR THE SERIES 2025 BONDS" herein.
<b>Investment Risks</b> .....	An investment in the Series 2025 Bonds involves risks, including, but not limited to, those discussed under "BONDHOLDERS' RISKS."

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\* Preliminary, subject to change

**Trustee and Paying Agent** ..... UMB Bank, n.a., St. Louis, Missouri.

**Financial Forecast** ..... Based upon assumptions set forth in the Examination of Financial Forecast attached hereto as Appendix B, set forth below is selected forecasted financial data of the Borrower for the Fiscal Years ending September 30, 2025, 2026, 2027 and 2028:

**[FINANCIAL FORECAST TO BE PROVIDED]**

- (1) Calculations are presented based upon the assumed terms of the Loan Agreement, after giving effect to the issuance of the Series 2018 Bonds, the Series 2021 Bonds, and the Series 2025 Bonds.
- (2) Interest funded by the proceeds of the Series 2025 Bonds is excluded from the annual debt service calculation.
- (3) Maximum annual debt service is based upon the maximum annual debt services of the Series 2018 Bonds, the Series 2021 Bonds, and the Series 2025 Bonds beginning after funded interest related to the Series 2025 Bonds has been expended, excluding the year of final maturity for each series.
- (4) [Operating expenses funded from the Series 2025 Bonds include approximately \$\_\_\_\_\_ of pre-opening salaries, \$\_\_\_\_\_ of marketing expenses, and \$\_\_\_\_\_ of working capital.]

## **OFFICIAL STATEMENT**

**[\$[29,100,000]\***  
**City of Apple Valley, Minnesota**  
**Senior Housing Revenue Bonds**  
**(PHS Apple Valley Senior Housing, Inc. – Orchard Path Phase III Project)**  
**Series 2025**

## **INTRODUCTORY STATEMENT**

The following is a brief introduction as to certain matters discussed elsewhere in this Official Statement and is qualified in its entirety as to such matters by such discussion and the text of the actual documents described or referenced.

### **General**

This Official Statement provides information regarding the offer of the \$[29,100,000]\* Senior Housing Revenue Bonds (PHS Apple Valley Senior Housing, Inc. – Orchard Path Phase III Project) Series 2025 (the “Series 2025 Bonds”), to be issued by the City of Apple Valley, Minnesota, (the “Issuer”) pursuant to a Trust Indenture dated as of September 1, 2018, as amended and supplemented by a First Supplemental Trust Indenture dated as of September 1, 2021, and as amended and supplemented by a Second Supplemental Trust Indenture dated as of May 1, 2025 (as amended and supplemented, the “Indenture”), each between the Issuer and UMB Bank, n.a., as trustee (together with its successors and assigns, the “Trustee”).

Pursuant to a Loan Agreement dated as of September 1, 2018, as amended and supplemented by a First Amendment to Loan Agreement dated as of September 1, 2021, and as further amended and supplemented by a Second Amendment to Loan Agreement dated as of May 1, 2025 (as amended, the “Loan Agreement”), each between the Issuer and PHS Apple Valley Senior Housing, Inc., a Minnesota nonprofit corporation (the “Borrower”), proceeds from the sale of the Series 2025 Bonds will be loaned to the Borrower and will be used to finance: (i) the payment of the acquisition, construction, improvement and equipping of a 75-unit addition of independent living units, with an address of 15791 Cobblestone Lake Parkway S. in the City of Apple Valley, MN (the “2025 Addition”), to the Borrower’s 253-unit senior living campus comprised of 175 independent living units, 58 assisted living units, and 20 memory care units, located at 5400 157<sup>th</sup> Street West in the City of Apple Valley, MN (collectively, the “Existing Facility” and, together with the 2025 Addition, the “Project Facilities”), (ii) the funding of a debt service reserve fund, (iii) the funding of capitalized interest on the Series 2025 Bonds, and (iv) the payment of transaction costs related to the Series 2025 Bonds. See APPENDIX A: “THE BORROWER AND THE PROJECT” attached hereto, and “ESTIMATED SOURCES AND USES OF FUNDS” herein.

Pursuant to a Management Agreement, PHS Management, LLC (the “Manager”) agrees to manage the Project Facilities for a term ending on May 10, 2026, which automatically renews for an additional five-year term unless terminated by a party 90 days in advance of such renewal.

The Series 2025 Bonds are being issued on a parity with the Issuer’s \$49,185,000 City of Apple Valley, Minnesota Senior Housing Revenue Refunding Bonds (PHS Apple Valley Senior Housing, Inc. – Orchard Path Project) Series 2018 (the “Series 2018 Bonds”), the proceeds of which were used to

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\* Preliminary, subject to change

refinance the original facility at 5400 157<sup>th</sup> Street West in the City of Apple Valley, MN (the “Original Facility”), and with the Issuer’s \$18,130,000 Senior Housing Revenue Bonds (PHS Apple Valley Senior Housing, Inc. – Orchard Path Phase II Project) Series 2021 (the “Series 2021 Bonds”, and together with the Series 2018 Bonds and the Series 2025 Bonds, the “Bonds”), the proceeds of which were used to finance a 60-unit addition to the Original Facility. Pursuant to the Indenture, the Issuer will pledge to the Trustee, for the benefit of the holders of the Bonds (“Holders” or “Bondholders”), all of its interest in the Loan Agreement (other than certain indemnification, fee and expense reimbursement payments) to secure, on an equal and ratable basis, payment of the principal of, premium, if any, and interest on the Bonds. Pursuant to a Third Amended and Restated Mortgage, Security Agreement, Assignment of Leases and Rents, and Fixture Financing Statement, dated as of May 1, 2025 (the “Mortgage”), between the Borrower and the Trustee, the payment of the principal of and premium, if any, and interest on the Bonds will be secured, on an equal and ratable basis, by a first mortgage lien on and security interest in and an assignment of rents and leases with respect to the Project Facilities, subject to certain Permitted Encumbrances described in the Mortgage. See APPENDIX E: “SUMMARY OF DOCUMENTS AND CERTAIN DEFINITIONS - THE MORTGAGE” attached hereto.

### **Reserve Fund**

On the closing date for issuance and delivery of the Series 2025 Bonds, the Reserve Fund will be funded from Series 2025 Bond proceeds in an amount equal to \$\_\_\_\_\_, which, combined with amounts on deposit in the Reserve Fund, is the Reserve Requirement. The Reserve Fund may be used by the Trustee to pay principal of and interest on the Bonds in the event sums in the Bond Fund are insufficient for such purpose. The Borrower is required to restore amounts withdrawn from the Reserve Fund to the extent amounts therein fall below the Reserve Requirement, but is not required to restore a deficiency in the Reserve Fund resulting from investment losses so long as the Reserve Fund is invested in Qualified Investments.

### **The Series 2025 Bonds**

The Series 2025 Bonds are available in book-entry only form. See “THE SERIES 2025 BONDS – Book-Entry Only System” herein. So long as Cede & Co., as nominee of The Depository Trust Company, New York, New York (“DTC”), is the registered owner of the Series 2025 Bonds, references herein to the Bondholders or registered owners of the Series 2025 Bonds means Cede & Co. and not the beneficial owners of the Series 2025 Bonds.

The Series 2025 Bonds are issued in fully registered form without coupons in the denomination of \$5,000 principal amount or any integral multiple thereof not exceeding the principal amount maturing on any single date. See “THE SERIES 2025 BONDS” herein.

### **Bondholders’ Risks**

Certain risks associated with an investment in the Series 2025 Bonds are discussed under “BONDHOLDERS’ RISKS.”

### **Limited Obligations of the Issuer**

The Series 2025 Bonds are not general obligations of the Issuer and are not secured by the full faith and credit or taxing power of the Issuer. The Series 2025 Bonds are payable solely and exclusively from funds held by the Trustee pursuant to the Indenture or realized by the Trustee from enforcing its rights and remedies pursuant to the Loan Agreement, and the Mortgage.

## Capitalized Terms

Certain capitalized terms are defined in the text hereof. Any capitalized term not so defined is used herein with the same meaning assigned in APPENDIX E: “SUMMARY OF DOCUMENTS AND CERTAIN DEFINITIONS” hereto or as defined in the Indenture, the Loan Agreement or other document with respect to which such term is used.

## Continuing Disclosure

Continuing disclosure regarding the Series 2025 Bonds will be made public by the Borrower pursuant to undertakings set forth in the Continuing Disclosure Agreement to be entered into by the Borrower and UMB Bank, n.a. as dissemination agent, which undertakings are designed to be in compliance with Rule 15c2-12 under the Securities Exchange Act of 1934 (the “Rule”). For a more detailed discussion of the undertakings for continuing disclosure, see “CONTINUING DISCLOSURE” herein and APPENDIX G: “FORM OF CONTINUING DISCLOSURE AGREEMENT” attached hereto.

## Miscellaneous

This Official Statement and its appendices contain descriptions of, among other matters, the Issuer, the Project Facilities, the Borrower, the Series 2025 Bonds, the Loan Agreement, the Indenture, and the Mortgage. Such descriptions and information do not purport to be comprehensive or definitive. All references to documents described herein are qualified in their entirety by reference to such documents, copies of which are available from the Underwriter during the period of the offering of the Series 2025 Bonds, and thereafter, will be available for inspection (or, at the expense of the Bondholder, copying) at the corporate trust office of the Trustee in St. Louis, Missouri.

## BONDHOLDERS’ RISKS

No person should purchase any Series 2025 Bonds without carefully reviewing the following information, which summarizes some, but not all, of the factors that should be carefully considered before such purchase.

Certain risks are inherent in the operation of facilities such as the Project Facilities. Such risks should be considered in evaluating the Borrower’s ability to generate sufficient revenues to pay the principal of and interest on the Series 2025 Bonds when due. **This section discusses some of these risks but is not intended to be a comprehensive listing of all risks associated with the operation of the Project Facilities, the provision of services by the Borrower or the payment of the Series 2025 Bonds.**

## Limited Obligations of the Issuer

The Series 2025 Bonds are special, limited obligations of the Issuer, payable solely from the sources identified under the heading “SECURITY FOR THE SERIES 2025 BONDS” herein, and do not constitute an indebtedness or obligation of the Issuer. Neither the full faith and credit nor the taxing power of the Issuer or any other political subdivision is pledged to the payment of the principal of, premium, if any, or interest on the Series 2025 Bonds. As described herein under the caption “SECURITY FOR THE SERIES 2025 BONDS,” the Series 2025 Bonds are payable from the pledged funds held by the Trustee under the Indenture, including those funds derived from payments to be made by the Borrower under the Loan Agreement and from recourse against the Mortgaged Property (as defined in the Mortgage). Under certain limited circumstances the Series 2025 Bonds also may be

payable from the proceeds thereof or investment income thereon or, under certain circumstances, proceeds of insurance, sale or condemnation awards.

### **[Financial Forecast**

CliftonLarsonAllen LLP, independent certified public accountants, Minneapolis, Minnesota, has delivered a financial forecast of the Borrower for fiscal years 2025 through 2028 (the “Forecast”), and has issued their report thereon, a copy of which appears as APPENDIX B to this Official Statement. The Forecast is based on assumptions made by management of the Borrower which should be carefully reviewed. It should be noted, however, that the Forecast represents only an estimate of future events, and no assurances can be given that the Project Facilities will in fact be occupied at monthly rentals, maintain occupancy levels and attain operating efficiencies as stated in the Forecast. Accordingly, actual future revenues, expenses and operations of the Borrower will vary from such Forecast, and such variance may be material and adverse. Neither the Issuer nor the Underwriter have made independent inquiry as to the assumptions on which the forecasted financial statements are based. See “FINANCIAL FORECAST” herein and APPENDIX B to this Official Statement.][To be provided.]

### **Adequacy of Revenues; Failure to Maintain Occupancy**

The payment of principal of, premium, if any, and interest on the Series 2025 Bonds is intended to be made primarily from payments of the Borrower under the Loan Agreement. The ability of the Borrower to pay debt service on the Series 2025 Bonds is largely dependent upon its ability to attract significant numbers of residents, maintain occupancy and to charge and collect rental rates for the Project Facilities sufficient to pay operating expenses and debt service. Future revenues and expenses of the Project Facilities are subject to conditions which may change in the future to an extent that cannot be determined at this time. Such conditions may include the inability to generate adequate occupancy levels due to inadequate demand for residential units, uncompetitive rental rates or services, disadvantageous general or local economic conditions, inability to control expenses, delays in receiving payments from third party payers, government regulation, legislative changes and other factors.

Circumstances may occur, including but not limited to, insufficient demand for housing for the aged in the location of the Project Facilities, decreases in population or targeted demographic, increased tenant turnover and occupancy fluctuations due to tenant age and health, occupancy delay or decline because of a tenant’s need, hesitancy or inability to dispose of owner-occupied residences, deterioration of the Project Facilities, changes in expected primary market area of the Project Facilities and construction of competing projects for senior citizens or other more attractive living accommodations, which could adversely affect a sustained rate of occupancy. If the Project Facilities fail to achieve and maintain significant occupancy, there may be insufficient funds to service the Borrower’s debt and meet its other obligations.

### **Shifting Political Landscape for Senior Housing and Health Care in the U.S.**

Donald Trump was re-elected as the 47<sup>th</sup> President of the United States in the November 2024 Presidential election, marking a significant shift in the political landscape, with considerable implications for the senior housing and health care industry. For example, shifts in leadership at executive agencies such as the U.S. Department of Health and Human Services (“HHS”), the Centers for Medicare & Medicaid Services (“CMS”), and the Food and Drug Administration (“FDA”) and the creation of temporary executive commissions such as the Department of Government Efficiency, may create uncertainty for the senior housing industry and health care providers around regulatory priorities, Medicare and Medicaid reimbursement, and other funding upon which providers may rely. In addition,



the Trump administration's policies could involve new compliance requirements and auditing processes requiring additional investments in administrative systems and staff training. Policy initiatives during President Trump's first term as President included efforts to overturn key tenets of the Affordable Care Act, curtail the Medicaid program and deregulate the health care industry. Any renewed efforts to weaken or repeal the Affordable Care Act or to reduce federal expenditures to offset proposed tax cuts could lead to reduced Medicare and Medicaid reimbursement or federal funds otherwise available to health care providers, a rise in uninsured patients, and a corresponding financial strain on providers, particularly those serving low-income populations. Although the specifics of the senior housing and health care policies to be implemented under President Trump's administration remain to be seen, the effect of these policies on the Borrower's operations and finances could be material.

### **Pandemics or other Public Health Emergencies**

The occurrence of a public health emergency, including a pandemic similar in scope and severity to the COVID-19 pandemic, and governmental and public responses to such emergency, may directly or indirectly affect the operations and financial condition of senior housing facilities in a multitude of ways. There can be no assurance that a future pandemic or other public health emergency will not result in material adverse consequences to the operation and/or financial condition of the Borrower. The extent to which government stimulus and support or business interruption insurance would be available in connection with a pandemic or other public health emergency is fact dependent and there can be no assurance that any such coverage would be sufficient to cover losses.

A highly infectious disease outbreak could materially adversely affect the Borrower's business or financial condition in various ways, including but not limited to (1) reputational damage, (2) a quarantine or temporary shutdown, (3) professional or non-professional staff shortages, and (4) failure to maintain occupancy or turnover due to potential residents choosing to defer or avoid senior care. Governmental and commercial entity responses and resulting economic conditions may also directly or indirectly affect the Borrower's operations and revenues. For example, responses such as shelter-in-place orders, sick-leave mandates or remote work policies, could increase employee sick-leave expenses or other employee costs or otherwise materially adversely impact the Borrower's business in ways that are difficult to predict at this time. Management cannot predict the likelihood or severity of any of the aforementioned events upon the Borrower's business or financial condition, though such effects could be material and adverse.

### **General Economic Conditions and Financial Markets**

The U.S. economy is unpredictable. Economic downturns, inflation and other unfavorable economic conditions have previously impacted the health care and senior care industries and health care and senior care providers' business and financial condition. If general economic conditions further worsen, the Borrower may not be able to achieve or sustain future profitability, and its liquidity and ability to repay outstanding debt, including debt service on the Series 2025 Bonds, may be adversely affected.

Broad economic factors—such as inflation, unemployment rates, instabilities in consumer demand and consumer spending or instabilities in the housing market in the Project Facilities' area—could affect occupancy levels and the Borrower's ability to collect outstanding receivables. Other economic conditions that from time to time may adversely affect the Borrower's financial condition, and consequently, its ability to make payments on the Series 2025 Bonds, include but are not limited to: (1) an inability to access financial markets on acceptable terms at a desired time, (2) increased borrowing costs, (3) significant investment portfolio losses, (4) increased business failures and consumer and business bankruptcies, (5) federal and state budget challenges resulting in reduced or

delayed Medicare and Medicaid reimbursement, (6) a reduction in the demand for health care or senior care services, (7) an increase in lawsuits and increased malpractice and casualty insurance expenses, (8) reduced availability or affordability of insurance, (9) a shortage of physician, nursing or other professional personnel, (10) a shortage of medical supplies and skilled nursing beds, (11) increased operating costs, (12) a reduction in the receipt of grants and charitable contributions, (13) unfavorable demographic developments in the Borrower's service areas, (14) increased competition from other senior care or health care institutions, or (15) difficulties in extending existing or obtaining new liquidity facilities. Future financial market disruptions cannot be predicted and there can be no assurance that future financial disruptions will not materially or adversely affect the operations and financial condition of the Borrower.

### **General Risks of Long-Term Care Facilities**

There are many diverse factors not within the Borrower's control that have a substantial bearing on the risks generally incident to the operation of the Project Facilities. These factors include generally imposed fiscal policies; adverse use of adjacent or neighboring real estate; the ability to maintain the facilities; community acceptance of the facilities; changes in demand for the facilities; changes in the number of competing facilities; increases in the availability or improvements in the level of in-home care and the advancement of emerging technologies; telehealth; changes in the costs of operation of the facilities; changes in state laws affecting long term care programs; potential federal law changes; the limited income of the elderly; changes in the long term care and health care industries; difficulties in or restrictions on the Borrower's ability to raise rates charged; general economic conditions; and the availability of working capital. In recent years, a number of long-term care facilities throughout the United States have defaulted on various financing obligations or otherwise have failed to perform as originally expected. There can be no assurance the Borrower will not experience one or more of the adverse factors that caused other facilities to struggle or fail. Many other factors may adversely affect the operation of the facilities like the Project Facilities and cannot be determined at this time.

### **Regulatory Matters**

Various health and safety regulations and statutes apply to senior housing facilities and are administered and enforced by various state agencies. Violations of certain health and safety standards could result in closure of all or a portion of such facilities or imposition of other sanctions. The Borrower believes that the Project Facilities are and will be in compliance with all existing material regulations and standards. Such standards are, however, subject to change and there can be no guarantee that in the future the Project Facilities will meet these changed standards or that the Borrower will not be required to expend significant sums in order to comply with such changed standards.

### **Competition**

The Borrower may face competition for the Project Facilities from other existing senior housing, assisted living or memory care facilities in the market area, and may face additional competition in the future if and when new facilities are constructed or existing facilities are renovated. No assurances can be given that occupancy of the Project Facilities will not be adversely affected by the availability of other senior housing, assisted living or memory care facilities in the service area of the Project Facilities and elsewhere, including other such facilities that the Borrower's affiliates may operate.

### **Changing Capabilities of Home Health Care Technology; Impact on Demand for Facilities**

New and changing methods of care delivery, such as web-based home monitoring, telemedicine, mobile health, and smartphone technology will continue to rapidly change the way in which providers of health services provide services to individuals, including seniors. Changes in the delivery of behavioral health services, home health services, memory support services, personal care services and other community-based services have occurred, and will likely continue to occur, due to the increased use of health care technology tools. The advent of “telehealth”, which refers to a wide category of technology that helps provide connected care services through mobile phones, computers and tablets, for example, allows patients to remain in the safety of their homes while still receiving the care they need. These and other developments will further the ability of the home health and personal care services industry to care for patients in their homes. Proliferation and availability of technological changes are expected to increase the ability of seniors to remain in their homes longer into their lives than has historically been feasible, which could result in significantly reduced demand for facilities such as the Project Facilities. Efforts to reduce hospital readmissions and costs in the overall care continuum will further the use of these new and changing technologies. These changes may allow other companies, including hospitals and other health care organizations that are not currently providing home health and personal care, to expand their services to include home health services, personal care or similar services. The Borrower may encounter increased competition in the future that could negatively impact occupancy, limit their ability to maintain or increase their market position and adversely affect the Borrower’s profitability.

### **Loss of Market Premium from Early Redemption**

Any person who purchases a Series 2025 Bond should consider the fact that, under certain circumstances, the Series 2025 Bonds are subject to redemption prior to maturity at a redemption price equal to 100% of the principal amount of the Series 2025 Bonds, plus accrued interest to the redemption date, and without premium, which redemption price may be more or less than the market price of the Series 2025 Bonds at such time.

### **Taxation of the Series 2025 Bonds**

The exclusion of interest on the Series 2025 Bonds from gross income for federal income tax purposes depends on, among other things, the continued status of the Borrower as a nonprofit charitable organization described in Section 501(c)(3) of the Code (a “Tax Exempt Organization”). The Borrower has received a determination letter from the Internal Revenue Service (the “IRS”) recognizing it as a Tax Exempt Organization. However, such status might be revoked, and perhaps retroactively, for material noncompliance with factual representations made in the respective applications for such recognition.

Moreover, the ongoing tax-exempt status of interest on the Series 2025 Bonds is conditioned, under relevant provisions of the Code, on compliance by the Borrower with various requirements set forth, inter alia, in Section 145 of the Code, requiring, among other things, that the Project Facilities be owned throughout the term of the Series 2025 Bonds by a governmental unit or a Tax Exempt Organization and that not more than five percent (5%) of the proceeds of the Series 2025 Bonds (inclusive of proceeds applied to defray issuance costs) be applied to any “private business use,” any use that would be characterized as an “unrelated trade or business,” or other uses inconsistent with the charitable purposes of the Borrower as a Tax Exempt Organization, all as further provided in applicable statutes, regulations, rulings and decisions. Additional provisions of Section 145 and related Sections (including Sections 147 and 148) of the Code also require, inter alia, that the weighted average maturity of the Series 2025 Bonds not exceed 120% of the remaining useful economic life of the facilities financed thereby, and that certain “arbitrage profits” generated from the investment of proceeds of the Series 2025 Bonds or other moneys must be periodically rebated to the United States Treasury. Failure to comply with any of such tax requirements could result in the loss of the tax-exempt status of interest on the Series 2025 Bonds to the owners thereof, and such interest could become taxable to such owners retroactive to

the date of issuance of the Series 2025 Bonds. For a description of the consequences of a Determination of Taxability, see “THE SERIES 2025 BONDS – Redemption Prior to Maturity - Mandatory Redemption Upon Determination of Taxability” herein.

In addition, there can be no assurance that the present advantageous provisions of the Code, or the rules and regulations thereunder, will not be retroactively adversely amended or modified, thereby resulting in the inclusion in gross income of the interest on the Series 2025 Bonds for federal income tax purposes or otherwise eliminating or reducing the benefits of the present advantageous tax treatment of the Series 2025 Bonds. While no such legislation has been adopted, there can be no assurance that Congress would not adopt legislation applicable to the Series 2025 Bonds or to the Borrower and that the Project Facilities would be able to comply with any such future legislation in a manner necessary to maintain the tax-exempt status of the Series 2025 Bonds.

### **Value of Mortgaged Property**

Security for the Bonds includes a first mortgage lien on and security interest in and an assignment of rents and leases with respect to the Project Facilities, subject to certain Permitted Encumbrances. Attempts to foreclose under the Mortgage may be met with protracted litigation and/or bankruptcy proceedings, which proceedings cause delays. See “ENFORCEABILITY OF OBLIGATIONS” herein. Thus, there can be no assurance that upon the occurrence of an Event of Default, the Trustee will be able to obtain possession of the Project Facilities and generate revenue therefrom in a timely fashion. Furthermore, there can be no assurance that proceeds derived from the sale of the Project Facilities upon default and foreclosure of the Mortgage would be sufficient to pay all Bonds and accrued interest.

### **Cybersecurity**

The Borrower relies on computer systems and technologies to conduct many of its operations. Despite security measures, policies and training, the Borrower may be vulnerable to attacks by outside or internal hackers, or breached by employee error, negligence or malfeasance. Any such breach or attack could result in a disruption in the efficiency of the services provided by the Borrower, thereby affecting its revenues. The Borrower routinely monitors and tests the security of its information technology (“IT”) systems and implements appropriate security measures. However, IT systems are often subject to computer viruses, cyber-attacks by hackers or breaches due to employee error or malfeasance. Cyber-attacks specifically targeting health care providers have been occurring more frequently, and in some cases, have resulted in the interruption or temporary cessation of services.

Any breach or cyber-attack that compromises patient or resident data could result in negative press and substantial fines or penalties for violation of federal or state privacy laws that may harm the Borrower’s business or financial condition. In addition to regulatory fines and penalties, entities subject to the breaches may be liable for the costs of remediating the breaches, damages to individuals (or classes) whose information has been breached, reputational damage and business loss and damage to IT infrastructure. Although management believes that the security protocols in place in connection with the Borrower’s IT systems are in compliance with current business practices and standards, such security measures may not be sufficient to prevent cyber-attacks in the future. As cybersecurity threats continue to evolve, the Borrower may not be able to anticipate certain attack methods in order to implement effective protective measures and may be required to expend significant additional resources to continue to modify and strengthen security measures, investigate and remediate any vulnerabilities, or invest in new technology designed to mitigate security risks. Additionally, the Borrower’s IT systems routinely interface with and rely on third party systems who are also subject to the risks outlined above and may not have or use appropriate controls to protect confidential information. A breach or attack affecting a third-party service provider could harm the Borrower’s business or financial condition. Although the Borrower

has insurance against some cyber risks and attacks, it may not be sufficient to offset the impact of a material loss event.

### **Corporate Affiliations**

The assets and revenues of the Borrower are derived exclusively from the Project Facilities. The Borrower has many corporate affiliates, but none of them has any responsibility for payment of the Series 2025 Bonds. The properties of such other affiliates are subject to separate and unrelated financing arrangements. Property or funds transferred to affiliates will not be available for payment of amounts owing with respect to the Series 2025 Bonds. For information with respect to affiliates of the Borrower, see APPENDIX A.

### **Internal Revenue Service Tax-Exempt Bond Program**

The Internal Revenue Service has established a Tax-Exempt and Government Entities Division (the “TE/GE Division”). The TE/GE Division has a subdivision that is specifically devoted to tax-exempt bond compliance. The Internal Revenue Service has an active program of conducting examinations of tax-exempt bonds, such as the Series 2025 Bonds. In recent years, the number of Internal Revenue Service tax-exempt bond examinations has increased, and public statements made by individual Internal Revenue Service officials indicate that the number of Internal Revenue Service examinations of tax-exempt bonds may increase in the future. Internal Revenue Service officials have recently indicated that more resources will be invested in audits of tax-exempt bonds in the charitable organization sector with specific review of private use. No assurance can be given that the Internal Revenue Service will not examine the Series 2025 Bonds. Any IRS examination could have an adverse impact on the marketability and price of the Series 2025 Bonds.

### **Environmental Matters**

The operation of the Project Facilities may be adversely affected by legislative, regulatory, administrative and enforcement action involving environmental controls. For example, if the land on which the Project Facilities are located was determined to be contaminated by hazardous materials, the Borrower could be liable for clean-up costs, which could be significant, even if it were not responsible for the contamination.

**[At the request of the Borrower, Braun Intertec Corporation prepared an updated Phase I environmental site assessment of the Project Facilities to include the 2025 Addition (the “Phase I”) dated \_\_\_\_\_ [Is Phase I only on the 2025 Addition since the land for this project is in a separate location?] which did not identify any recognized environmental conditions with respect to the Project Facilities. A copy of the Phase I can be obtained from the Underwriter during the period of the offering of the Series 2025 Bonds]**

There can be no assurance that the Borrower will not encounter environmental risks in the future, and such risks may result in material adverse consequences to the operations or financial condition of the Borrower.

### **Construction Risk**

The Borrower anticipates that the proceeds from the Series 2025 Bonds will be sufficient to complete the 2025 Addition. The 2025 Addition is subject to the risks associated with all construction projects, including, but not limited to, delays in issuance of required building permits or other necessary approvals or permits, strikes, labor disputes, shortages of materials and/or labor, transportation delays,

restrictions related to endangered species, adverse weather conditions, fire, hurricanes, floods, casualties, acts of God, war, acts of public enemies, terrorism, orders of any kind of federal, state, county, city or local government, insurrections, riots, adverse conditions not reasonably anticipated or other causes beyond the control of the Borrower or its contractors.

Although the Borrower believes it has accurately estimated the costs of the 2025 Addition, costs overruns may occur due to change orders, various delays and other factors. Should the Borrower experience cost overruns, the Borrower could be forced to rely more heavily on its cash reserves; borrow additional funds; or delay or recast project development, all of which could negatively impact the operations of the Borrower. It is possible that the federal government may impose new, or increase existing, tariffs on imported goods, which could materially increase the costs of the 2025 Addition.

As with all major construction projects, the Borrower must obtain various licenses, permits, or approvals from governmental agencies, both for construction work and to operate various portions of the 2025 Addition after completion. Applications for certain approvals may not be made until certain detailed plans have been prepared or construction is completed. In some cases, approvals may only involve an administrative review to ensure compliance with approvals already obtained or payment of a fee and in other cases approvals may involve the exercise of discretion by governmental authorities. The Borrower has obtained all necessary building permits to allow it to commence the 2025 Addition. However, any revocation of permits, or delays in the receipt of any permits required later in the process, or the occurrence of such other events described in the previous paragraphs, could result in the failure to construct the 2025 Addition within the timeframes forecasted by the Borrower, and thereby delay occupancy of the 2025 Addition beyond the dates forecasted by the Borrower. Any such delays could also increase the level of expenditures for the 2025 Addition and could materially impact the financial, occupancy and operating projections set forth in the Financial Forecast set forth in **APPENDIX B** hereto.

### **Damage or Destruction**

Although the Borrower will be required to obtain certain insurance as set forth in the Mortgage, there can be no assurance that the Borrower will not suffer losses for which insurance cannot be or has not been obtained or that the amount of any such loss, or the period during which the Project Facilities cannot generate revenues, will not exceed the coverage of such insurance policies.

### **Additional Debt; Dilution**

The Loan Agreement permits the Borrower to incur additional Long-Term Debt relating to the Project Facilities subject to certain limitations, but no additional indebtedness, other than Additional Bonds, can be secured by a lien on the Project Facilities superior to or on a parity with the lien of the Mortgage securing the Bonds. The incurrence of any additional debt (secured or unsecured) would increase the aggregate debt service requirements of the Borrower and could materially and adversely affect the Borrower's operating viability and ability to meet its payment and covenant obligations on the Bonds. See APPENDIX E: "SUMMARY OF DOCUMENTS AND CERTAIN DEFINITIONS – THE LOAN AGREEMENT - Additional Indebtedness" attached hereto.

### **Effect of Bankruptcy on Security for the Series 2025 Bonds**

Bankruptcy proceedings and equity principles may delay or otherwise adversely affect the enforcement of bondholders' rights in the property granted as security for the Bonds. Remedies under the Mortgage and the Indenture under existing law may not be readily available or may be limited. Furthermore, if the security for the Bonds is inadequate for payment in full of the Bonds, bankruptcy proceedings and usual equity principles may also limit any attempt by the Trustee to seek payment from

other property of the Borrower, if any. See “ENFORCEABILITY OF OBLIGATIONS” herein. Also, federal bankruptcy law permits adoption of a reorganization plan even though it has not been accepted by the Holders of a majority in aggregate principal amount of the Bonds, if the Bondholders are provided with the benefit of their original lien or the “indubitable equivalent.” In addition, if the bankruptcy court concludes that the Bondholders have “adequate protection,” it may (i) substitute other security for the security granted in favor of the Bondholders under the Mortgage and the Indenture, and (ii) subordinate the lien of the Bondholders (a) to claims by persons supplying goods and services to the Borrower after bankruptcy, and (b) to the administrative expenses of the bankruptcy proceeding. The bankruptcy court may also have the power to invalidate certain provisions of the Loan Agreement and the Mortgage that make bankruptcy and related proceedings, by or with respect to the Borrower, an Event of Default thereunder.

### **No Rating**

An investment in the Series 2025 Bonds involves a high degree of risk. Accordingly, the Series 2025 Bonds have no credit rating. Typically, nonrated bonds lack liquidity in the secondary market in comparison with rated bonds. As a result of the foregoing, the Series 2025 Bonds are believed to bear interest at higher rates than would prevail for bonds with comparable maturities and redemption provisions that have investment grade credit ratings. Nevertheless, Series 2025 Bonds should not be purchased by any investor who, because of financial condition, is unable to bear a loss on an investment in the Series 2025 Bonds, or who, because of investment policies or otherwise, does not desire to assume, or have the ability to bear, the high degree of risk inherent in an investment in bonds.

### **Secondary Market and Prices**

The Underwriter will not be obligated to repurchase any of the Series 2025 Bonds, and no representation is made concerning the existence of any secondary market for the Series 2025 Bonds. No assurance can be given that any secondary market will develop following the completion of the offering of the Series 2025 Bonds contemplated by this Official Statement, and no assurance can be given that the Series 2025 Bonds can be resold at their initial offering prices or at all for any period of time.

## **THE SERIES 2025 BONDS**

### **General**

The Issuer is issuing its Senior Housing Revenue Bonds (PHS Apple Valley Senior Housing, Inc. – Orchard Path Phase III Project) Series 2025.

### **Book-Entry Only System**

The Series 2025 Bonds will be available in book-entry form only in the principal amount of \$5,000 and any integral multiple thereof. Purchasers of the Series 2025 Bonds will not receive certificates representing their interests in the Series 2025 Bonds purchased.

The Depository Trust Company (“DTC”), New York, New York, will act as securities depository for the Series 2025 Bonds. The Series 2025 Bonds will be issued as fully-registered securities registered in the name of Cede & Co. (DTC’s partnership nominee) or such other name as may be requested by an authorized representative of DTC.

DTC, the world’s largest depository, is a limited-purpose trust company organized under the New York Banking Law, a “banking organization” within the meaning of the New York Banking Law, a

member of the Federal Reserve System, a “clearing corporation” within the meaning of the New York Uniform Commercial Code, and a “clearing agency” registered pursuant to the provisions of Section 17A of the Securities Exchange Act of 1934. DTC holds and provides asset servicing for over 2.2 million issues of U.S. and non-U.S. equity, corporate and municipal debt issues, and money market instrument from over 100 countries that DTC’s participants (“Direct Participants”) deposit with DTC. DTC also facilitates the post-trade settlement among Direct Participants of sales and other securities transactions in deposited securities through electronic computerized book-entry transfers and pledges between Direct Participants’ accounts. This eliminates the need for physical movement of securities certificates. Direct Participants include both U.S. and non-U.S. securities brokers and dealers, banks, trust companies, clearing corporations, and certain other organizations. DTC is a wholly-owned subsidiary of The Depository Trust & Clearing Corporation (“DTCC”). DTCC, in turn, is owned by a number of Direct Participants of DTC and Members of the National Securities Clearing Corporation, Fixed Income Clearing Corporation and Emerging Markets Clearing Corporation (NSCC, FICC, and EMCC, also subsidiaries of DTCC), as well as by the New York Stock Exchange, Inc., the American Stock Exchange LLC, and the National Association of Securities Dealers, Inc. Access to the DTC system is also available to others such as both U.S. and non-U.S. securities brokers and dealers, banks, and trust companies, and clearing corporations that clear through or maintain a custodial relationship with a Direct Participant, either directly or indirectly (“Indirect Participants”). DTC has Standard & Poor’s highest rating: AAA. The DTC Rules applicable to its Participants are on file with the Securities and Exchange Commission. More information about DTC can be found at [www.dtcc.com](http://www.dtcc.com) and [www.dtc.org](http://www.dtc.org).

Purchases of Series 2025 Bonds under the DTC system must be made by or through Direct Participants, which will receive a credit for the Series 2025 Bonds on DTC’s records. The ownership interest of each actual purchaser of each Bond (“Beneficial Owner”) is in turn to be recorded on the Direct and Indirect Participants’ records. Beneficial Owners will not receive written confirmation from DTC of their purchase, but Beneficial Owners are expected to receive written confirmations providing details of the transaction, as well as periodic statements of their holdings, from the Direct or Indirect Participant through which the Beneficial Owner entered into the transaction. Transfers of ownership interests in the Series 2025 Bonds are to be accomplished by entries made on the books of Direct and Indirect Participants acting on behalf of Beneficial Owners. Beneficial Owners will not receive certificates representing their ownership interests in the Series 2025 Bonds, except in the event that use of the book-entry system for the Series 2025 Bonds is discontinued.

To facilitate subsequent transfers, all bonds deposited by Direct Participants with DTC are registered in the name of DTC’s partnership nominee, Cede & Co., or such other name as may be requested by an authorized representative of DTC. The deposit of the Series 2025 Bonds with DTC and their registration in the name of Cede & Co. or such other nominee do not effect any change in beneficial ownership. DTC has no knowledge of the actual Beneficial Owners of the Series 2025 Bonds; DTC’s records reflect only the identity of the Direct Participants to whose accounts such Series 2025 Bonds are credited, which may or may not be the Beneficial Owners. The Direct and Indirect Participants will remain responsible for keeping account of their holdings on behalf of their customers.

Conveyance of notices and other communications by DTC to Direct Participants, by Direct Participants to Indirect Participants, and by Direct Participants and Indirect Participants to Beneficial Owners will be governed by arrangements among them, subject to any statutory or regulatory requirements as may be in effect from time to time.

Redemption notices shall be sent to DTC. If less than all of the Series 2025 Bonds within an issue are being redeemed, DTC’s practice is to determine by lot the amount of the interest of each Direct Participant in such issue to be redeemed.



Neither DTC nor Cede & Co. (nor such other DTC nominee) will consent or vote with respect to the Series 2025 Bonds unless authorized by a Direct Participant in accordance with DTC's Procedures. Under its usual procedures, DTC mails an Omnibus Proxy to the Issuer as soon as possible after the record date. The Omnibus Proxy assigns Cede & Co.'s consenting or voting rights to those Direct Participants to whose accounts the Series 2025 Bonds are credited on the record date (identified in a listing attached to the Omnibus Proxy).

Redemption proceeds, distributions, and dividend payments on the Series 2025 Bonds will be made to Cede & Co., or such other nominee as may be requested by an authorized representative of DTC. DTC's practice is to credit Direct Participants' accounts, upon DTC's receipt of funds and corresponding detail information from the Issuer or the Trustee on the payable date in accordance with their respective holdings shown on DTC's records. Payments by Participants to Beneficial Owners will be governed by standing instructions and customary practices, as is the case with securities held for the accounts of customers in bearer form or registered in "street name," and will be the responsibility of such Participant and not of DTC, the Trustee or the Issuer, subject to any statutory or regulatory requirements as may be in effect from time to time. Payment of redemption proceeds, distributions, and dividend payments to Cede & Co. (or such other nominee as may be requested by an authorized representative of DTC) is the responsibility of the Issuer or the Trustee, disbursement of such payments to Direct Participants shall be the responsibility of DTC, and disbursement of such payments to the Beneficial Owners shall be the responsibility of Direct and Indirect Participants.

DTC may discontinue providing its services as securities depository with respect to the Series 2025 Bonds at any time by giving reasonable notice to the Issuer or the Trustee. Under such circumstances, in the event that a successor securities depository is not obtained, Bond certificates are required to be printed and delivered.

The Issuer may decide to discontinue use of the system of book-entry-only transfers through DTC (or a successor securities depository). In that event, Bond certificates will be printed and delivered to DTC.

The information in this section concerning DTC and DTC's book-entry system has been obtained from sources that the Issuer believes to be reliable, but the Issuer takes no responsibility for the accuracy thereof.

### **Interest Rate; Maturity; Payment**

The Series 2025 Bonds will mature on such dates and bear interest at the rates set forth on the inside front cover hereof. Interest on the Series 2025 Bonds is payable semiannually on March 1\* and September 1\* (each an "Interest Payment Date") of each year commencing September 1, 2025\*. Principal of the Series 2025 Bonds will be payable each [September] 1\*, commencing on [**September 1, 20\_\_**]\*.

The Series 2025 Bonds will be issued as fully registered bonds without interest coupons in the denomination of \$5,000 or whole multiples thereof not exceeding the principal amount maturing on any single date. Principal of, premium, if any, and interest on the Series 2025 Bonds will be payable by the Trustee to Cede & Co. so long as it is the registered owner of the Series 2025 Bonds.

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\* Preliminary, subject to change

## Exchange; Transfer

Subject to the procedures of the book-entry only system, the Series 2025 Bonds are transferable and exchangeable for other Authorized Denominations only upon the bond registration books of the Trustee and only upon presentation and surrender of such Series 2025 Bonds, together with an executed assignment or other acceptable transfer instrument, subject to the payment of any cost tax or charge that may be imposed in connection therewith, Series 2025 Bonds which have been called for redemption are not required to be transferred or exchanged by the Trustee.

## Additional Bonds

Additional Bonds may be issued under the Indenture in certain circumstances as more fully described in APPENDIX E: “SUMMARY OF DOCUMENTS AND CERTAIN DEFINITIONS - THE INDENTURE - Additional Bonds.”

## Redemption Prior to Maturity

Optional Redemption. The Series 2025 Bonds maturing after September 1, 20\_\_\* are subject to optional redemption and prepayment, upon request of the Borrower, prior to maturity in whole or in part on any Business Day on or after September 1, 20\_\_\*, in such order of maturities as shall be selected by the Borrower and by lot within a maturity, at par, plus accrued interest thereon to the redemption date, plus a premium, expressed as a percentage of the principal amount of the Series 2025 Bonds to be redeemed, as shown in the table below:

<u>Redemption Date</u>	<u>Redemption Premium</u>
September 1, 20__ through August 31, 20__	[2]%
September 1, 20__ through August 31, 20__	[1]%
September 1, 20__ and thereafter	0

Scheduled Mandatory Redemption. The Series 2025 Term Bonds are subject to mandatory redemption in part, prior to maturity at their principal amount (or such portion thereof as is redeemed as provided for below), without premium, plus accrued interest thereon to such redemption date, on September 1\* of the years and in the amounts described below (the “Mandatory Redemption Schedule”), subject to pro rata reduction (as further described below).

### Series 2025 Term Bonds Due September 1, 20\_\_

<u>Sinking Fund Installment</u> <u>Date (September 1)</u>	<u>Principal</u> <u>Amount</u>	<u>Sinking Fund Installment</u> <u>Date (September 1)</u>	<u>Principal</u> <u>Amount</u>
	\$	(maturity)	\$

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\* Preliminary, subject to change

**Series 2025 Term Bonds Due September 1, 20\_\_**

<u>Sinking Fund Installment</u> <u>Date (September 1)</u>	<u>Principal</u> <u>Amount</u>	<u>Sinking Fund Installment</u> <u>Date (September 1)</u>	<u>Principal</u> <u>Amount</u>
	\$	(maturity)	\$

The Borrower may, at its option, to be exercised on or before the forty-fifth (45th) day next preceding any date specified in the Mandatory Redemption Schedule set forth above, deliver to the Trustee written notice, which will specify a principal amount of such Series 2025 Bonds delivered to the Trustee therewith, or previously redeemed or purchased and canceled, and instruct the Trustee to apply the principal amount of such Series 2025 Bonds so delivered for credit against the principal installments to be prepaid pursuant to the Mandatory Redemption Schedule. Each such Bond so delivered or previously redeemed or purchased and canceled will be credited by the Trustee in chronological order at 100% of the principal amount thereof against the next succeeding and future principal installments to be prepaid pursuant to the Mandatory Redemption Schedule.

Upon any redemption in part of any of the Series 2025 Bonds from funds other than those attributable to Mandatory Redemption Payments, the principal amount of such Series 2025 Bonds redeemed will be credited against each remaining Mandatory Redemption Payment for such Bond in multiples of \$5,000 principal amount as directed by the Borrower.

Extraordinary Redemption Upon Certain Events. The Series 2025 Bonds are subject to redemption prior to maturity on the next succeeding Interest Payment Date for which timely notice of call can be given at a redemption price equal to the principal amount thereof, plus accrued interest to the redemption date, without premium, in the event of termination of the Loan Agreement by the Borrower upon the occurrence of any of the following: (i) if the Project Facilities shall have been damaged or destroyed to such extent that in the reasonable judgment of the Borrower it is not practicable or desirable to rebuild, repair or restore the Project Facilities, or (ii) if any material part of the Project Facilities is condemned, or such use or control is taken by eminent domain, so as to render the Project Facilities unsatisfactory to the Borrower for continued operation.

Mandatory Redemption Upon Determination of Taxability. The Series 2025 Bonds are subject to mandatory redemption in the event a Determination of Taxability shall be made with respect to such series of Series 2025 Bonds. In such event, each of the outstanding Series 2025 Bonds with respect to which a Determination of Taxability has been made shall be subject to mandatory redemption and shall be redeemed on a Business Day occurring within forty-five (45) days after notice to the Borrower of the Determination of Taxability. The Borrower shall cause notice of redemption pursuant to the Indenture to be given to the Holders of the Series 2025 Bonds affected, as more fully provided in Section 4.07(e) of the Loan Agreement, at a redemption price equal to par, plus accrued interest, plus a premium equal to three percent (3%) of the principal amount of the Series 2025 Bonds redeemed.

A Determination of Taxability may not occur for a substantial period of time after interest first becomes includable in the gross income of owners of the Series 2025 Bonds. In such event, tax liability of Holders of the Series 2025 Bonds may occur in years for which interest was received on the Series

2025 Bonds and for which the relevant statute of limitations has not yet run, furthermore, owners of Series 2025 Bonds will not receive any additional interest, premium or other payment to compensate them for federal income taxes, interest on such taxes or penalties which may be assessed with respect to such interest other than the premium described above. See “TAX MATTERS” and “BONDHOLDERS’ RISKS – Maintenance of Tax-Exempt Status” herein.

### **Notice of Redemption**

The Trustee is required to cause notice of the call for any redemption to be mailed to the then owner of each Series 2025 Bond to be redeemed, by first class mail, not less than 30 days prior to the redemption date. If required by law, the Trustee shall publish any notice of redemption. Failure to mail or any defect in any such notice shall not affect the validity of any proceedings for the redemption of any Series 2025 Bond. Such notice of redemption may be conditional and may be canceled upon delivery by the Trustee to Bondholders of a notice of such cancellation mailed by first class mail to each registered Holder prior to the date set for redemption.

In the case of an optional redemption, the notice of redemption may state (i) that it is conditioned upon the deposit of moneys, in an amount equal to the amount necessary to effect the redemption, with the Trustee no later than three (3) Business Days prior to the redemption date or (ii) that the Borrower retains the right to rescind such notice on or prior to three (3) Business Days prior to the scheduled redemption date (in either case, a “Conditional Redemption”), and such notice and optional redemption shall be of no effect if such monies are not so deposited or if the notice is rescinded as described in this paragraph. Any Conditional Redemption may be rescinded (in whole or in part) at any time prior to the third (3rd) Business Day prior to the redemption date if the Borrower delivers a Borrower Certificate to the Trustee instructing the Trustee to rescind the redemption notice. The Trustee shall give prompt notice of such rescission to the affected Bondholders. Any Series 2025 Bonds subject to Conditional Redemption where redemption has been rescinded shall remain Outstanding, and the rescission shall not constitute an Event of Default.

### **Selection of Bonds to be Redeemed**

In the case of any optional partial redemption, the Series 2025 Bonds must be redeemed in integral multiples of principal amounts of \$5,000, in the amounts and of the maturities designated by the Borrower and by lot or other random means within a maturity and each Series 2025 Bond having a principal amount greater than \$5,000 being treated as if each portion equal to \$5,000 was a separate Series 2025 Bond.

### **Acceleration**

Upon an Event of Default relating to the Series 2025 Bonds under the Indenture, all Series 2025 Bonds are subject to acceleration and prepayment on any date selected by the Trustee at their principal amount, plus accrued interest.

## **SECURITY FOR THE SERIES 2025 BONDS**

### **Limited Obligations; No Pledge of Taxing Authority**

The Series 2025 Bonds will be limited obligations of the Issuer and will not constitute or give rise to a pecuniary liability of the Issuer or the State of Minnesota or a charge against their general credit or taxing powers. No Bondholder will have the right to demand payment of the principal of, premium, if any, or interest on the Series 2025 Bonds out of any funds to be raised from taxation or from any sources

of revenue other than those expressly pledged to the payment of the Series 2025 Bonds pursuant to the Indenture.

### **Parity with Series 2018 Bonds and Series 2021 Bonds**

Pursuant to the Indenture, the Series 2025 Bonds are being issued as Additional Bonds and will be secured by the Indenture and payable equally and ratably on a parity with the Series 2018 Bonds and the Series 2021 Bonds and, as described below, will be secured equally and ratably by the Mortgage. The Series 2018 Bonds, the Series 2021 Bonds, and the Series 2025 Bonds are sometimes referred to herein as the “Bonds”.

### **Assignment of Loan Agreement**

Under the Indenture, the Issuer has pledged its interest in the Loan Agreement (including the payments payable thereunder to the Issuer by the Borrower, but excluding certain rights to payment of fees, expenses and indemnification) to the Trustee to secure the Bonds. Payments under the Loan Agreement will be paid directly to the Trustee and will be sufficient, if paid promptly and in full, to pay all principal of, premium, if any, and interest on the Bonds as the same becomes due at maturity, upon redemption and prepayment, or otherwise. The Trustee is authorized to exercise the rights of the Issuer and enforce the obligations of the Borrower under the Loan Agreement.

### **Mortgage**

Under the Mortgage, the Borrower has granted, and will grant with respect to the 2025 Addition, to the Trustee a first mortgage lien on and security interest in and an assignment of rents and leases in the Project Facilities to secure the payment of the principal of and interest on the Bonds. The Mortgage will be subject to certain Permitted Encumbrances, and will contain provisions permitting the partial release of Mortgaged Property, as described in the Mortgage. See APPENDIX E: “SUMMARY OF DOCUMENTS AND CERTAIN DEFINITIONS – THE MORTGAGE” attached hereto.

### **Reserve Fund**

On the closing date for issuance and delivery of the Series 2025 Bonds, the Reserve Fund will be funded from Series 2025 Bond proceeds in an amount equal to \$\_\_\_\_\_, which, combined with amounts on deposit in the Reserve Fund, is the Reserve Requirement. The Reserve Fund may be used by the Trustee to pay principal of and interest on the Bonds in the event sums in the Bond Fund are insufficient for such purpose. The Borrower is required to restore amounts withdrawn from the Reserve Fund to the extent amounts therein fall below the Reserve Requirement but is not required to restore a deficiency in the Reserve Fund resulting from investment losses so long as the Reserve Fund is invested in Qualified Investments.

### **Project Fund**

On the Closing Date, with respect to the Series 2025 Bonds, the Trustee shall deposit \$\_\_\_\_\_ from proceeds of the Series 2025 Bonds into the Project Fund to finance the acquisition, construction and equipping of the 2025 Addition. On such Closing Date, the Trustee shall also deposit \$\_\_\_\_\_ from proceeds of the Series 2025 Bonds into the Project Fund for the purpose of paying capitalized interest on the Series 2025 Bonds. The Trustee shall use money in the Project Fund solely to pay (a) costs of the completion of the 2025 Addition upon receipt of a requisition therefor from the Borrower or (b) interest accruing on the Series 2025 Bonds as provided in the Indenture.

## **Repair and Replacement Fund**

The Indenture establishes a Repair and Replacement Fund to be used to make capital improvements properly chargeable to the capital account of the Project Facilities upon requisition submitted by the Borrower to the Trustee as needed. Pursuant to the Loan Agreement, the Borrower currently transmits monthly to the Trustee an amount equal to \$7,379 (1/12 of \$350 per unit per year) for deposit into the Repair and Replacement Fund. Commencing October 15, 2028, the Borrower is required to increase the monthly deposits to an amount equal to \$9,567 for deposit into the Repair and Replacement Fund until the amount held in that fund is \$\_\_\_\_\_. Upon any disbursement of funds from the Repair and Replacement Fund, except as otherwise provided in the Loan Agreement, the Borrower shall be required to replenish the amount so disbursed by making monthly deposits of one twelfth of the amount disbursed, commencing immediately, until the balance in the Repair and Replacement Fund equals \$\_\_\_\_\_.

## **Management of Project Facilities**

The Project Facilities are managed by PHS Management, LLC (the “Manager”), an affiliate of the Borrower. Pursuant to a Management Agreement, dated May 10, 2016, between the Borrower and the Manager, the Manager provides management services for the Project Facilities, including but not limited to finance and accounting, human resources, information systems, operating policies and supervision of on-site personnel. The Management Agreement’s initial ten-year term expires on May 10, 2026.][Borrower to confirm that this has not been extended or otherwise modified. At the end of the initial term, the Management Agreement will automatically renew on the same terms and conditions for an additional five years, unless terminated by either the Borrower or the Manager upon ninety days’ written notice. As compensation for its services, the Manager will receive management fees equal to five percent (5.00%) of total operating income (as defined in the management contract) for the management of the Project Facilities. Management fees are calculated monthly and are payable each month in arrears after the Manager delivers to the Borrower a monthly report showing the calculation of the management fees for the preceding month.

## **Special Covenants**

Lease or Sale of Project Facilities. The Borrower may sell or lease all or any part of the Project Facilities to a Tax Exempt Organization or enter into an agreement for the management or use of the Project Facilities so long as (i) no such sale, lease or agreement shall be inconsistent with the provisions of the Loan Agreement, the Indenture, the Mortgage or Minnesota Statutes, Chapter 462C, as amended (the “Act”); (ii) the Borrower shall remain fully obligated under the Loan Agreement and the Mortgage as if such sale, lease or agreement had not been made; (iii) any purchaser shall assume all of the obligations of the Borrower under the Loan Agreement and the Mortgage; and (iv) the Trustee shall have been furnished with an opinion of Bond Counsel to the effect that interest on the Series 2025 Bonds will not be included in gross income for federal income tax purposes as a result thereof.

Maintenance of Existence. The Borrower agrees that, so long as the Series 2025 Bonds are outstanding, it will maintain its existence as a nonprofit corporation under the laws of the State and a Tax Exempt Organization; will not dissolve or otherwise dispose of all or substantially all of its assets; and will not consolidate with or merge into another corporation or permit one or more other corporations to consolidate with or merge into it; provided, that the Borrower may, without violating the agreement referenced above, consolidate with or merge into another institution, or permit one or more other of such institutions to consolidate with or merge into it, or sell or otherwise transfer to another such institution all or substantially all of its assets as an entirety and thereafter dissolve upon satisfaction of the following conditions: (i) if the surviving, resulting or transferee institution, as the case may be, is other than the

Borrower, such surviving, resulting or transferee institution shall assume in writing all of the obligations of the Borrower herein, and shall be a governmental unit or a nonprofit corporation and a Tax Exempt Organization; (ii) the surviving, resulting or transferee institution, if other than the Borrower, shall restrict its operations in the manner provided in the Loan Agreement unless it has unrestricted net assets of at least \$1,500,000 subsequent to such merger, consolidation, or transfer; and (iii) the Borrower shall furnish to the Trustee an opinion of Bond Counsel to the effect that such consolidation, merger or transfer shall have no adverse effect on the tax-exempt nature of the interest on the Series 2025 Bonds under Section 145 and related Sections of the Code.

Transfer of Assets-General. The Borrower may not transfer its interest in any of its assets to any Person for consideration of less than fair market value except as permitted in the Loan Agreement, and except to the extent necessary or desirable in order to maintain or continue the status of the Borrower as a Tax Exempt Organization. Further, except as permitted in the Loan Agreement, no transfer of assets of the Borrower may be made to any Person unless (i) there is no continuing Event of Default under the Indenture and the Loan Agreement; (ii) the Borrower is in compliance with all of its covenants under the Loan Agreement; (iii) as of the end of the Fiscal Year immediately preceding such transfer, the Net Revenues Available for Debt Service of the Borrower for such Fiscal Year were not less than one hundred twenty percent (120%) of the maximum annual debt service and the Borrower had at least 60 Days Cash on Hand; and (iv) after the transfer the Current Ratio of the Borrower will be not less than 1.0.

As long as no Event of Default has occurred and is continuing under the Loan Agreement, the Borrower may transfer cash. The Borrower may make mission benevolent donations consistent with its purpose as a Tax Exempt Organization so long as such donations will not affect the Borrower's ability to perform under the Loan Agreement.

Restricted Operations. The Borrower has agreed in the Loan Agreement, except as set forth above under the heading "Maintenance of Existence," to (i) maintain books and records separate from those of any affiliate and any constituent party of the Borrower; (ii) maintain adequate capital for the normal obligations reasonably foreseeable in a business of its size and character and in light of its contemplated business operations; (iii) not commingle the funds and other assets of the Borrower with those of any affiliate, any constituent party of the Borrower or any other person; (iv) restrict its operations to the Project Facilities and any related independent living, assisted living, memory care and licensed skilled nursing facilities which may be constructed on land adjacent to the Project Facilities, and it will not undertake business activities other than on the **[Project Premises][Where is this term defined?]** and any such adjacent property; and (v) not guarantee indebtedness or obligations of any Person.

Rate and Liquidity Covenants. The Borrower will prescribe and charge such rents, fees and other charges relating to its properties and will restrict operating and maintenance expenses relating to its properties as is necessary to achieve a one hundred and twenty percent (120%) Debt Coverage Ratio for the Project Facilities calculated on:

- i) the Principal and Interest Requirements on the Series 2018 Bonds (excluding the final year of maturity) as commenced with the Fiscal Year ended September 30, 2020;
- ii) the Principal and Interest Requirements on the Series 2021 Bonds (excluding the final year of maturity) and on the Series 2018 Bonds (excluding the final year of maturity) commencing with the Fiscal Year ending September 30, 2024; and
- iii) the Principal and Interest Requirements on the Bonds (excluding the final year of maturity) commencing with the Fiscal Year ending September 30, 2028.

The Debt Coverage Ratio will be based on the audited financial statements of Presbyterian Homes and Services, with consolidating financial statements of the Borrower, for the same twelve (12) month period.

On or before the one hundred twentieth (120<sup>th</sup>) day after the end of each such Fiscal Year (the “Report Date”), the Borrower will submit to the Trustee a report evidencing its compliance or noncompliance with the one hundred and twenty percent (120%) Debt Coverage Ratio for the Project Facilities based on the audited financial statements of Presbyterian Homes and Services, with consolidating financial statements of the Borrower, for the same twelve (12) month period.

The Borrower shall maintain at the end of each Fiscal Year, continuing with the Fiscal Year ending September 30, 2025, at least 60 Days Cash on Hand excluding the amounts deposited and held by the Trustee in the Bond Fund, the Project Fund, the Reserve Fund and the Repair and Replacement Fund.

If the Borrower fails to achieve the one hundred and twenty percent (120%) Debt Coverage Ratio or the 60 Days Cash on Hand, then the Borrower shall employ, as soon as practicable after the Report Date, an Independent Management Consultant to submit a written report and recommendations with respect to the rents, fees, rates and other charges relating to the Project Facilities and with respect to improvements or changes in the operation and management of the Project Facilities. A copy of such report shall be submitted to the Trustee as soon as practicable but in no event later than ninety (90) days after the Report Date. The Borrower shall revise or cause to be revised such rents, fees and other charges in conformity with any recommendations of the Independent Management Consultant and shall otherwise follow the recommendation of the Independent Management Consultant to the extent that the Borrower believes the recommendations to be reasonable and to the extent that such recommendations are consistent with the Borrower’s status as a Tax Exempt Organization, or as otherwise permitted by law.

So long as the Borrower is otherwise in full compliance with its obligations under the Loan Agreement, including following, to the fullest extent practicable, the recommendations of the Independent Management Consultant, it shall not constitute an Event of Default that the Borrower’s Debt Coverage Ratio is less than 120% or that the Borrower’s Days Cash on Hand is less than 60; provided, however, it shall constitute an Event of Default if the Debt Coverage Ratio is less than 100% for such annual period.

For purposes of this covenant, Debt Coverage Ratio means Net Revenues Available for Debt Service of the Borrower for a Fiscal Year divided by the Principal and Interest Requirements for such Fiscal Year based on the audited financial statements of Presbyterian Homes and Services, with consolidating financial statements of the Borrower, for the same twelve (12) month period, and the Trustee’s fees and the rebate analyst fees for such Fiscal Year.

For purposes of this covenant, Independent Management Consultant means any nationally or regionally recognized firm of public accountants or health care specialists possessing management consulting experience with respect to independent and assisted living facilities, such as the Project Facilities, which is independent and approved by a majority of the Bondholders.

#### **Additional Long-Term Debt and Additional Bonds**

Under certain circumstances, the Borrower may incur additional Long-Term Debt. See APPENDIX E: “SUMMARY OF DOCUMENTS AND CERTAIN DEFINITIONS - THE LOAN AGREEMENT – Additional Indebtedness” attached hereto. Under certain circumstances, Additional Bonds are permitted to be issued which may be secured by the Indenture (and funds held pursuant thereto) and the Mortgage on an equal and pro rata basis with the Bonds. See APPENDIX E: “SUMMARY OF DOCUMENTS AND CERTAIN DEFINITIONS – THE INDENTURE – Additional Bonds” attached hereto.



## **Defeasance**

Upon certain terms and conditions specified in the Indenture, the Series 2025 Bonds or portions thereof will be deemed to be paid and the security provided in the Indenture, the Loan Agreement and the Mortgage may be discharged prior to maturity or redemption of the Series 2025 Bonds upon the provision for the payment of such Series 2025 Bonds. In that case, the Series 2025 Bonds will be secured solely by the cash and securities deposited with the Trustee for such purpose. See APPENDIX E: – “SUMMARY OF DOCUMENTS AND CERTAIN DEFINITIONS” attached hereto under the subheading “THE INDENTURE – Discharge of Lien.”

## **DEBT SERVICE REQUIREMENTS FOR THE BONDS**

The following table sets forth the amounts required each year (ending September 30) to be paid with respect to the Series 2018 Bonds, the Series 2021 Bonds, and the Series 2025 Bonds, assuming no prepayment other than for mandatory sinking fund redemptions.

**[TO BE UPDATED]**

## **THE ISSUER**

The Issuer is a municipal corporation and political subdivision duly organized and existing under the laws of the State of Minnesota. The Issuer is authorized pursuant to the provisions of the Act to engage in certain activities related to the provision of decent, safe and sanitary housing units in the Issuer. Issuance of the Series 2025 Bonds was approved by a resolution adopted by the City Council of the Issuer on April 10, 2025.

The Issuer will have no responsibility with respect to the management and operation of the Project Facilities, the servicing of the Loan or the collection, transfer or payment of any monies derived therefrom. Neither the Issuer nor its independent contractors has furnished, reviewed, investigated or verified the information contained in this Official Statement other than the information contained in this section and the information contained under the heading “ABSENCE OF MATERIAL LITIGATION – The Issuer.”

## **THE BORROWER**

The Borrower is a Minnesota nonprofit corporation that was formed exclusively for the purpose of undertaking the Project Facilities and owning and causing to be operated the Project Facilities. The Borrower currently has no assets other than the Project Facilities and expects that its interest in the Project Facilities and revenues therefrom will be its only assets for the foreseeable future. The Borrower anticipates that the only resource available to provide for payment of the Series 2025 Bonds will be the interest of the Borrower in the Project Facilities.

The Borrower has a mailing address of: 2845 Hamline Avenue North, Roseville, MN 55113. Its general telephone number is: 651-631-6000. Questions with respect to the Project Facilities and the offering of the Series 2025 Bonds may be directed to and related information may be requested from: Mr. Mark Meyer, Chief Financial Officer.

## THE PROJECT FACILITIES

### General

The Series 2025 Bonds are being issued to finance the acquisition, construction, improvement and equipping of a 75-unit addition of independent living units, with an address of 15791 Cobblestone Lake Parkway S. in the City of Apple Valley, Minnesota (the “2025 Addition”), to the Borrower’s 253-unit senior living campus comprised of 175 independent living units, 58 assisted living units, and 20 memory care units, located at 5400 157<sup>th</sup> Street West in the City of Apple Valley, MN (collectively, the “Original Facility” and together with the 2025 Addition, the “Project Facilities”). For more information with respect to the Project Facilities, see APPENDIX A attached hereto. For information with respect to the anticipated sources and application of funds with respect to the financing of the Project Facilities, see “ESTIMATED SOURCES AND USES OF FUNDS” herein.

### ESTIMATED SOURCES AND USES OF FUNDS\*

Following are the approximate expected sources and uses of funds for the construction of the 2025 Addition:

#### SOURCES OF FUNDS

Par Amount of Series 2025 Bonds	\$ [29,100,000]
Equity Contribution	_____
Estimated Investment Earnings on Indenture Funds	_____
<b>TOTAL SOURCES</b>	<b>\$ _____</b>

#### USES OF FUNDS

Deposit to Project Fund	
Construction of 2025 Addition	\$ _____
Capitalized Interest	_____
Deposit to Bond Fund	_____
Deposit to Reserve Fund	_____
Bond Issuance Costs & Real Estate Costs <sup>(1)</sup>	_____
<b>TOTAL USES</b>	<b>\$ _____</b>

(1) Includes Underwriter’s compensation, legal fees, printing costs and other similar costs.

## TAX MATTERS

### Tax Exemption

In the opinion of Taft Stettinius & Hollister LLP, Minneapolis, Minnesota, Bond Counsel, based upon an analysis of existing federal and Minnesota laws, regulations, rulings and decisions, in effect on the date of delivery of the Series 2025 Bonds, the interest on the Series 2025 Bonds is excludable from gross income for federal income tax purposes and is excludable, to the same extent, from taxable net income of individuals, estates or trusts for Minnesota income tax purposes. However, interest on the Series 2025 Bonds will be included in the “adjusted financial statement income” of certain corporations that are subject to the alternative minimum tax under Section 55 of the Internal Revenue Code of 1986, as

amended (the “Code”). Interest on the Series 2025 Bonds is includable in the taxable income of corporations and financial institutions for purposes of the Minnesota franchise tax. Interest on the Series 2025 Bonds is not an item of tax preference for purposes of federal and Minnesota alternative minimum taxes.

The Code establishes certain requirements (the “Federal Tax Requirements”) that must be met subsequent to the issuance of the Series 2025 Bonds in order that, for federal income tax purposes, interest on the Series 2025 Bonds not be included in gross income pursuant to Section 103 of the Code. The Federal Tax Requirements include, but are not limited to, requirements relating to the expenditure of proceeds of the Series 2025 Bonds, requirements relating to the operation of the Project Facilities including compliance with income restrictions, restrictions on the investment of proceeds of the Series 2025 Bonds prior to expenditure and the requirement that certain earnings on the “gross proceeds” of the Series 2025 Bonds be paid to the federal government. Noncompliance with the Federal Tax Requirements may cause interest on the Series 2025 Bonds to become subject to federal and Minnesota income taxation retroactive to their date of issue irrespective of the date on which such noncompliance occurs or is ascertained. In expressing its opinion, Bond Counsel will assume compliance by the Borrower with the tax covenants contained in the Loan Agreement and the Indenture.

### **Other Tax Considerations**

Interest on the Series 2025 Bonds is includable in the calculation of modified adjusted gross income in determining whether Social Security or railroad retirement payments are to be included in taxable income of individuals.

Under the Code, certain financial institutions, such as banks and savings and loan associations, are not allowed to deduct any portion of the interest expense allocable to the acquisition or carrying of the Series 2025 Bonds, because the Series 2025 Bonds are not “qualified tax-exempt obligations” within the meaning of Section 265(b)(3) of the Code.

Under the Code, the deduction available to property and casualty insurance companies for losses incurred would be reduced by a percentage of such insurance company’s tax-exempt interest from the Series 2025 Bonds.

Interest on the Series 2025 Bonds may also be subjected to federal taxation in connection with the branch profits tax applicable to foreign corporations.

Passive investment income, including interest on the Series 2025 Bonds, may be subject to federal taxation under Section 1375 of the Code for S corporations that have Subchapter C earnings and profits at the close of the taxable year if a certain percentage of the gross receipts of such S Corporation consists of passive investment income.

**THE FOREGOING IS NOT INTENDED TO BE AN EXHAUSTIVE DISCUSSION OF COLLATERAL TAX CONSEQUENCES ARISING FROM RECEIPT OF INTEREST ON THE SERIES 2025 BONDS. PROSPECTIVE PURCHASERS OR BONDHOLDERS SHOULD CONSULT THEIR TAX ADVISORS WITH RESPECT TO COLLATERAL TAX CONSEQUENCES, INCLUDING, WITHOUT LIMITATION, THE DETERMINATION OF GAIN OR LOSS ON THE SALE OF A SERIES 2025 BOND, THE CALCULATIONS OF ALTERNATIVE MINIMUM TAX LIABILITY, THE INCLUSION OF SOCIAL SECURITY OR OTHER RETIREMENT PAYMENTS IN TAXABLE INCOME, THE DISALLOWANCE OF DEDUCTIONS FOR CERTAIN EXPENSES ATTRIBUTABLE TO THE SERIES 2025 BONDS AND STATE AND LOCAL TAX RULES.**

## **[Original Issue Premium**

The Series 2025 Bonds maturing on September 1 in the years \_\_\_\_ and \_\_\_\_ have been sold to the public at an amount in excess of their stated redemption price at maturity. Such excess of the purchase price of a Series 2025 Bond over its stated redemption price at maturity constitutes a premium with respect to such Series 2025 Bonds. A purchaser of such Series 2025 Bonds must amortize the premium over the term of such Series 2025 Bond using constant yield principles, based on the purchaser's yield to maturity. As premium is amortized, the basis in the Series 2025 Bond is reduced by a corresponding amount, resulting in an increase in the gain (or decrease in the loss) to be recognized for federal income tax purposes upon a sale or other disposition of such Series 2025 Bond prior to its maturity. Even though the purchaser's basis is reduced, no federal income tax deduction is allowed. Purchasers of any Series 2025 Bonds at a premium, whether at the time of initial issuance or subsequent thereto, should consult with their own tax advisors with respect to the determination and treatment of premium for federal income tax purposes and with respect to state and local tax consequences of owning such Series 2025 Bonds.

## **Original Issue Discount**

The Series 2025 Bonds maturing on September 1 in the years \_\_\_\_ and \_\_\_\_ (the "Discount Bonds"), are being sold at a discount from the principal amount payable on such Discount Bonds at maturity. The difference between the price at which a substantial amount of the Discount Bonds of a given maturity is first sold to the public (the "Issue Price") and the principal amount payable at maturity constitutes "original issue discount" under the Code. The amount of original issue discount that accrues to a holder of a Discount Bond under section 1288 of the Code is excluded from federal gross income to the same extent that stated interest on such Discount Bond would be so excluded. The amount of the original issue discount that accrues with respect to a Discount Bond under section 1288 is added to the owner's federal tax basis in determining gain or loss upon disposition of such Discount Bond (whether by sale, exchange, redemption or payment at maturity).

Interest in the form of original issue discount accrues under section 1288 pursuant to a constant yield method that reflects semiannual compounding on dates that are determined by reference to the maturity date of the Discount Bond. The amount of original issue discount that accrues for any particular semiannual accrual period generally is equal to the excess of (i) the product of (a) one-half of the yield on such Bonds (adjusted as necessary for an initial short period) and (b) the adjusted issue price of such Bonds, over (ii) the amount of stated interest actually payable. For purposes of the preceding sentence, the adjusted issue price is determined by adding to the Issue Price for such Bonds the original issue discount that is treated as having accrued during all prior semiannual accrual periods. If a Discount Bond is sold or otherwise disposed of between semiannual compounding dates, then the original issue discount that would have accrued for that semiannual accrual period for federal income tax purposes is allocated ratably to the days in such accrual period.

If a Discount Bond is purchased for a cost that exceeds the sum of the Issue Price plus accrued interest and accrued original issue discount, the amount of original issue discount that is deemed to accrue thereafter to the purchaser is reduced by an amount that reflects amortization of such excess over the remaining term of such Bond.

No opinion is expressed as to state and local income tax treatment of original issue discount. It is possible under certain state and local income tax laws that original issue discount on a Discount Bond may be taxable in the year of accrual, and may be deemed to accrue differently than under federal law.

Holders of Discount Bonds should consult their tax advisors with respect to computation and accrual of original issue discount and with respect to the state and local tax consequences of owning Discount Bonds.]

## **UNDERWRITING**

Piper Sandler & Co. (the “Underwriter”) has agreed to purchase the Series 2025 Bonds from the Issuer at a price equal to \$\_\_\_\_\_ (par less Underwriter’s discount of \$\_\_\_\_\_, plus/less net original issue premium/discount of \$\_\_\_\_\_) pursuant to a Bond Purchase Agreement entered into by and between the Issuer and the Underwriter as approved by the Borrower (the “Bond Purchase Agreement”). The Bond Purchase Agreement provides that the Underwriter will purchase all of the Series 2025 Bonds if they are issued, the obligation to make such purchase being subject to certain terms and conditions set forth in the Bond Purchase Agreement, the approval of certain legal matters by counsel, and other information. The Underwriter intends to offer the Series 2025 Bonds to the public initially at the offering price shown on the cover page hereof, which may subsequently change without requirement of prior notice. The Underwriter reserves the right to join with other dealers and underwriters in offering the Series 2025 Bonds to the public. The Underwriter may offer and sell the Series 2025 Bonds to dealers at prices lower than the public offering prices.

The Borrower has agreed to indemnify the Issuer and the Underwriter against certain liabilities, including liabilities under federal and state securities laws.

## **ENFORCEABILITY OF OBLIGATIONS**

On the date for delivery of the Series 2025 Bonds to the Underwriter, Taft Stettinius & Hollister LLP, Bond Counsel, shall deliver its opinion, dated the date thereof, that the Series 2025 Bonds, the Loan Agreement and the Indenture are valid and legally binding on the Issuer, enforceable against the Issuer in accordance with their respective terms. The general counsel to Presbyterian Homes and Services, as counsel to the Borrower, will deliver her opinion that the Loan Agreement, the Mortgage, the Continuing Disclosure Agreement and the Bond Purchase Agreement are valid and legally binding agreements of the Borrower. The foregoing opinions will be generally qualified to the extent that the enforceability of the respective instruments may be limited by laws, decisions and equitable principles affecting remedies and by bankruptcy or insolvency or other laws, decisions and equitable principles affecting creditors’ rights generally.

While the Series 2025 Bonds are secured or payable as described herein, the practical realization of payment from any such security will depend upon the exercise of various remedies specified in the respective instruments. These and other remedies are dependent in many respects upon judicial action, which is subject to discretion and delay. Accordingly the remedies specified in the above documents may not be readily available or may be limited.

## **AUDITED FINANCIAL STATEMENTS**

The Borrower is a subordinate affiliate of Presbyterian Homes and Services and is not separately audited. The most recent audited consolidated financial statements of Presbyterian Homes and Services and its affiliates, attached as APPENDIX D to this Official Statement, have been audited by CliftonLarsonAllen LLP, Certified Public Accountants, as set forth in their report dated \_\_\_\_\_, 202\_. None of the affiliates of the Borrower are obligated with respect to the Series 2025 Bonds. The consolidating schedules included in the attached financial statements contain balance sheet and operating information specific to the Borrower. Such balance sheet information is found on pages \_\_\_ and \_\_\_ of Appendix D, and such operating information is found on page \_\_\_ of APPENDIX D.

## **APPROVAL OF LEGAL PROCEEDINGS**

Legal matters incident to the offering of the Series 2025 Bonds and with regard to the exclusion from gross income of interest on the Series 2025 Bonds under existing laws are subject to the approving legal opinion of Taft Stettinius & Hollister LLP, Minneapolis, Minnesota, as Bond Counsel. The Borrower has been represented in the offering by the general counsel to Presbyterian Homes and Services and Vantage Law Group, Minneapolis, Minnesota, as to real estate matters. The Underwriter is being represented in this transaction by Frost Brown Todd LLP, Charleston, West Virginia.

## **ABSENCE OF MATERIAL LITIGATION**

### **The Issuer**

There is not now pending or, to the knowledge of the Issuer, threatened any litigation against the Issuer restraining or enjoining the issuance or delivery of the Series 2025 Bonds or questioning or affecting the validity of the Series 2025 Bonds or the proceedings or authority under which the Series 2025 Bonds are to be issued. There is no litigation pending or, to its knowledge, threatened, against the Issuer which in any manner questions the right of the Issuer to enter into the Indenture or the Loan Agreement or to secure the Series 2025 Bonds in the manner provided in the Indenture and the Act.

### **The Borrower**

The Borrower has advised that there is no litigation pending or, to the knowledge of the Borrower, threatened against the Borrower or its property which if decided adversely to the Borrower, would individually or in the aggregate, have a material adverse effect upon the (a) Borrower or its business or properties, or (b) the validity or enforceability of the Series 2025 Bonds, the Loan Agreement, the Mortgage, the Bond Purchase Agreement, the Continuing Disclosure Agreement or the other documents delivered pursuant thereto, as appropriate, or the performance by the Borrower thereunder.

## **RELATIONSHIPS AMONG THE PARTIES**

In connection with the issuance of the Series 2025 Bonds, the Issuer, the Underwriter, and the Borrower are being represented by the attorneys or law firms identified above under the heading “APPROVAL OF LEGAL PROCEEDINGS.” In other transactions not related to the Series 2025 Bonds each of these attorneys or law firms may have acted as Bond Counsel or represented the Issuer, the Underwriter, the Borrower, or their respective affiliates, in capacities different from those described under “APPROVAL OF LEGAL PROCEEDINGS,” and there will be no limitations imposed as a result of the issuance of the Series 2025 Bonds on the ability of any of these firms or attorneys to act as Bond Counsel or represent any of these parties in any future transactions, or to represent any person or firm who may purchase a limited partnership interest in the Borrower. Furthermore, the Borrower, the Underwriter, and their respective affiliates are not limited in engaging in future business transactions with each other. Potential purchasers of the Series 2025 Bonds should not assume that the Issuer, the Underwriter, the Borrower, or their respective counsel or Bond Counsel have not previously engaged in, or will not after the issuance of the Series 2025 Bonds engage in, other transactions with each other or with any affiliates of any of them, and no assurance can be given that there are or will be no past or future relationships or transactions between or among any of these parties or these attorneys or law firms.

## **CONTINUING DISCLOSURE**

Securities and Exchange Commission Rule 15c2-12, promulgated under the Securities Exchange Act of 1934, imposes continuing disclosure obligations on the issuers of (or certain other obligors with

respect to) certain state and municipal securities to permit participating underwriters to offer and sell the issuers' securities. Pursuant to Rule 15c2-12(b)(5)(i), the Borrower will enter into a Continuing Disclosure Agreement with UMB Bank, n.a., as Dissemination Agent, for the benefit of the Bondholders, whereby the Borrower will agree to provide annual reports, quarterly reports and event notices as described in the Continuing Disclosure Agreement.

The undertaking to provide continuing disclosure is in addition to, and does not replace, notices required to be given to Bondholders under the Loan Agreement and the Indenture. Failure to comply with the terms of the Continuing Disclosure Agreement will not result in an "Event of Default" under the Indenture or the Loan Agreement. The Dissemination Agent has no obligation to verify or investigate any information disclosed pursuant to the Continuing Disclosure Agreement or to make disclosures about the Series 2025 Bonds, the Borrower, the Project Facilities or any other matter except as expressly provided in the Continuing Disclosure Agreement. See APPENDIX G: "FORM OF CONTINUING DISCLOSURE AGREEMENT" attached hereto.

**[PRIOR COMPLIANCE TO BE UPDATED]**

### **MISCELLANEOUS**

The summaries set forth in the Appendices hereto and in the foregoing document do not purport to be comprehensive or definitive and all references to the documents summarized are qualified in their entirety by reference to each such document. All references to the Series 2025 Bonds are qualified in their entirety by reference to the forms thereof and the information with respect thereto included in the aforesaid documents. Copies of these documents are available for inspection during the period of the offering at the office of the Underwriter in Minneapolis, Minnesota, and thereafter at the corporate trust office of the Trustee in St. Louis, Missouri. The Issuer has not participated in the preparation of this Official Statement and has not reviewed or approved any information or statements contained in this Official Statement or the appendices hereto and assumes no responsibilities for the sufficiency, completeness or accuracy of the same.

The Borrower and the Issuer have authorized the use and distribution of this Official Statement, although the Issuer has not reviewed or approved any matters herein, other than the sections entitled "THE ISSUER" and "ABSENCE OF MATERIAL LITIGATION – The Issuer," the Issuer assumes no responsibility for the accuracy or completeness of the information herein. The Borrower has approved the information contained in this Official Statement.

## **APPENDIX A**

### **THE BORROWER AND THE PROJECT**



**APPENDIX B**

**FINANCIAL FORECAST**

**APPENDIX C**

**UNAUDITED FINANCIAL STATEMENTS**  
**OF THE BORROWER**

**APPENDIX D**

**CONSOLIDATED AUDITED FINANCIAL STATEMENTS OF PHS**

## **APPENDIX E**

### **SUMMARY OF DOCUMENTS AND CERTAIN DEFINITIONS**

**APPENDIX F**

**FORM OF BOND COUNSEL OPINION**

**APPENDIX G**

**FORM OF CONTINUING DISCLOSURE AGREEMENT**



ITEM:  
COUNCIL MEETING DATE:  
SECTION:

5.C.  
April 10, 2025  
Regular Agenda

<b>Description:</b> Adopt Resolution Approving Conditional Use Permit for 86 ft. Tall Wireless Communications Monopole at Bethel Assemblies of God Church, 14201 Cedar Avenue		
<b>Staff Contact:</b> Sydnee Stroeing, Associate Planner		<b>Department / Division:</b> Community Development Department
<b>Applicant:</b> Buell Consulting, on behalf of Cellco Partnership		<b>Project Number:</b> PC25-02-C
<b>Applicant Date:</b> 2/3/2025	<b>60 Days:</b> 4/4/2025	<b>120 Days:</b> 6/3/2025

#### **ACTION REQUESTED:**

Adopt a resolution approving a Conditional Use Permit for an 86-foot-tall wireless communications tower at Bethel Assemblies of God Church, located at 14201 Cedar Ave.

#### **SUMMARY:**

Buell Consulting, on behalf of Cellco Partnership (d/b/a Verizon Wireless), request consideration of a conditional use permit (CUP) to construct an 86' tall wireless communications tower (cell tower) at 14201 Cedar Ave. The proposed location of the tower is in the south end of the parcel, adjacent to 143rd St W. The tower is requested to enhance the network coverage and capacity for wireless communication in the surrounding area. The construction of the cell tower will include an equipment pad and generator. The tower and equipment will be located within a 25' x 30' area with a 6' fence around the perimeter.

Per Section 155.385 (Towers and Antennas Site Design and Maintenance) of the City Code, the construction of a cell tower must adhere to multiple performance standards. The petitioner has provided a letter demonstrating compliance with all applicable zoning requirements. The City retains the authority to impose reasonable conditions to mitigate any adverse impacts associated with the CUP. A resolution outlining these conditions is attached.

A public hearing for the CUP request was held at the March 5, 2025, Planning Commission meeting. Responses to public comments and questions were provided at the March 19, 2025, Planning Commission meeting and are also included in this staff report. The Planning Commission unanimously voted (6-0 vote) to recommend approval of the CUP subject to conditions 1 through 15 as listed in the resolution.

Staff has continued to receive comments related to the CUP request. Additional public comments that have been received are included as an attachment.

#### **BACKGROUND:**

A CUP for a similar tower at this property was approved in 2017. The tower was never

constructed, and the approved CUP has lapsed. The original CUP approved a tower located within a large parking lot curb island near the church buildings. The petitioner is proposing a new site to construct the tower on the same property.

**Zoning:** The property is zoned "P" (Institutional). A wireless communications tower is a conditional use in the P zoning district, subject to a number of performance standards as required in section 155.385 (*Towers and Antennas Site Design and Maintenance*) of the City Code. The petitioner submitted a letter outlining how the cell tower complies with the requirements of the zoning code. The City may place reasonable conditions on a conditional use permit to mitigate any adverse impacts associated with the use.

**Site Plan:** The site plan shows the location of the 86' tall cell tower (with a 4' lightning rod) and equipment pad in a wooded area at the south end of the existing parcel, adjacent to 143rd St W. The tower and equipment will be within a 25' x 30' area and would be enclosed by a 6' tall fence. The mechanical ground equipment and tower base will be required to be screened per City Code. The fence material will need to be updated and reviewed prior to issuance of a building permit.

Access to the tower and associated equipment is shown to be via a 12' wide path off 143rd St W. The driveway to the tower will be required to be paved per City Code. Additionally, the Assistant City Engineer's memo provides a condition that a sidewalk shall be installed from the existing driveway to the east of the proposed access to the west property line. The City utilizes its authority under ordinance requirements and guiding plan documents to require sidewalk gaps be completed by private development as development (and redevelopment) work occurs where current gaps exist.

The tower will be designed with an engineered "breakpoint" technology which will ensure that if the tower fails and collapses, it will fall upon itself. The setbacks for a tower are based on the breakpoint height. With the breakpoint, the minimum setback from property lines is 64.5'. The site plan shows the proposed tower 95' from the nearest property line. All setbacks to property lines are met. There is also a setback requirement to structures on neighboring properties. The minimum setback for the tower from a structure on a neighboring property is 86' (due to the engineered breakpoint). The nearest structure on a neighboring property is 153' from the proposed tower. All structure setbacks are also met.

**Grading:** No grading plan has been submitted at this time. Minimal grading is expected for the installation of the tower and associated equipment. Final review and approval of a grading plan by the City Engineer will be required.

**Elevations:** The antenna array proposed at this location is designed so that the antennas are flush-mounted to the pole and the ancillary equipment is placed within the ground equipment area to give a sleeker appearance. The ground equipment will be required to be screened with a solid fence and landscaping. The petitioner has submitted renderings of the proposed tower (attached).



Clause 155.385 (B)(8) of City Code states that *"All towers and their antennas shall utilize building materials, colors, textures, screening and landscaping that effectively blend the tower facilities within the surrounding natural setting and built environment to the greatest extent possible as determined by the City."* The submitted materials show the tower being painted a color to match the existing church building. The proposed tower location is over 300' from any existing church building on the site. Staff believes there should be further review of the proposed tower color as there may be a more suitable option that effectively blends the tower facilities in with the surrounding wooded area.

**Landscape Plan:** A landscape plan will be required at building permit review. Additional year-round landscaping will be required adjacent to 143rd St W to assist in screening the ground equipment pad from the roadway. The proposed tower location is heavily wooded, and the existing trees will be utilized to screen from adjacent residential properties. The property owner will be required to maintain existing trees that provide screening of the tower. If it is found that the existing trees do not provide enough adequate screening, it will be required to provide additional screening.

### **Public Hearing Comments:**

1. Why was the 2017 tower never constructed? What was the previous tower height and color? Why is a new site proposed?

**Staff response:** The previous tower did not receive issuance of a building permit, and the CUP was not utilized within one year of approval as required in clause 155.399(H), therefore the 2017 CUP lapsed. The previous tower plans show a total height of 84' and painted a yellow color that matched the church building.

**Applicant response:** The original location was agreed to by the previous property owner, Mount Olivet Church. The new location is to accommodate Bethel Rock's future development plans.

2. What other sites were considered for this tower? Are there any other locations on the Bethel Church property where the proposed tower could be located?

**Staff response:** Per clause 155.385(A) of City Code, there are co-location requirements for towers. Further, a proposal for a new tower must provide reasoning as to why the communication equipment cannot be accommodated on an existing or approved tower or building within one-half mile radius of the proposed tower. After further review, there is one tower within the one-half mile of the proposed Bethel Church tower site. It is located at Apple Valley High School (AVHS). The City reviews the project and site based on what has been proposed by the petitioner.

**Applicant response:** There are no existing towers or buildings of sufficient height within the 0.5-mile colocation exclusion radius. The alternate location within the 0.5-mile radius (AVHS) was analyzed; the existing antenna centerline height of this (AVHS) tower will not address the height and identified needs for this proposed project. Subsequently, there are no feasible alternatives to consider. Bethel Church has

development plans that restrict the parking lot. Other areas on-site are too heavily wooded, and the proposed site is setback compliant.

3. How many existing towers are there in Apple Valley?

**Staff response:** Based on previous land use applications and City records, there are 7 existing towers. This does not include antennas attached to buildings.

4. General comments and questions on RF (radio frequency) emissions.

**Staff response:** It is not within the City's purview to determine or monitor RF emissions and it is not an adopted performance standard in the City Code -- this is regulated by the Federal Communications Commission (FCC). The City may not deny a communications tower CUP based on concerns of RF emissions.

**Applicant response:** The FCC regulates emissions based on Effective Radiated Power (ERP). FCC guidelines are based on recommendations from other federal health and safety agencies. The ERP of this tower is within the FCC mandated guidelines. There is not a federal requirement to monitor emissions over time. Please see the applicant presentation attachment below.

5. Comment on prohibiting towers near schools.

**Staff response:** In Apple Valley, school properties are generally zoned as "P" (Institutional). The Institutional zone allows for towers as a conditional use. There are existing towers that are near schools, as well as located on school properties. The City cannot prohibit the location of a proposed tower in a zoning district where it is currently allowed as a conditional use.

6. Concern with property values when adjacent to a tower.

**Staff response:** Property values are determined by a complex set of variables that are difficult to attribute to a single adjacent land use. Instead, property values are impacted by overall City development patterns. There has been no documentation provided about a decrease in property value due to being adjacent to a cell tower.

7. How long will construction of the tower last? What streets will be used for construction of the tower? How many trees will be removed due to construction of the tower?

**Staff response:** Staff does not have concerns with the proposed construction of the tower. The Natural Resources department will review the required tree preservation concept as part of a Natural Resources Management Permit (NRMP). Additionally, a building permit is required prior to construction. Conditions of the CUP resolution would need to be met prior to issuance of a building permit.

**Applicant response:** Construction access will come from 143rd St W, except for underground electric, which is installed from a transformer to the north. Construction is phased including civil work, tower staking, antenna installation, and utility installation. In total, the process will be approximately 6 weeks. One, 24" tree and brush will be removed due to construction of the tower.

8. Was Magellan Pipeline contacted for the tower site?

**Staff response:** The submitted plans show the tower and equipment pad outside of the pipeline easement.

**Applicant response:** No, as shown on the land survey, the lease premises and access are not within the pipeline easement. Furthermore, existing gas lines are located on the south side of 143rd St W.

9. What is the City's authority when reviewing CUPs?

**Staff response:** The City exercises a quasi-judicial role when reviewing a request for a CUP, meaning that it is reviewing the request based on requirements that are currently adopted in City Code. The performance standards related to a CUP for a communications tower are set out in section 155.385 of City Code. If the applicant provides plans and documentation that meet the performance standards and requirements set in City Code, the applicant is entitled to the CUP. The City may place reasonable conditions that are related to the adopted performance standards on a conditional use to mitigate adverse impacts associated with the use.

**BUDGET IMPACT:**

N/A

**ATTACHMENTS:**

Resolution

Memo

Memo

Location Map

Zoning Map

Applicant Letter

Plan Set

Survey

Applicant Letter

Applicant Letter

Public Hearing Comments

Presentation

Presentation

CITY OF APPLE VALLEY  
RESOLUTION NO. 2025 - \_\_\_\_

A RESOLUTION APPROVING A CONDITIONAL USE PERMIT  
FOR 86' TALL WIRELESS COMMUNICATIONS MONOPOLE IN "P" (INSTITUTIONAL)  
ZONE AND ATTACHING CONDITIONS THERETO

WHEREAS, pursuant to Minnesota Statutes 462.357 the City of Apple Valley has adopted, as Title XV of the City Code of Ordinances, zoning regulations to control land uses throughout the City; and

WHEREAS, said regulations provide that wireless communication towers may be allowed within a "P" (Institutional) zoning district and in accordance with specific performance standards, as a conditional use; and

WHEREAS, approval of a Conditional Use Permit for the installation of a wireless communications monopole tower has been requested by Buell Consulting, Inc., on behalf of Cellco Partnership, and the property owner, Bethel Assemblies of God Church, on property legally described as Lot 1, Block 1, Mount Olivet Second Addition; and

WHEREAS, on March 5, 2025, a public hearing before the Apple Valley Planning Commission was held for the review of the Conditional Use Permit request; and

WHEREAS, on March 19, 2025, the Apple Valley Planning Commission recommended approval of the Conditional Use Permit request subject to certain conditions; and

WHEREAS, the Apple Valley City Council approved a Conditional Use Permit for a wireless communications monopole tower on the Property on January 12, 2017, as memorialized in Resolution No. 2017-11 and recorded as Document No. 772669 ("2017 CUP"); and

WHEREAS, no wireless communications monopole tower was installed on the Property pursuant to the 2017 CUP and accordingly, the 2017 CUP has since lapsed and is no longer valid.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Apple Valley, Dakota County, Minnesota, that a Conditional Use Permit for a wireless communications monopole tower on property legally described as Lot 1, Block 1, Mount Olivet Second Addition is approved subject to compliance with the City Code and the following conditions:

1. The construction and operation of the wireless communications monopole tower shall be in conformance with the Site Plan (Sheet A-1) dated January 13, 2025, and the Enlarged Site Plan (Sheet A-2) dated January 13, 2025.
2. The antennas shall be flush-mounted to the monopole in accordance with the North Elevation Plan (Sheet T-1) dated January 13, 2025.

3. A building permit and electrical permit shall be obtained from the Building Inspections Department prior to any construction on the site.
4. Tower construction, maintenance, and operation shall comply with the communications tower requirements set forth in the City code, Section 155.385.
5. A qualified and licensed professional engineer shall submit certified construction plans which are in conformance with the following: the latest structural standards; acceptable engineering methods and practices and the National Electrical code.
6. The telecommunication service applicant shall provide verification of written final authorization/agreement with the landowner for the placement of the tower on the property prior to issuance of the building permit.
7. Subject to all conditions noted in the City Engineer's memo dated February 27, 2025 and revised on April 3, 2025.
8. Landscaping that provides year-round screening shall be installed adjacent to 143<sup>rd</sup> St W. A landscaping plan shall be submitted for review and approval prior to the issuance of a building permit.
9. The property owner shall maintain the existing trees surrounding the tower and equipment pad area that serve as screening. If these trees are determined to be insufficient in screening the tower area, additional screening measures may be required.
10. A tree preservation concept shall be submitted prior to the issuance of a Natural Resources Management Permit (NRMP).
11. A qualified and licensed professional engineer shall certify that the cell tower is designed in all aspects to accommodate both the operator's antenna and one additional user.
12. The base of the tower shall be enclosed with a fence at least six feet in height, constructed of a durable, maintenance-free material that effectively screens the mechanical equipment. The proposed fence material shall be submitted for review and approval before a building permit is issued.
13. The 12-foot-wide access driveway shall be paved with either concrete or bituminous material from and including the driveway apron abutting the public right of way to the security fence.
14. The tower's surface color shall be selected to blend with the surrounding area as effectively as possible and shall be reviewed and approved by the City's Planning Department prior to the issuance of a building permit.

15. The Conditional Use Permit may be revoked for cause if the terms of (1) through (14) preceding are not adhered to or met while the tower is in place.

ADOPTED this \_\_\_\_ day of \_\_\_\_\_, 2025.

\_\_\_\_\_  
Clint Hooppaw, Mayor

ATTEST:

\_\_\_\_\_  
Christina M. Scipioni, City Clerk

#### CERTIFICATE

I, Christina Scipioni, Apple Valley City Clerk, hereby certify that the forgoing is a true and correct copy of a resolution adopted by the City Council on **DATE**, the original of which is in my possession, dated this \_\_\_\_ day of \_\_\_\_\_, 2025.

\_\_\_\_\_  
Christina M. Scipioni, City Clerk

THIS INSTRUMENT WAS DRAFTED BY:

City of Apple Valley, Minnesota  
Attn: Community Development Department  
7100 147th Street West  
Apple Valley, MN 55124  
(952) 953-2500  
Project No. PC25-02-C

TO: Sydnee Stroeing, Associate Planner

FROM: Evan Acosta, Assistant City Engineer

DATE: February 27, 2025 (Revised 4/3/2025)

SUBJECT: Bethel Assemblies Church Tower CUP plans dated 1/13/2025

Sydnee,

The following are comments regarding the Bethel Assemblies Church Tower CUP Plans dated January 13, 2025. Please include these items as conditions to approval.

**General**

1. All work and infrastructure within public easements or right of way shall be to City standards.
2. Provide a narrative of how the buildings will be constructed and any impacts. The narrative shall include the following:
  - a. Shoring (if applicable)
  - b. Material Storage.
  - c. Haul routes to and from the site.
  - d. Phasing
3. No construction work shall begin prior to a preconstruction meeting conference with a Public works and a Building Inspections representative.
4. Provide a copy of the approval letter from the Department of Labor and Industry (DOLI), if applicable, prior to construction.
5. Public Work Department (952-953-2400) shall be notified a minimum of 48 hours for any required water main shut downs and/or connections.

**Permits**

6. Provide a copy of all executed permits prior to construction.
7. Department of Labor and Industry (DOLI) shall review private utilities.
8. A right of way permit will be required for all work within public easements or right of way.
9. A Natural Resource Management Permit (NRMP) will be required prior to any land disturbing activity commences.

## **Site**

10. Show locations of proposed lighting fixtures for parking lots and site.
11. Final site plan to be approved by the City Engineer
12. The applicant has requested that the City allow a driveway connection to 143<sup>rd</sup> Street West. The City will allow the driveway connection at 143<sup>rd</sup> Street west provided that the following conditions are met.
  - The City will require the new driveway entrance to be a Non-Residential Driveway (Concrete Entrance). See City Detail plate STR-5.
    - The detail on sheet A-1 should be changed to reflect City Plate STR-5.
  - The City requires that sidewalk is extended from the existing driveway to the east of the proposed access to the west property line.
    - The sidewalk shall be 6' in width and built per city detail STR-35
    - STR-35 shall be shown on the plans
    - Proposed handholes shall be located outside of the sidewalk.
13. All driveways must be paved surface (concrete or asphalt).
  - The plans currently show a gravel driveway access.

## **Landscape and Natural Resources**

14. Tree inventory is required for all affected trees located in work zone, and any replacement tree planting will need to follow the 15-10-5 diversity rule.
15. Final landscaping plan to be approved by Natural Resources Coordinator.



**MEMORANDUM**

**TO:** Tim Benetti, Community Development Director  
Sydney Stroeing, Associate Planner

**FROM:** Sharon K. Hills, City Attorney

**DATE:** March 27, 2025

**RE:** Communication Tower – Local Regulations

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In accordance with your request, we reviewed our November 18, 2016, memorandum issued in connection with a cellular service provider's CUP application to determine if the opinions stated therein are accurate today due to any federal or state law changes since 2016. This memorandum is an updated opinion on the City's authority to regulate communication towers.

This memorandum outlines the standards and considerations by which the Planning Commission and City Council are bound in considering a conditional use permit. In the case of communication towers, the City's review and consideration of the conditional use permit applications is subject not only to Minnesota law governing the City's action on a conditional use application, but also restricted by federal law under the Telecommunications Act of 1996.

**1. *Federal law limits certain local zoning regulations.*** The City's zoning decisions are restricted by several provisions of the federal telecommunications laws. Generally, these laws, which have been upheld by federal courts, prohibit any state or local government from enacting ordinances or resolutions prohibiting, or having the effect of prohibiting, the placement, construction, or modification of communication towers. Further, the federal telecommunication laws prohibit a local government from denying or regulating a communication tower due to concerns about radio frequency emissions if the equipment complies with all FCC rules and regulations. This means that while state and local governments may review the effects of radio frequency emissions, the local authorities may not regulate the siting or construction based on standards that are "more stringent than those promulgated by the FCC." Lastly, municipalities may not "unreasonably discriminate" among "providers of functionally equivalent services. Any denial to "place, construct or modify" cellular sites should be:

1. In writing;
2. Supported by "substantial evidence contained in a written record".

In summary, the federal telecommunications laws prohibit the city from banning or setting restrictions so as to have the effect of prohibiting, any interstate or intrastate telecommunications services within its jurisdiction. However, the City may impose zoning regulations limiting placement and construction standards. While federal law restricts the City from denying a

communication tower on grounds of environmental effect or public health where the service meets the standards of the FCC, the City may impose setback regulations, structural requirements, co-location mandates, obsolete or unused towers, etc. Additionally, when the City owns the land on which the tower is proposed to be located, the City may impose additional restrictions as the landlord of the site to be leased. This is accomplished through its land lease agreement with the provider.

**2. Minnesota law governing standards in considering CUPs.** When a zoning ordinance specifies standards or conditions to apply in determining whether to grant a conditional use permit and the applicant fully complies with the specified standards or conditions, the application for a conditional use may not be denied. The City's decision on an application for a conditional use permit must be based upon a reasonable basis and the City may not act unreasonably, arbitrarily or capriciously. Thus, a denial of a permit is deemed arbitrary, as a matter of law, if the applicant fully complies with all specified standards and conditions set forth for the conditional use permit.

The City's decision to either approve or deny must be based upon legally sufficient reasons and those reasons must have a factual basis in the record. While the City may consider neighborhood opposition to the proposed use, a denial of a conditional use permit based solely on neighborhood opposition will be deemed unreasonable, arbitrary and capricious if the neighborhood opposition is without concrete supporting information and evidence. General objections of opponents of an application for a conditional use permit are not competent evidence to support such a finding. In other words, neighbors' anecdotal comments containing no details and without evidence substantiating such comments are not a legally sufficient or reasonable basis for denying a conditional use application.

Conversely, City Council is free to disregard an expert's opinion when it is presented with conflicting non-expert opinions, including those of area residents, *so long as the reasons are concrete and based on observations, not merely on fear or speculation.*

Finally, zoning regulations are regarded as being aimed primarily at encouraging the most appropriate use of land and conserving property values. However, as a city may consider neighborhood opposition only if based on concrete facts and competent evidence, a city's decision on a conditional use permit application based on property values, must be factually supported by the record. Mere comments that a particular use may affect property values will be deemed unreasonable, arbitrary and capricious if not supported by concrete information to substantiate such a finding.

**3. Apple Valley's CUP conditions.** In regard to conditional use applications, the City must review its applications for compliance with the City's specified standards and conditions for wireless communication towers as set forth in Section 155.385 of the City Code. If an application establishes that it meets all of the specified standards and conditions of Section 155.385, the applicant is entitled to the conditional use permit.

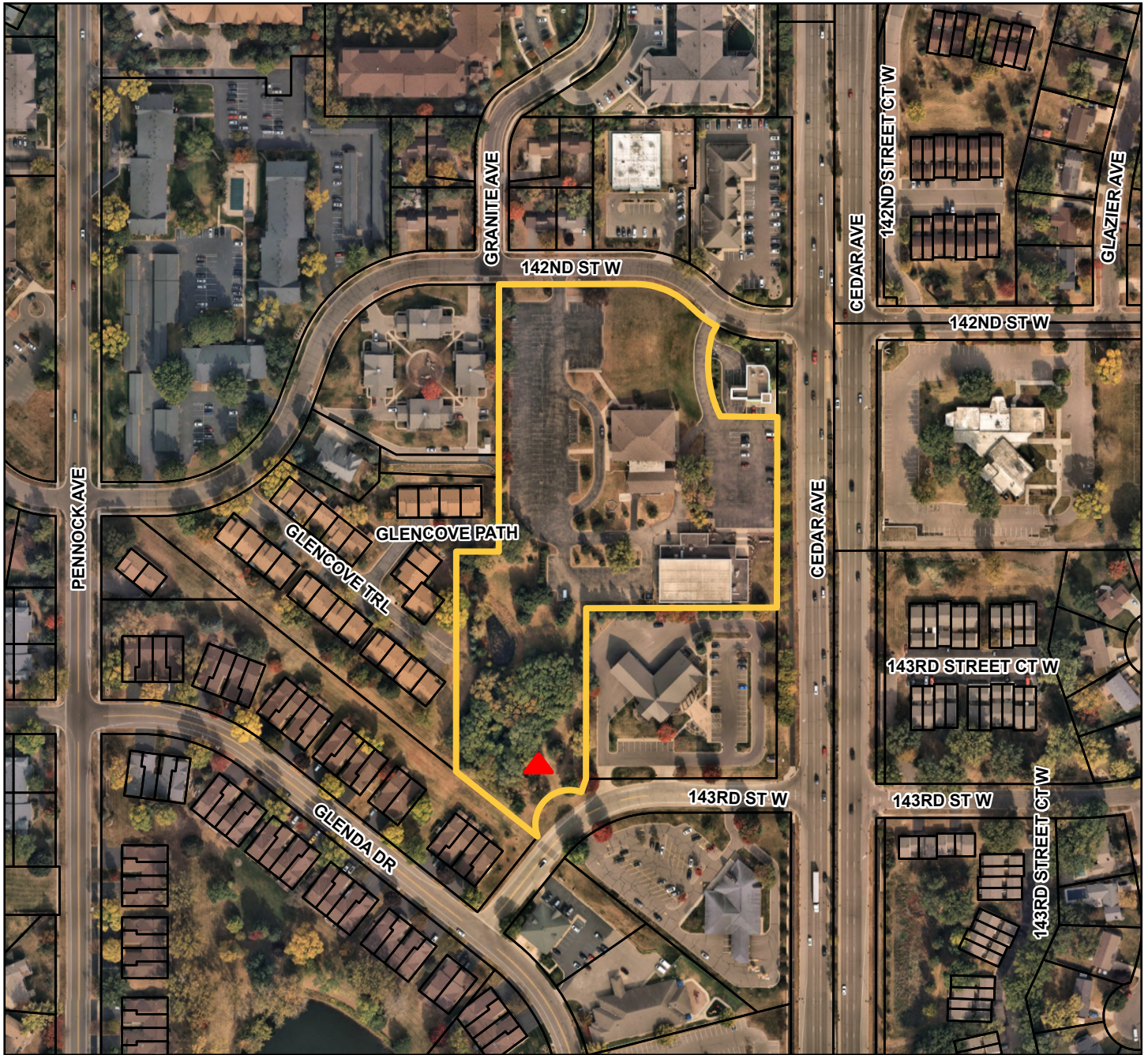
The City must consider each and every standard and condition set forth in Section 155.385 to determine whether the applicant has met all standards and conditions for each of its separate proposed communication towers.

Finally, this office recommends that any approval of the CUP be subject to an additional condition that the telecommunication service applicant provides verification of written final authorization/agreement with the landowner for the placement of the tower on the property.

If you have any further questions or concerns, please do not hesitate to contact me.



SKH/skh





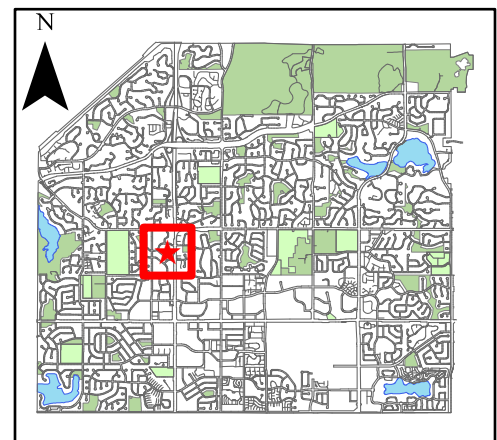
## Bethel Assemblies Church Location Map

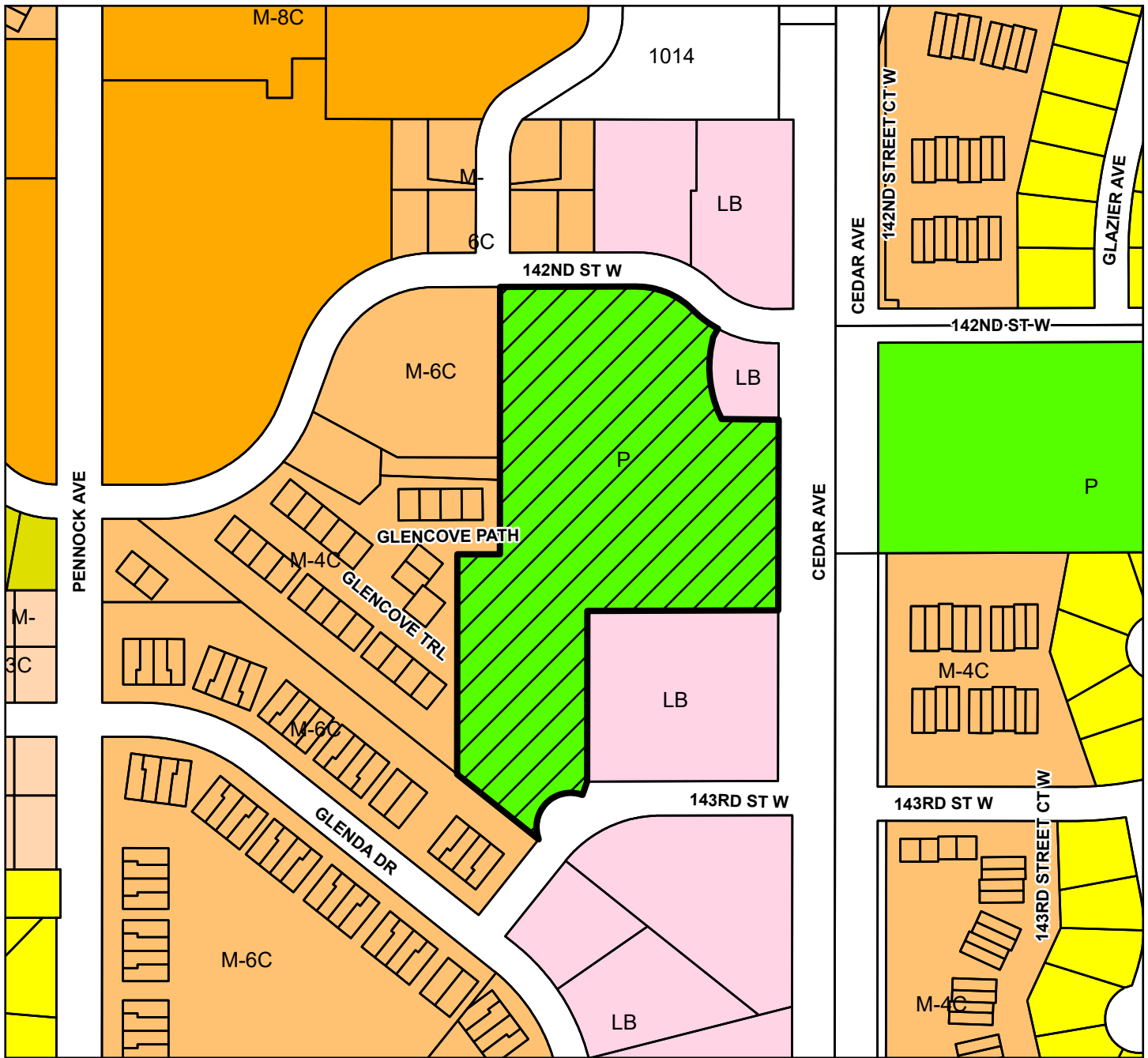
14201 Cedar Avenue

-  Subject Property
-  Proposed Tower Location



0 130 260 Feet





# Bethel Assemblies Church Zoning Map

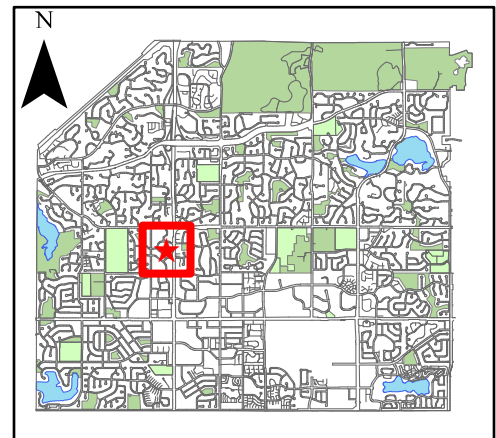
14201 Cedar Avenue



Subject Property



0 130 260 Feet







BUELL CONSULTING, INC.  
720 Main Street, Suite 200  
Saint Paul, MN 55118  
(651) 361-8110  
[www.buellconsulting.com](http://www.buellconsulting.com)

SENT VIA EMAIL

February 2, 2025

Sydnee Stroeing - Associate Planner  
City of Apple Valley  
7100 147<sup>th</sup> Street W  
Apple Valley, MN 55124

**RE: Verizon Wireless / Cell Tower Conditional Use Permit / Site Name: Toffee**

Dear Ms. Stroeing,

Cellco Partnership d/b/a Verizon Wireless is proposing to construct a new cell tower in Apple Valley on the Bethel's Rock Church property. The proposed tower is an 86' monopole with an overall height of 90' including the lightning rod. The tower will be built within a 30' x 25' fenced gravel compound and accessible via a new 12' gravel driveway and approach from 143rd St W.

The purpose of constructing this new cell tower is to enhance the network coverage and capacity for Verizon Wireless customers in the area, addressing the increasing demand for reliable and high-speed wireless communication. With the steady growth of residential and commercial activities in Apple Valley, it has become imperative to offload the capacity of existing sites to ensure seamless connectivity to the Verizon Wireless network.

The design of the cell tower includes a flush mount, in an effort to integrate into the suburban residential environment. Moreover, the selected location for this tower is within a wooded area, which helps minimize the visual impact and preserves the aesthetic value of the surrounding area.

**Site Address: 14201 Cedar Ave, Apple Valley, MN 55124**  
**PID: 01.494.010.1010. See land survey for full legal description.**

The following lists the supplementary documentation included in the application and addresses the relevant portions of § 155.385 *Tower and Antennas Site Design and Maintenance* of the Apple Valley zoning ordinance.

**Supplementary Documentation:**

- Land Use Development Application
- Deposit Agreement
- Co-location Letter of Intent
- Construction Drawings
- Land Survey
- Fall Letter



**§ 155.385 – Tower and Antennas Site Design and Maintenance**

**A. Co-location requirements:**

- 1) As shown in Attachment I, the only existing wireless facility is approximately 0.5 miles west at the Apple Valley High School football stadium. The available ACL is approximately 45' which does not satisfy the required 78' and 84' ACLs. It is also only 0.9 miles from the nearest existing site. Furthermore, the buildings within the radius are all between one and four stories which would not achieve the necessary height.

**B. Tower Construction Requirements**

- 1) The proposed tower is a flush mounted monopole designed to blend into the surrounding area. *See construction drawings pages T-1 and A-4.*
- 2) The proposed tower will comply with applicable provisions of this code.
- 3) Tower and accessory facilities are designed in accordance with 2020 MN Building code. *See construction drawings pages T-1.*
- 4) Tower and accessory facilities are designed in accordance with 2023 NFPA70 (NEC). *See construction drawings pages T-1.*
- 5) Proposed tower is built with galvanized steel intended to resistant corrosion.
- 6) Proposed tower is designed to accommodate an additional carrier at the 60' ACL. Note, the flush mount design requires radios to be placed below the antennas making 60' is the next highest available ACL. The 25' x 30' compound will also accommodate an additional carrier's ground equipment.
- 7) The compound is surrounded by a locked 6' chain link barbed-wire fence and not climbable.
- 8) In addition to the flush mounted design, the tower will be painted to match the adjacent church building. Locating it in the wooded area also conceals the ground equipment and partially shields the tower.
- 9) No advertising or signage will be placed on the tower or compound fencing other than what is required by applicable regulatory agencies.
- 10) Tower will not require any lighting.
- 11) Tower and appurtenances will not extend into the right-of-way, public street, highway, or sidewalk.
- 12) Applicant holds a minimum of \$2M in liability insurance.
- 13) Tower will be removed and restored within 12-months of cessation of operations per ordinance.
- 14) Additional submittal requirements.
  - a) ASR and FAA approval are in progress and applicant request it be a condition of permit.
  - b) See construction drawings, signed by Joshua Herzog, PE (License# 42392).
  - c) See Co-location Letter of Intent.

**E. The parcel is zoned Institutional (P). As shown on page A-1 of the construction drawings, the tower meets the 1.5x fall zone setback requirement of 70'-6". The nearest structure on a neighboring property, shown on Attachment II, is approximately 153' from the tower, which is within the required 2x fall zone setback of 94'.**

- 1) Fall zone:
  - a) Fall zone is 50% of tower height or 43'.
  - b) Effective fall zone including 4' lightning rod is 47'.
- 2) See fall zone letter from tower manufacture, Sabre Industries.



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Thank you in advance for your time in reviewing our application and please do not hesitate to contact me via email or the number below with any questions or requests for further information.

Sincerely,

A handwritten signature in black ink that reads "Blair Ransom".

**Blair Ransom**

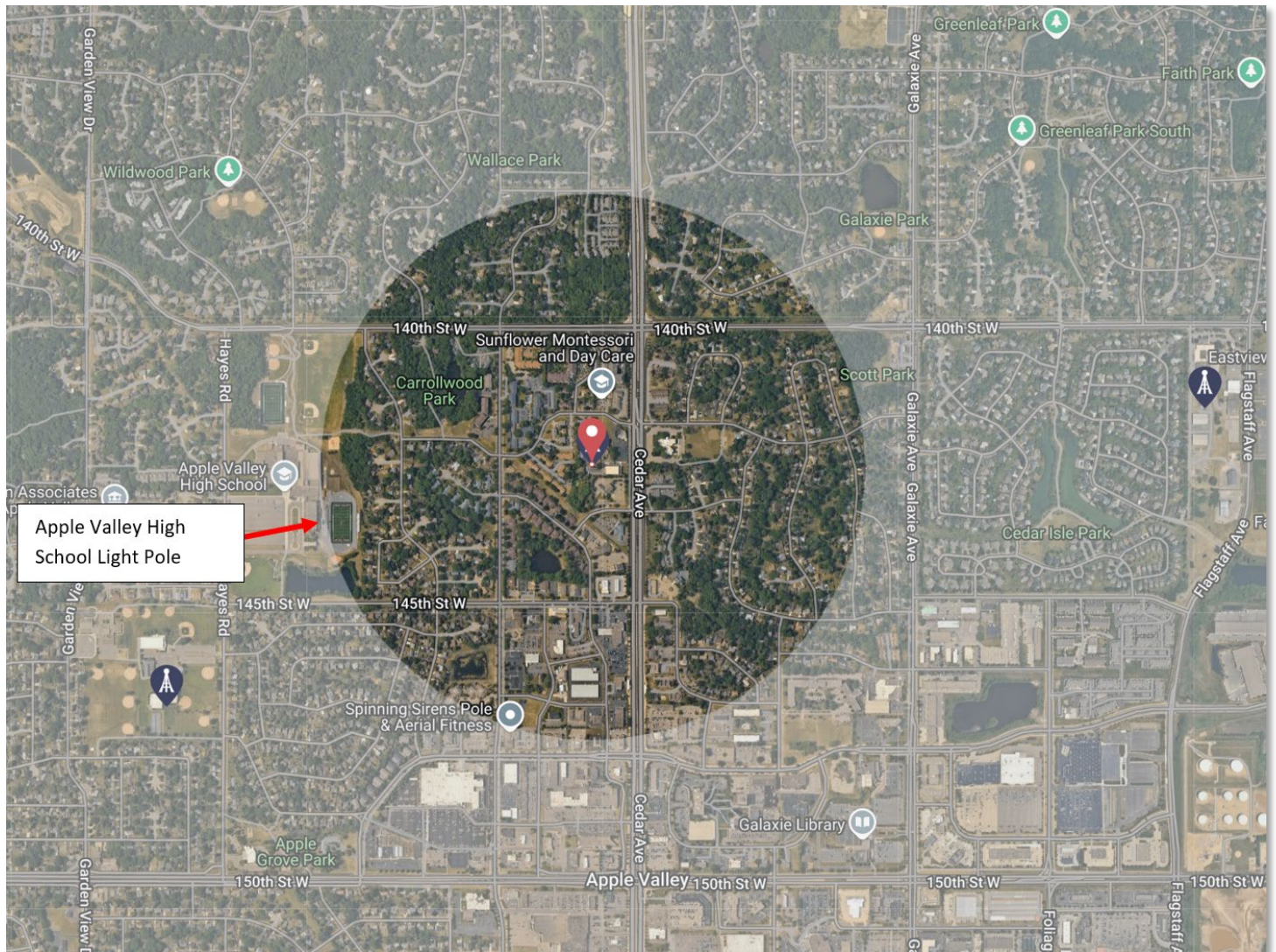
Site Development Agent *on behalf of The Towers, LLC d/b/a Vertical Bridge*

Cell: 612-875-1808

Email: [b.ransom@grahamredev.com](mailto:b.ransom@grahamredev.com)



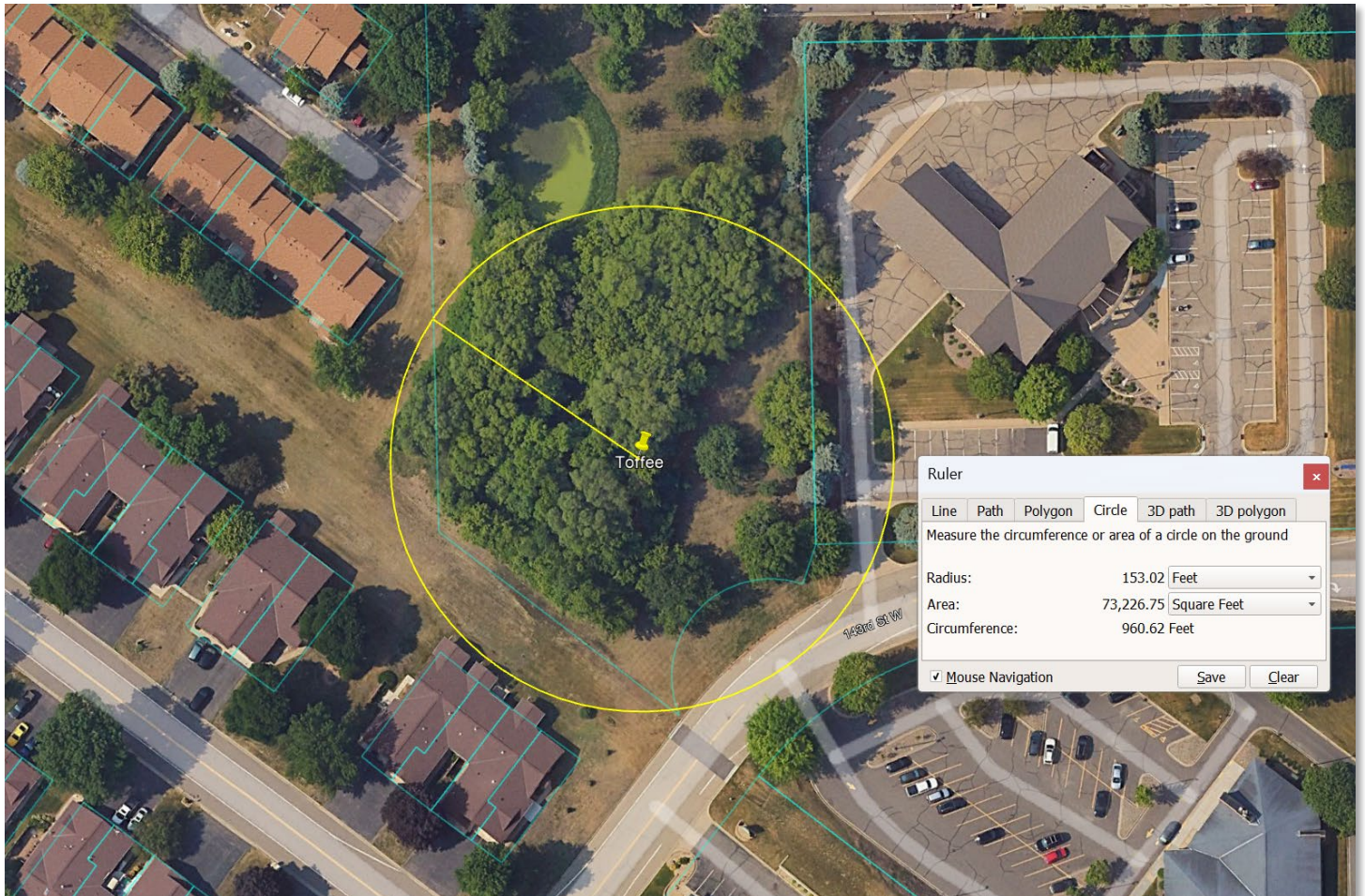
## ATTACHMENT I



*1/2-mile radius*



## ATTACHMENT II





MIN TOFFEE NEW BUILD

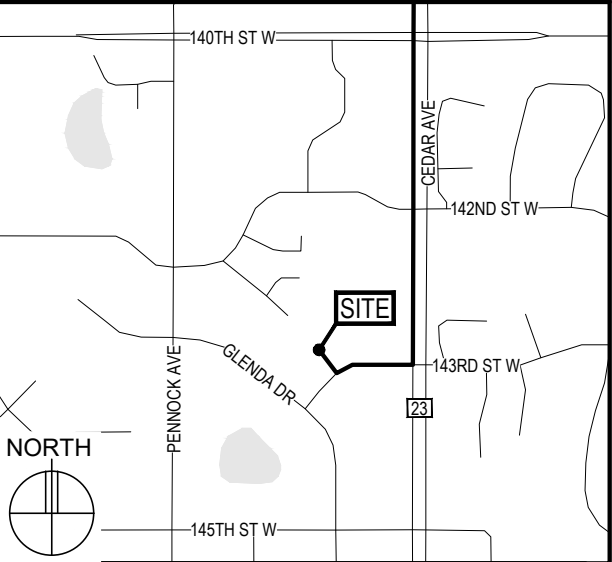
PROJECT INFORMATION

SITE NAME:	MIN TOFFEE
SITE ADDRESS:	CEDAR AVENUE APPLE VALLEY, MN 55124
COUNTY:	DAKOTA
LATITUDE:	N 44° 44' 30.69" (NAD83)
LONGITUDE:	W 93° 13' 11.22"
DRAWING BASED ON RFDS DATED:	09-27-24
CONSTRUCTION TYPE:	IIB
SITE AREA:	30' x 25' = 750 S.F.
UTILIZED CODES:	2020 MN BUILDING CODE & 2023 NFPA 70

SHEET INDEX

SHEET	SHEET DESCRIPTION
T-1	PROJECT INFORMATION, TOWER ELEVATION & SHEET INDEX
A-1	SITE PLAN & DETAIL INDEX
A-2	ENLARGED SITE PLAN
A-3	ANTENNA AND COAX KEY, CABLE BRIDGE PLAN & NOTES
A-4	MOUNT BRACKET DETAILS
A-5	OUTLINE SPECIFICATIONS
G-1	GROUNDING & UTILITY NOTES
G-2	GROUNDING PLAN & GROUNDING DETAIL INDEX
U-1	SITE UTILITY PLANS & NOTES
-	SURVEY

VICINITY MAP



MAP DATA ©2025 GOOGLE

LOCATION SCAN



ISSUE SUMMARY

REV	DESCRIPTION	SHEET/DETAIL
A	ISSUED FOR REVIEW	ALL
B	ISSUED FOR OWNER SIGNOFF	ALL
C	ISSUED FOR OWNER SIGNOFF	ALL

DEPARTMENTAL APPROVALS

JOB TITLE	NAME	DATE
RF ENGINEER	JORDAN ALSTAD	10-23-24
OPERATIONS MANAGER		
CONSTRUCTION ENGINEER	BRIAN NELSEN	10-23-24

LESSOR / LICENSOR APPROVAL

SIGNATURE	PRINTED NAME	DATE
LESSOR / LICENSOR: PLEASE CHECK THE APPROPRIATE BOX BELOW		
<input type="checkbox"/> NO CHANGES.	<input type="checkbox"/> CHANGES NEEDED. SEE COMMENTS.	

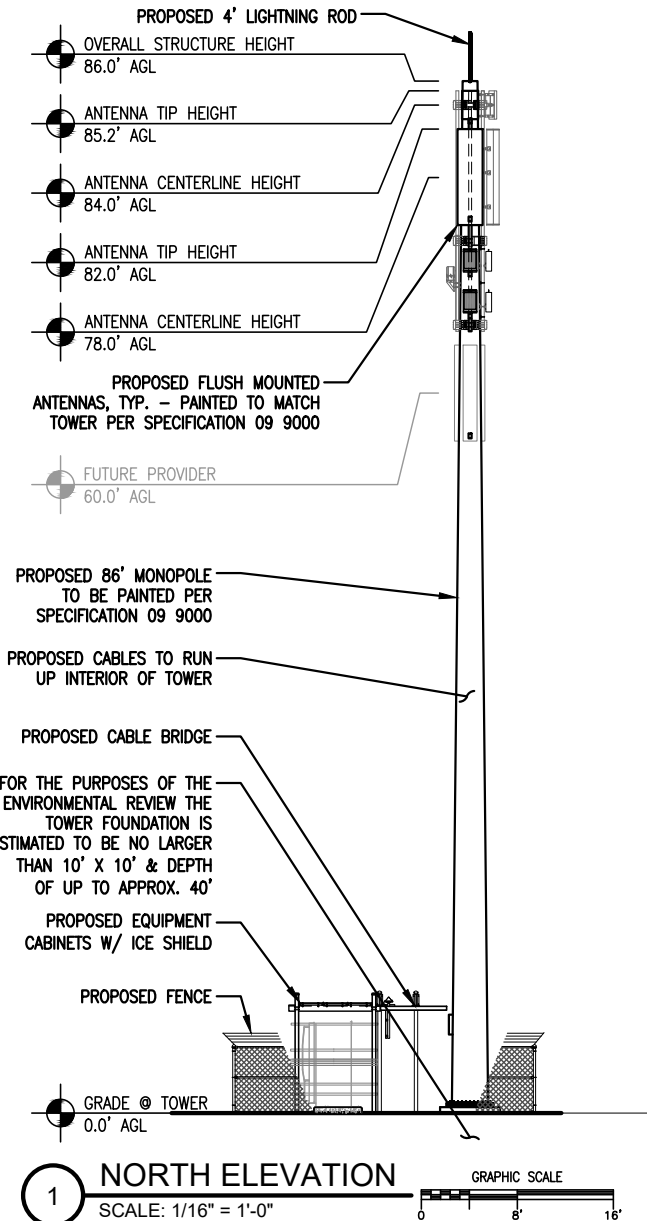
CONTACTS

LESSOR / LICENSOR:	BETHEL ASSEMBLY OF GOD 14201 CEDAR AVENUE APPLE VALLEY, MN 55124 JOE McCORMACK (952) 715-6321
LESSEE:	VERIZON WIRELESS 10801 BUSH LAKE ROAD BLOOMINGTON, MN 55438 CONSTRUCTION DEPT (952) 946-4700
POWER UTILITY COMPANY CONTACT:	DAKOTA ELECTRIC ASSOCIATION 4300 220TH STREET WEST FARMINGTON, MN 55024 COREY WILLERT (651) 463-6212
TELCO UTILITY COMPANY CONTACT:	T.B.D.
DESIGNER:	DESIGN 1 OF EDEN PRAIRIE 9973 VALLEY VIEW ROAD EDEN PRAIRIE, MN 55344 (952) 903-9299
SURVEYOR:	WIDSETH 610 FILLMORE STREET - PO BOX 1028 ALEXANDRIA, MN 56308-1028 320-762-8149
STRUCTURAL ENGINEER:	T.B.D
GEOTECHNICAL ENGINEER:	T.B.D

NOTES:  
1. THESE DRAWINGS DO NOT CONSTITUTE A WARRANTY, EXPRESSED OR IMPLIED, OF THE ACCURACY OF THE STRUCTURAL ANALYSES AND THE PERFORMANCE OF THE COMPLETED CONSTRUCTION AS SHOWN ON THESE DOCUMENTS AND THE STRUCTURAL ANALYSES.  
2. NO STRUCTURAL ANALYSIS FOR THE TOWER, MOUNTS OR FOUNDATION HAVE BEEN PERFORMED AS PART OF THESE DRAWINGS. THE STRUCTURAL ANALYSIS FOR THE TOWER AND FOUNDATION ARE BY THE TOWER SUPPLIER AND SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF THE PROJECT.  
3. PLEASE COORDINATE ANY STRUCTURAL CONCERNS/MATTERS OR ANY LOADING MODIFICATIONS TO THE CONSULTANT WHO AUTHORED THE ANALYSIS AND NOTIFY DESIGN 1 IMMEDIATELY OF THE ISSUE.  
4. TOWER FOUNDATION, EQUIPMENT SLAB, GENERATOR FOUNDATION, AND THE ACCESS DRIVE TO BE EXCAVATED AND CONSTRUCTED IN ACCORDANCE WITH RECOMMENDATIONS AND SPECIFICATIONS OF THE GEOTECHNICAL REPORT WHICH IS NOT INCLUDED IN THIS PACKAGE. DISCREPANCIES BETWEEN THE REPORT AND THE OTHER DOCUMENTS TO BE IMMEDIATELY REPORTED TO VERIZON WIRELESS AND THE DESIGNER.

TOWER ELEVATION

- NOTES:
- TOWER TO BE ERECTED AND INSTALLED IN ACCORDANCE WITH TOWER MANUFACTURER'S DRAWINGS NOT INCLUDED WITH THIS PACKAGE. DISCREPANCIES BETWEEN TOWER DRAWINGS AND DESIGNER DRAWINGS TO BE REPORTED TO VERIZON WIRELESS AND THE DESIGNER IMMEDIATELY.
  - CONTRACTOR TO ENSURE TIP OF ANTENNAS DO NOT EXCEED TOWER HEIGHT.
  - ELEVATION IS SHOWN FOR GENERAL DIAGRAMMATIC PURPOSES ONLY. DO NOT SCALE.
  - THE STRUCTURAL ANALYSIS FOR THE MOUNTS (BY OTHERS) SHALL BE PER THE VERIZON NETWORK STANDARD NSTD-445. ALL LOADING AND DESIGN SHALL BE PER THE TIA-222-H STANDARD.
  - CONSTRUCTION SHALL COMPLY WITH ALL REQUIREMENTS OF THE MINNESOTA BUILDING CODE.
  - CONSTRUCTION SHALL COMPLY WITH ALL REQUIREMENTS OF THE APPLE VALLEY CITY CODE.
  - NO SITE WORK MAY BEGIN WITHOUT CITY APPROVAL AND/OR PERMIT.
  - A (NRMP) NATURAL RESOURCES MANAGEMENT PERMIT IS REQUIRED. THE PERMIT MAY BE OBTAINED THROUGH THE BUILDING INSPECTION DEPARTMENT ONCE THE NRMP PERMIT HAS BEEN ISSUED, PLEASE CONTACT SAM BERGER FOR A SITE INSPECTION PRIOR TO COMMENCING AND GRADING OR EARTH WORK (952-953-2462)



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BLOOMINGTON, MN 55438  
(952) 946-4700

PROJECT  
17326166  
LOC. CODE: 265804

MIN  
TOFFEE

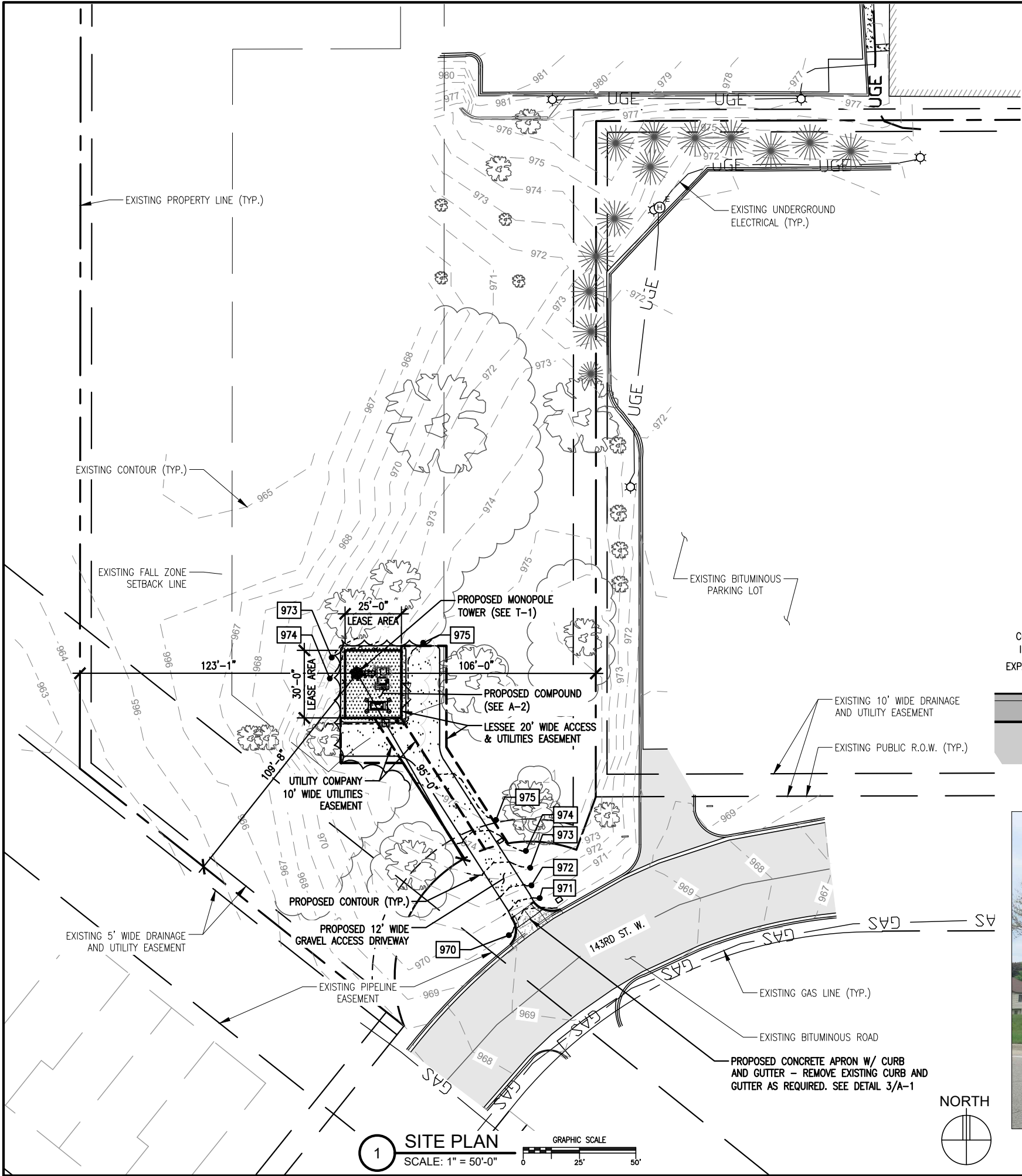
CEDAR AVENUE  
APPLE VALLEY, MN 55124

SHEET CONTENTS:  
CONTACTS  
ISSUE SUMMARY  
SHEET INDEX  
DEPARTMENTAL APPROVALS  
LESSOR APPROVAL  
PROJECT INFORMATION  
AREA & VICINITY MAPS  
GENERAL NOTES

DRAWN BY:	CJW
CHECKED BY:	BMS
REV. A	10-15-24
REV. B	11-12-24
REV. C	01-13-25

T-1

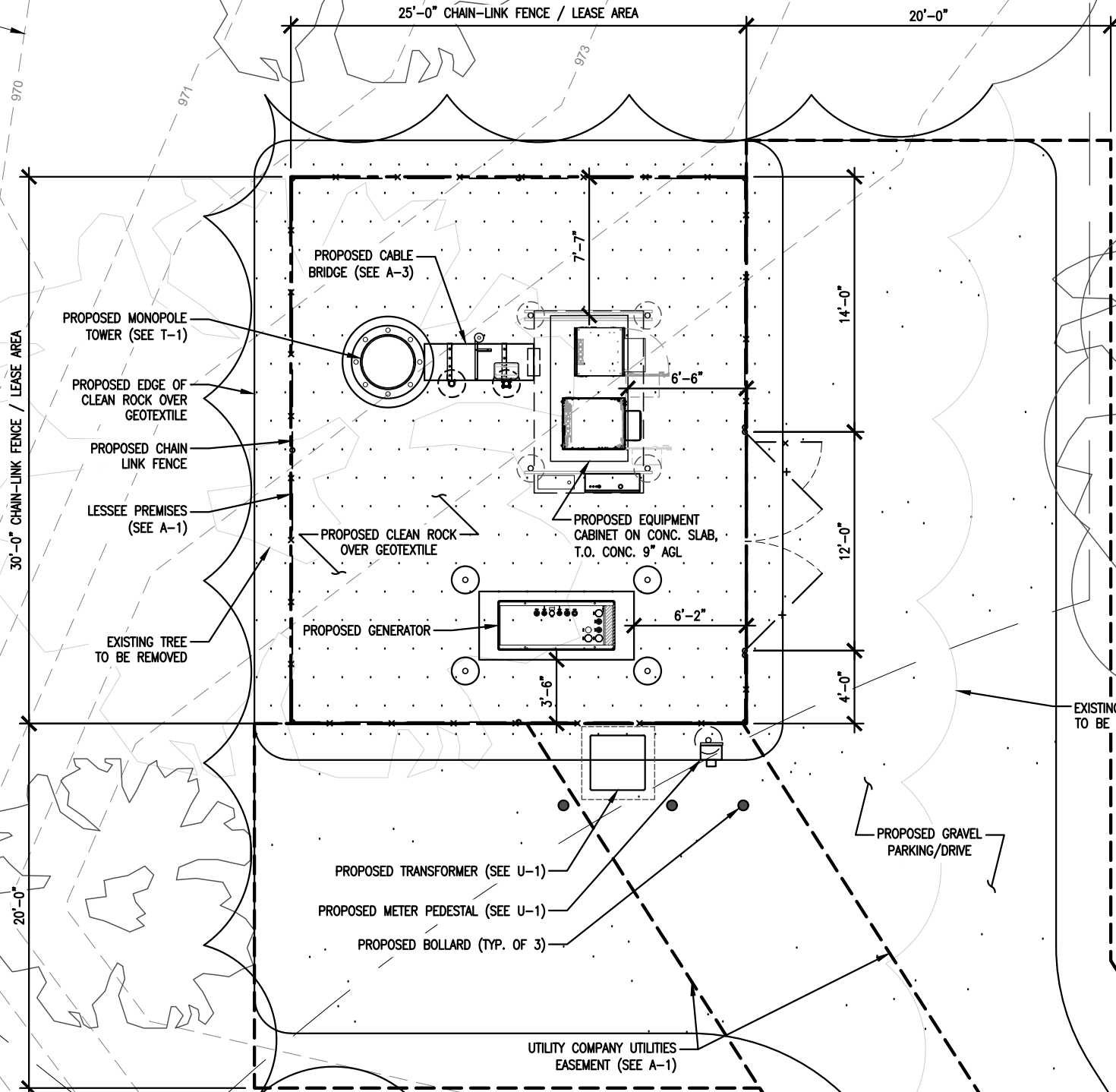




EXISTING CONTOUR (TYP.)

EXISTING FALL ZONE  
SETBACK LINE

EXISTING TREE (TYP.)



1 ENLARGED SITE PLAN  
SCALE: 1/8" = 1'-0"



**DESIGN 1**

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EDEN PRAIRIE, MN 55344  
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**verizon**

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(952) 946-4700

PROJECT  
17326166  
LOC. CODE: 265804

MIN  
TOFFEE

CEDAR AVENUE  
APPLE VALLEY, MN 55124

SHEET CONTENTS:  
ENLARGED SITE PLAN

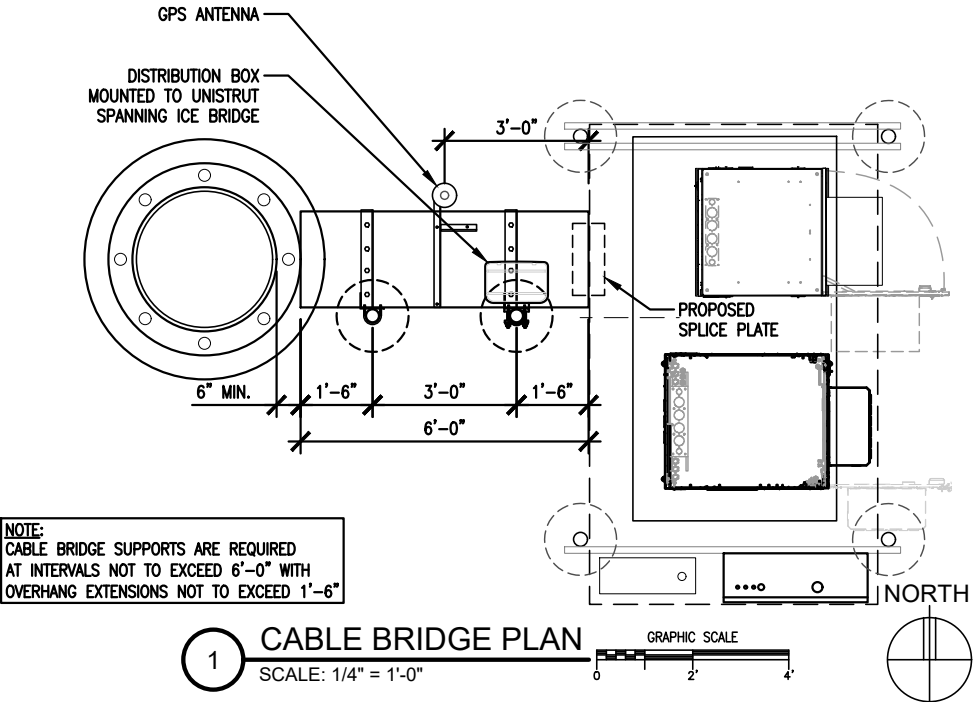
DRAWN BY:	CJW
CHECKED BY:	BMS
REV. A	10-15-24
REV. B	11-12-24
REV. C	01-13-25

A-2

ANTENNA KEY													EQUIPMENT KEY			
	AZIMUTH	POSITION	FUNCTION	QTY	MANUFACTURER	MODEL	MOD TYPE	ANTENNA LENGTH	ANTENNA TIP	ANTENNA CENTER	ELEC DOWNTILT	MECH DOWNTILT	QTY	MANUFACTURER	MODEL	RRU PORT
"X" SECTOR	350°	1.0	TX/RX1	1	ERICSSON	AIR6419	C-BAND	28.3"	85.2'	84.0'	-1°	0°	-			
	350°	2.1	TX/RX1	1	JMA WIRELESS	MX12FHG865-01	700/850	96"	82.0'	78.0'	2°	0°	1	ERICSSON	4490	1
	-	2.2	TX/RX2	-	-	2ND PORT	700/850	-	-	-	-	-	-	-	-	2
	-	2.3	TX/RX3	-	-	3RD PORT	700/850	-	-	-	-	-	-	-	-	3
	-	2.4	TX/RX4	-	-	4TH PORT	700/850	-	-	-	-	-	-	-	-	4
	-	2.5	TX/RX1	-	-	5TH PORT	PCS	-	-	-	2°	-	1	ERICSSON	4890	1
	-	2.6	TX/RX2	-	-	6TH PORT	PCS	-	-	-	-	-	-	-	-	2
	-	2.7	TX/RX3	-	-	7TH PORT	PCS	-	-	-	-	-	-	-	-	3
	-	2.8	TX/RX4	-	-	8TH PORT	PCS	-	-	-	-	-	-	-	-	4
	-	2.9	TX/RX1	-	-	9TH PORT	AWS	-	-	-	2°	-	-	-	-	5
	-	2.10	TX/RX2	-	-	10TH PORT	AWS	-	-	-	-	-	-	-	-	6
	-	2.11	TX/RX3	-	-	11TH PORT	AWS	-	-	-	-	-	-	-	-	7
	-	2.12	TX/RX4	-	-	12TH PORT	AWS	-	-	-	-	-	-	-	-	8
"Y" SECTOR	85°	1.0	TX/RX1	1	ERICSSON	AIR6419	C-BAND	28.3"	85.2'	84.0'	-1°	0°	-			
	85°	2.1	TX/RX1	1	JMA WIRELESS	MX12FHG865-01	700/850	96"	82.0'	78.0'	2°	0°	1	ERICSSON	4490	1
	-	2.2	TX/RX2	-	-	2ND PORT	700/850	-	-	-	-	-	-	-	-	2
	-	2.3	TX/RX3	-	-	3RD PORT	700/850	-	-	-	-	-	-	-	-	3
	-	2.4	TX/RX4	-	-	4TH PORT	700/850	-	-	-	-	-	-	-	-	4
	-	2.5	TX/RX1	-	-	5TH PORT	PCS	-	-	-	2°	-	1	ERICSSON	4890	1
	-	2.6	TX/RX2	-	-	6TH PORT	PCS	-	-	-	-	-	-	-	-	2
	-	2.7	TX/RX3	-	-	7TH PORT	PCS	-	-	-	-	-	-	-	-	3
	-	2.8	TX/RX4	-	-	8TH PORT	PCS	-	-	-	-	-	-	-	-	4
	-	2.9	TX/RX1	-	-	9TH PORT	AWS	-	-	-	2°	-	-	-	-	5
	-	2.10	TX/RX2	-	-	10TH PORT	AWS	-	-	-	-	-	-	-	-	6
	-	2.11	TX/RX3	-	-	11TH PORT	AWS	-	-	-	-	-	-	-	-	7
	-	2.12	TX/RX4	-	-	12TH PORT	AWS	-	-	-	-	-	-	-	-	8
"Z" SECTOR	250°	1.0	TX/RX1	1	ERICSSON	AIR6419	C-BAND	28.3"	85.2'	84.0'	-1°	0°	-			
	250°	2.1	TX/RX1	1	JMA WIRELESS	MX12FHG865-01	700/850	96"	82.0'	78.0'	2°	0°	1	ERICSSON	4490	1
	-	2.2	TX/RX2	-	-	2ND PORT	700/850	-	-	-	-	-	-	-	-	2
	-	2.3	TX/RX3	-	-	3RD PORT	700/850	-	-	-	-	-	-	-	-	3
	-	2.4	TX/RX4	-	-	4TH PORT	700/850	-	-	-	-	-	-	-	-	4
	-	2.5	TX/RX1	-	-	5TH PORT	PCS	-	-	-	2°	-	1	ERICSSON	4890	1
	-	2.6	TX/RX2	-	-	6TH PORT	PCS	-	-	-	-	-	-	-	-	2
	-	2.7	TX/RX3	-	-	7TH PORT	PCS	-	-	-	-	-	-	-	-	3
	-	2.8	TX/RX4	-	-	8TH PORT	PCS	-	-	-	-	-	-	-	-	4
	-	2.9	TX/RX1	-	-	9TH PORT	AWS	-	-	-	2°	-	-	-	-	5
	-	2.10	TX/RX2	-	-	10TH PORT	AWS	-	-	-	-	-	-	-	-	6
	-	2.11	TX/RX3	-	-	11TH PORT	AWS	-	-	-	-	-	-	-	-	7
	-	2.12	TX/RX4	-	-	12TH PORT	AWS	-	-	-	-	-	-	-	-	8
ADDITIONAL:											CABLE BRIDGE = 6'					
(2) DISTRIBUTION BOX, MODEL RVZDC-6627-PF-48 (1 ON TOWER, 1 ON CABLE BRIDGE)											RAD CENTER = 70'					
(9) HUBER+SUHNER HYBRID TRUNK CABLE MODEL #85205112 (DIST BOX ON CABLE BRIDGE TO DIST BOX ON TOWER)											EXTRA = 14'					
(24) ANDREW COAX JUMPER, MODEL LDF4-50A, 1/2"Ø FOAM DIELECTRIC, 6' EACH (RRU TO ANTENNA)											TOTAL = 90'					
(12) ANDREW COAX JUMPER, MODEL LDF4-50A, 1/2"Ø FOAM DIELECTRIC, 9' EACH (RRU TO ANTENNA)																
(1) POWERSHIFT EQUIPMENT, DC-DC UP-CONVERTER UNITS (IN CABINET)																
(5) POWERSHIFT EQUIPMENT, DC-DC UP-CONVERTER MODULE (IN CABINET)																

2

PROPOSED KEYS



DESIGN1

9973 VALLEY VIEW RD.  
EDEN PRAIRIE, MN 55344  
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verizon

10801 BUSH LAKE ROAD  
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(952) 946-4700

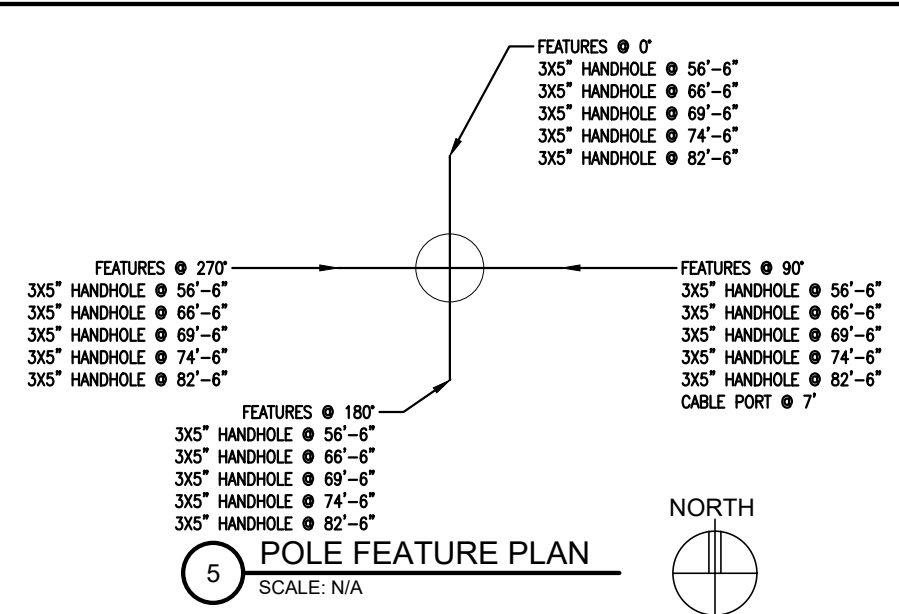
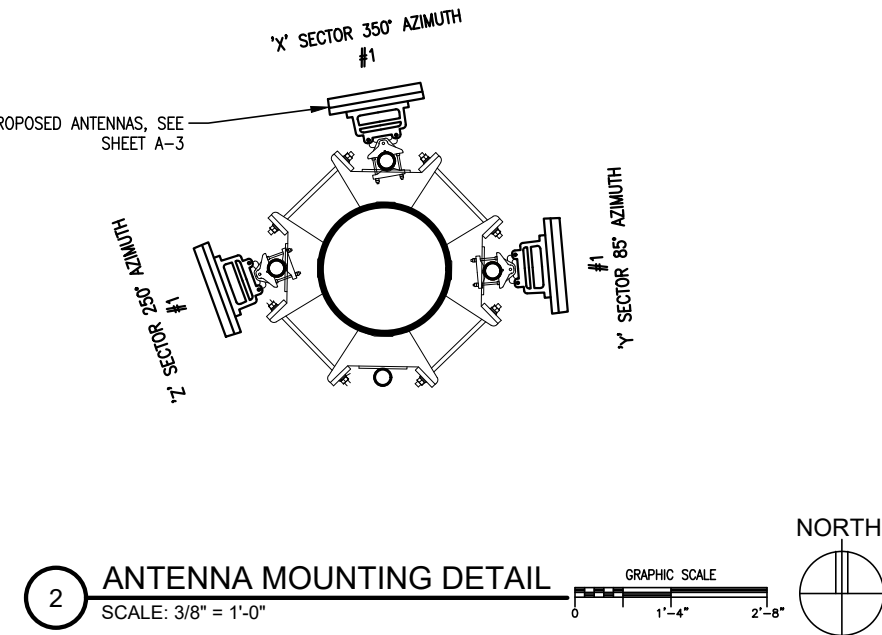
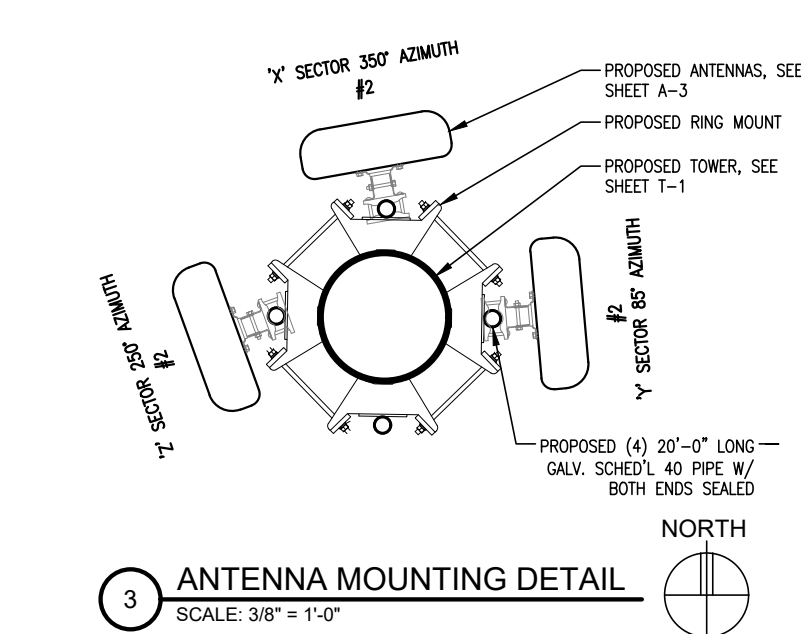
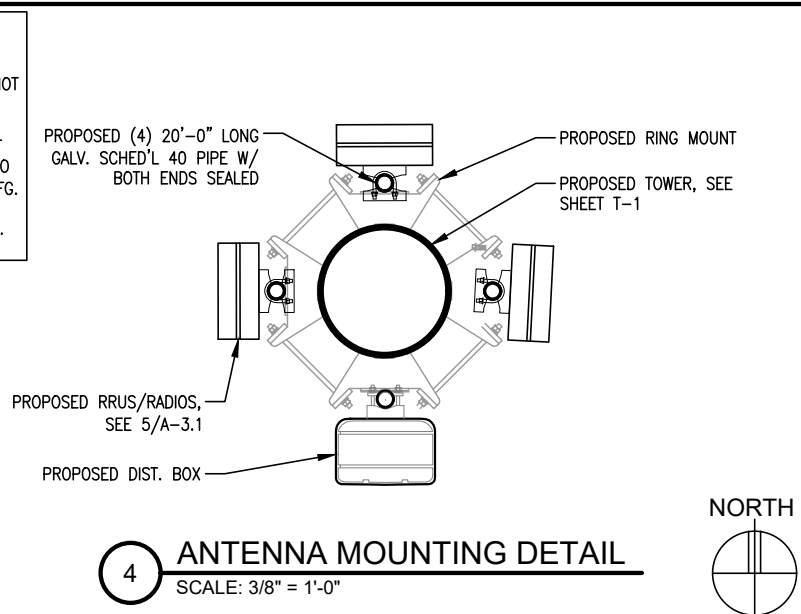
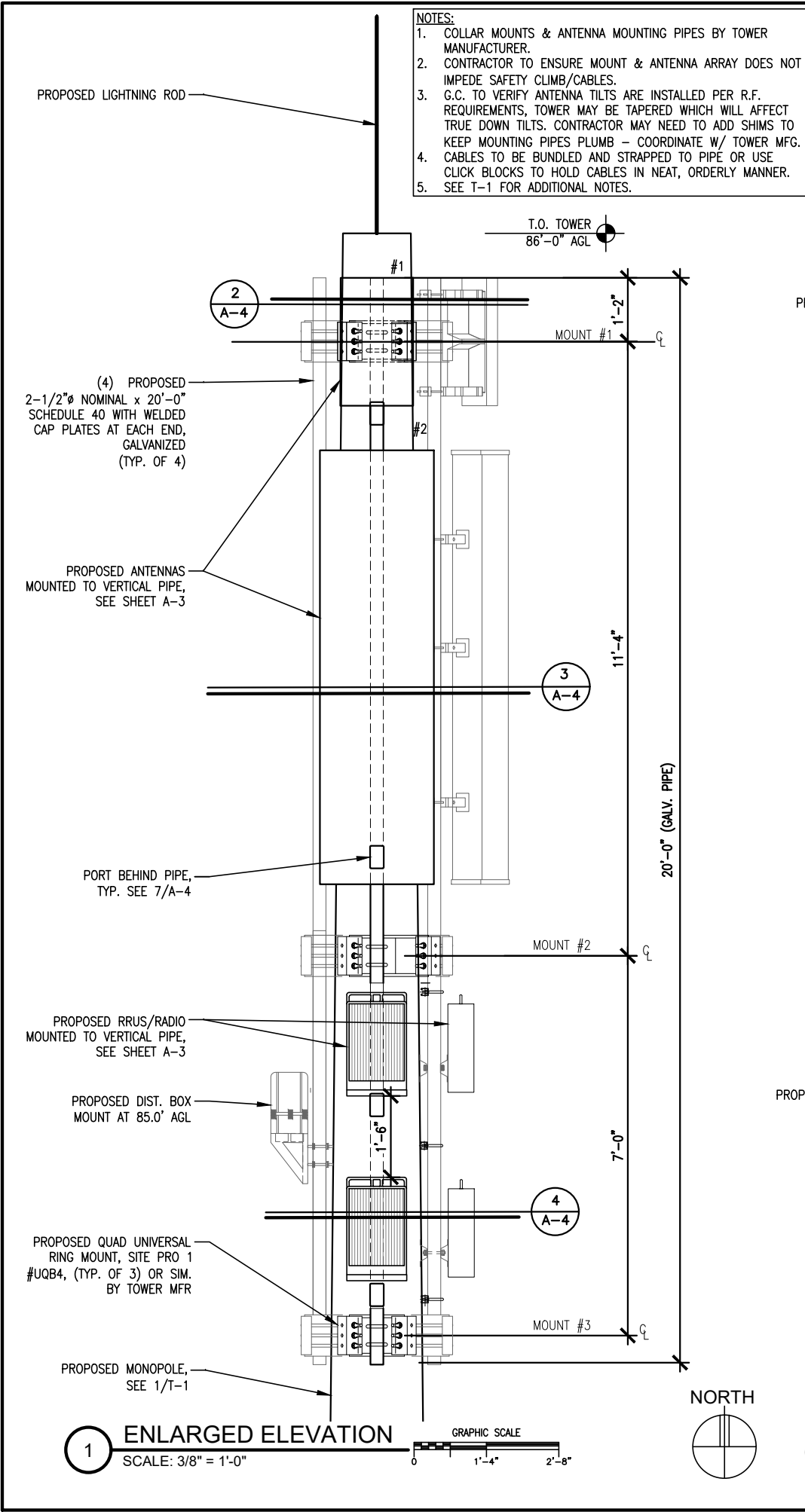
PROJECT  
17326166  
LOC. CODE: 265804

MIN  
TOFFEE

CEDAR AVENUE  
APPLE VALLEY, MN 55124

SHEET CONTENTS:  
PROPOSED KEYS  
CABLE BRIDGE PLAN

DRAWN BY: CJW  
CHECKED BY: BMS  
REV. A 10-15-24  
REV. B 11-12-24  
REV. C 01-13-25



**DESIGN1**

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EDEN PRAIRIE, MN 55344  
(952) 903-9299  
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**verizon**

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LOC. CODE: 265804

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TOFFEE

CEDAR AVENUE  
APPLE VALLEY, MN 55124

SHEET CONTENTS:  
MOUNT BRACKET DETAILS

DRAWN BY:	CJW
CHECKED BY:	BMS
REV. A	10-15-24
REV. B	11-12-24
REV. C	01-13-25

A-4



GENERAL CONDITIONS

00 0001 PERMITS

Construction Permit shall be acquired by, or in the name of, Verizon Wireless, to be hereinafter referred to as the OWNER. Other permits shall be acquired by the Contractor.

00 0002 SURVEY FEES

Survey shall be furnished by the Designer. Layout Staking shall be coordinated with the Surveyor per "Request For Quote", (RFQ).

01 0010 INSURANCE & BONDS

Contractor is to furnish Insurance certificates for themselves and subcontractors. Contractor will provide any required Bonding. Contractor agrees to warranty the project for (1) one year after completion.

01 0400 SUPERVISION & COORDINATION

Contractor shall provide supervision throughout the Project, coordinating the work of the Subcontractors, and delivery & installation of Owner–furnished items. Contractor's responsibilities include arranging & conducting of Underground Utilities Locates. Contractor shall comply with municipal, county, state and/or federal codes, including OSHA.

01 0600 TESTING

Contractor is responsible for providing Agencies with sufficient notice to arrange for Test Samples (i.e.: Concrete Cylinders), and for Special Inspections.

01 2000 MEETINGS

Contractor shall make themselves aware of, and attend, meetings with the Owner and/or Designer. Contractor is to attend a Pre–Construction Meeting of all parties involved, prior to the start of construction.

01 5100 TEMPORARY UTILITIES

Contractor shall maintain the job site in a clean and orderly fashion, providing temporary sanitary facilities, waste disposal, and security (fence area or trailer module).

01 5300 EQUIPMENT RENTAL

Contractor shall furnish equipment necessary to expedite work.

01 5900 FIELD OFFICES & SHEDS

Contractor shall provide security (fence area or trailer module) for tools and materials that remain overnight on site.

01 7000 CLEAN UP & CLOSE OUT

Contractor shall clean up the Site to the satisfaction of Owner. Contractor shall complete the items listed on the Owner's Punch List, and shall sign and return the List to the Owner. Contractor shall maintain a set of drawings during the job, on which changes shall be noted in red ink. A full set of redlined drawings (As–Built)s are to be given to the Designer at Job completion and submit "construction work complete memo" to Construction Engineer.

01 8000 TRUCKS & MILEAGE

Contractor shall provide transportation for their own personnel.

01 8300 TRAVEL TIME & PER DIEM

Contractor shall provide room and board for their own personnel, and reasonable time for traveling to & from job site.

01 9200 TAXES

Contractor shall pay sales and/or use tax on materials and taxable services.

SITWORK

02 1000 SITE PREPARATION

Contractor is to mobilize within 7 calendar days of the Owner issuing a 'START' document. Contractor will immediately report to Designer if any environmental considerations arise. Site shall be scraped to a depth of 3" minimum to remove vegetative matter, and scrapings shall be stockpiled on site. Excess material to be disposed of in accordance with RFQ.

02 1100 ROAD IMPROVEMENT & CONSTRUCTION

Contractor shall furnish materials for, and install, a twelve foot (12') wide gravel roadway from the road access to the work area, for truck and crane access to site. Base course shall be 6" deep, 3"+ crushed rock, topped with 3" deep, 1½" crushed rock, topped with 3" deep MN Class 5 Aggregate, (3/4" minus with binder) or Driveway Mix. Contractor shall furnish & install culverts as necessary to prevent ponding or washing–out from normal surface runoff. Contractor shall obtain city, county, state and/or federal approvals for road approach and culvert work within or adjacent to right–of ways. Road shall be graded smooth, and edges dressed, at job completion.

02 1500 TREE REMOVAL

Contractor shall furnish all labor, supervision, supplies, tools, equipment and other means necessary for performing and completing the work shown in the drawings. The contractor shall take special care so as not to damage any utility lines in the process of cutting and removing the tree. The contractor shall maintain proper barricades and watchpersons to guide traffic during the cutting and removal of the tree if required. The contractor shall be responsible for removing branches, foliage, trunk, roots, etc., from the construction site as soon as the tree has been cut. If any damaged occurs during the removal of a tree, the contractor shall replace the damaged portions at his/her own expense.

Stump removal shall include disposal of vegetative matter in accordance with RFQ and stump voids backfilled/compacted with adequate soils.

02 2000 EARTHWORK & EXCAVATION

Excavation material shall be used for surface grading as necessary; excess to be stockpiled on site. Excess material to be disposed of in accordance with RFQ. For dewatering excavated areas, contractor shall utilize sock or sediment filter for filtering of water discharge.

02 5000 PAVING & SURFACING

Gravel paving shall be as described in 02 1100.

02 7800 POWER TO SITE

Contractor shall coordinate the electrical service to the building with the Utility Provider. Conduits shall include pull strings. Underground conduits shall be 2–1/2" Schedule 40 PVC. (schedule 80 PVC under roads and drives) Cable to be 3/0 THWN CU. Trenches shall be backfilled in a timely fashion, using a compactor, and including two (2) detectable ribbons; one each at 3" and 15" above conduit. Service shall be 200 amp, single phase, 120/240 volt. Service type shall be "General Time–Of–Day" if available, and meter base shall be approved by utility provider.

Contractor to provide and install expansion joint sleeve connections to prevent differential movement at utility connections.

02 7900 TELCO TO SITE

Contractor shall provide 2" SDR–11 HDPE conduit for fiber conduit as noted on Drawings when directional boring is utilized. Contractor shall provide 2" schedule 40 PVC conduit and 2" schedule 80 PVC conduit under roadways with large–sweep elbows for fiber conduit as noted on Drawings when hand trenched. Trenches shall be as in 02 7800.

Contractor to provide and install handholes as noted in the Drawings. Additional handholes shall be provided and installed a maximum of 500 feet on center; at 90° bends if directional boring; and every third bend if hand trenched. Handholes size per Drawings and traffic–rated in roadways.

Contractor to provide and install Carlon expansion joint connections at cabinets/shelter location per manufacturer's specifications and recommendations.

02 8000 SITE IMPROVEMENTS

Areas bounded by fence and adjacent to Cabinet Slab shall receive polyethylene geotextile, 200 mesh woven, topped with 3" deep 3/4" to 1 1/2" clean rock (no fines), raked smooth.

02 8001 FENCING

All fence materials and fittings shall be galvanized steel. Fence shall be 6'–0" high x 9 ga. X 2" chain link fabric, w/ 7 ga. bottom tension wire. Corner and Gate posts shall be 2 7/8" O.D. sch 40 steel pipe, driven 60" below grade. Line posts shall be 2 3/8" O.D. sch 40 steel pipe. Top Rails shall be 1 5/8" O.D. steel pipe. Gate frames shall be 1 5/8" O.D. welded pipe. Fence top shall be three (3) strands barbed wire to 7'–0" above grade, canted outward. Bracing shall be 3/8" truss rods and 1 5/8" O.D. pipe mid–rails at corners. Gate latch shall be commercial grade, "Cargo" or equal. Fabric shall extend to within 1" of finish grade. Fence enclosures shall be completed within 7 days of tower erecting and Contractor shall provide for temporary security fence at base of Tower. Existing fences shall be protected against damage during this work, and any damage that may occur shall be repaired or replaced to equal existing pre–construction condition.

02 8500 IRRIGATION SYSTEMS

N/A

02 9000 LANDSCAPING

N/A

CONCRETE

03 1000 CONCRETE FORMWORK

Concrete forms shall be dimensional lumber, modular, or steel.

03 8000 TOWER FOUNDATION

Contractor shall arrange for delivery of anchors, and shall furnish and install materials per Tower Manufacturer Plans. Tower foundation concrete and reinforcing to be per tower manufacturer's specification. Contractor shall comply with the Owner's Standard CONSTRUCTION SPECIFICATIONS MINIMUM CONCRETE STANDARDS.

03 8001 CATHODIC PROTECTION

N/A

03 9000 EQUIPMENT CABINETS/GENERATOR FOUNDATION

Contractor shall furnish & install materials for Equipment Cabinets/Generator foundation. Concrete shall be 6% ±1% air entrained, and 4,000 psi at 28 days. All reinforcing steel is to be Grade 60 (ASTM 615). Anchor bolts are furnished by Contractor. Contractor shall comply with the Owner's Standard CONSTRUCTION SPECIFICATIONS MINIMUM CONCRETE STANDARDS.

MASONRY

N/A

METALS

05 0000 METALS

Contractor will furnish and install steel shapes and fabricated steel items not specifically furnished by Owner, and install Owner–furnished materials. Fabrication and erection of steel items per AISC standards. Welding shall conform to AWS standards. Fabrications shall be shop welded and galvanized before delivery to site unless noted otherwise.

Steel shapes shall meet ASTM A36 and steel pipe ASTM A53 Grade B. Steel shapes and fabrications shall be hot–dip galvanized per ASTM A123 with minimum coating thickness Grade 55 (2.2 mil). Bolts shall meet ASTM F3125 and U–bolts SAE J429 Grade 5 minimum. Bolts and hardware to be hot–dip galvanized per ASTM A153. Field repair of galvanized coatings shall be per ASTM A780.

WOOD & PLASTICS

N/A

THERMAL & MOISTURE

N/A

DOORS AND HARDWARE

N/A

FINISHES

09 9000 PAINTING

Monopole tower to be Sherwin Williams SW 7551 "Greek Villa" to match existing building color and will be painted by tower manufacturer.

Antennas, Triplexers, and Non–Galvanized Metals (as referenced within the drawings), excluding identification tags/labels, are to be cleaned in accordance with SSPC SP–1 Solvent cleaning, scarify lightly with steel wool to break gloss. Primer: (1) coat Sherwin Williams Pro–Cryl Primer. Finish: (1) coat Sherwin Williams Sher–Cryl HPA. Finish coat shall be a solid color, Sherwin Williams SW 7551 "Greek Villa".

Coax Cables, Hybrid Cables and Flexible Non–Metallics (exposed and visible by public) to be solvent wiped and prepared to manufacturer's recommendations. Primer: Two (2) coats XIM Advanced Technology UMA bonding primer/sealer. Finish: Two (2) coats Sherwin Williams Sher–Cryl HPA acrylic coating. Finish coat shall be a solid color, Sherwin Williams SW 7551 "Greek Villa".

Contractor shall touch–up construction related scrapes & scratches.

SPECIAL CONSTRUCTION

13 1260 CABLE BRIDGE, CANOPY, & ICE SHIELDS

Contractor shall furnish & install materials for the Cable Bridge as indicated on the drawings and Verizon Wireless Standard Details.

13 1400 ANTENNA INSTALL

Contractor shall install Owner's antennas and feed lines during erecting. Contractor shall test and certify feed lines per current VZW standards.

13 3423 TRANSPORT AND SET EQUIPMENT CABINETS/GENERATOR

Contractor shall provide crane(s) and/or truck for transporting, setting and erecting Equipment Cabinets/Generator per RFQ. Contractor shall install items shipped loose with the Equipment Cabinets/Generator.

13 3613 TRANSPORT AND ERECT TOWER/ANTENNA MOUNTS

Contractor shall schedule delivery of Owner–furnished Tower, and provide cranes for unloading and erecting. Contractor shall ensure the existence of a 3/8" cable safety climb (DBI/Sala or equal) on the Tower.

MECHANICAL

15 4000 PLUMBING

N/A

15 5000 HVAC

N/A

ELECTRIC

16 5000 LIGHTING AND ELECTRICAL

Contractor shall provide labor and materials as necessary to complete the work shown on Drawings including items shipped loose with the Equipment Cabinets/Generator assembly.

16 6000 GROUNDING

Contractor shall make themselves familiar with and follow the current GROUNDING STANDARDS of VERIZON WIRELESS. Contractor shall perform work as shown on Grounding Plans. Any site–specific grounding issues not covered by the GROUNDING STANDARD are to be addressed by the Contractor to the Owner.

OWNER–FURNISHED EQUIPMENT & FEES

GENERATOR

MONOPOLE TOWER

ANTENNA FRAMES

CABINETS

COAX AND/OR CABLES

ANTENNAS & DOWNTILT BRACKETS

GPS & GPS MOUNTING

BUILDING PERMIT FEES

MATERIALS TESTING FEES

SPECIAL INSPECTIONS FEES

CONTRACTOR–FURNISHED EQUIPMENT

POWER TO SITE

TELCO TO SITE

CABLE BRIDGE & ICE SHIELDS

GROUNDING MATERIALS

FENCING

CONNECTORS, BOOTS, & RELATED HARDWARE

SCOPE OF WORK:

CONTRACTOR SHALL PROVIDE MATERIALS, LABOR, TOOLS, TRANSPORTATION, SUPERVISION, ETC. TO FULLY EXECUTE WORK. WORK REQUIREMENTS ARE DETAILED ON THE DRAWINGS AND SPECIFICATIONS AND SHALL INCLUDE, BUT NOT BE LIMITED TO, THE FOLLOWING ITEMS:

SITE PREPARATION

SITE WORK & ROAD CONSTRUCTION

CABINET SLAB, GENERATOR, & TOWER FOUNDATIONS

SET EQUIPMENT CABINETS, SET GENERATOR & ERECT TOWER

ROUTING OF GROUND, POWER, FIBER & ALARM

SITE GROUNDING

ELECTRICAL & TELEPHONE SERVICES

INSTALL ANTENNAS & CABLES

CABLE BRIDGE & ICE SHIELDS

GRAVEL SURFACING & FENCING

Contractor to compare drawings against Owner's "Request for Quote", (RFQ). If discrepancies arise, Contractor shall verify with Owner that the RFQ supersedes the drawings.

EQUIPMENT

The Designer/E.O.R. makes no warranty, expressed or implied, on the structural adequacy for proprietary brackets, clips & parts from a manufacturer.

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SHEET CONTENTS:  
OUTLINE SPECIFICATIONS

DRAWN BY:	CJW
CHECKED BY:	BMS
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GENERAL GROUNDING NOTES:

An external buried ground ring (Lead 1) shall be established around the equipment cabinets and tower foundations. Lead 1 shall be kept 24" from foundations; if foundations are less than 48" apart, keep Lead 1 centered between them. If the tower base is over 20'-0" from the equipment cabinets, a separate Lead 1 shall be established around each foundation, and the two Lead 1s shall be bonded with two parallel leads at least 6 feet apart horizontally. Connections between the two Lead 1s shall be bi-directional.

All subgrade connections shall be by exothermic weld, brazed weld, or gas-tight UL467-listed compression fittings pre-filled with anti-oxidant compound. Subgrade connections shall not be 'cold galvanize' coated.

Lead 1 shall be #2 solid bare tin-clad (SBTC) copper wire buried at local frost depth. Lead 1 bends shall be minimum 24" radius. 'Whip' lead bends may be of 12" radius.

Ground rods shall be galvanized steel, 5/8"Ø, spaced twenty feet apart, or as shown. Rods shall be kept min. 24 inches from foundations. Ground rods are required to be installed at their full specified length. Depth shall be as shown in Detail 11.1 in the Verizon Wireless Standard Detail Booklet.

SPECIAL CONSIDERATIONS FOR GROUND RODS:

When ground rods are not specified to be backfilled w/ Bentonite Slurry: If boulders, bedrock, or other obstructions prevent driving of ground rods, the Contractor will need to have drilling equipment bore a hole for ground rod placement. Hole to be backfilled w/ Bentonite Slurry.

When specified with slurried Bentonite encasement, drilling equipment will be need to be used to be bore a hole for ground rod placement. Slurry shall be made from pelletized material ("Grounding Gravel"); powdered Bentonite is not allowed. If boulders, bedrock, or other obstructions are found, Contractor shall drill to the specified depth and provide Bentonite encasements.

Above-grade connections shall be by lugs w/ two-hole tongues unless noted otherwise, joined to solid leads by welding (*7&B 54856BE "BROWN"*), self-threading (*RECOGNIZED, EM 2522DH.75.312*), or 10,000psi crimping (*BURNDY YA3C 2TC 14E2*). Surfaces that are galvanized or coated shall have coating(s) removed prior to bolting. Bolts shall be stainless steel with flat washers on each side of the connection and a lock washer beneath the fastening nut. Star-tooth washers shall be used between lug & dissimilar metal (copper-to-steel, etc) but are not required between tin-clad CU lugs & tin-clad CU bus bars. Lug tongues shall be coated with anti-oxidant compound, and excess compound wiped clean after bolting. The connection shall then be coated with cold-galvanizing compound, or with color-matching paint.

Ground bars exposed to weather shall be tin-clad copper, and shall be clean of any oxidation prior to lug bolting.

Galvanized items shall have zinc removed within 1" of weld area, and below lug surface contact area. After welding or bolting, the joint shall be coated with cold galvanizing compound.

Ground Bar leads

Ground bars are isolated electrically from tower bottoms and equipment cabinets by their standoff mounts. Leads from each ground bar to the ground ring shall be a pair of #2 SBTC, each connected to Lead 1 bi-directionally with #2 SBTC 'jumpers'. Pairs of #2 SBTC may be required between ground bars. Leads shall be routed to ground bars as follows:

- \* The Main Ground Bar (MGB), typically mounted adjacent to the ILC (location varies).
- \* The Port Ground Bars (PGB), mounted inside and outside on the equipment shelter walls beneath the transmission line port. Note: Transmission line grounds also attach to the PGBs.
- \* The Tower Ground Bar (TGB) mounted at the base of the tower. Note: Transmission line grounds also attach to the TGBs.

NOTE: Contractor shall confirm that TGBs exist at 75-foot vertical intervals on any guyed or self-support tower, and that transmission lines are grounded to each TGB. Only the bottom-most TGB is isolated from the tower steel frame; upper TGBs may use the tower steel frame as common ground, requiring no copper leads between TGBs.

#2 SBTC Whip leads

"Whip" leads shall connect the buried external ground ring to the following items:

Monopole Towers:  
\* Three whips to flanges on the monopole base, at least 90° apart. If none are provided, attach to the baseplate or consult tower manufacturer.

Self-Support Towers:

\* Two whips to flange(s) on each tower leg base. If none are provided, attach to the baseplate or consult tower manufacturer.

Guyed Towers:

- \* Two whips to flange(s) on the tower base. If none are provided, attach to the baseplate or consult tower manufacturer.
- \* Establish a Lead 1 within the fence enclosure of each guy anchor, at least 40 foot perimeter and having 4 ground rods.
- \* #2 SBTC leads shall extend up, and be clamped (bronze clamshell or equal), to any two guy wires. NEVER weld leads to the guy wires. The lead to the guy anchor 'hand' plate may be welded.

Fences:

Metallic fence within 25 feet of tower Lead 1, or within 6 feet of shelter lead 1, shall have whip leads as follows:  
\* Each corner post.  
\* Each pair of gate posts.  
\* Any line post over 20'-0" from a grounded post.  
\* Each gate leaf to its respective gatepost using braided strap (3/4", tin-clad copper w/ lug ends).  
\* Fences around guy anchors shall be grounded in similar fashion.

Fuel tanks:

NEVER WELD to any fuel enclosure. NEVER penetrate the fuel containment. Metal tanks shall have one whip lead attached. Use an approved clamp or two-hole lug on an available flange.

Equipment Shelter/Platform and Other General Requirements (including but not limited to):

- Extend new Lead 21B up to shelter halo, remaking two-way connections as needed. Generator-equipped shelters have 6 such connections. Connections within the shelter shall be by compression; NEVER weld inside the shelter.
- Each vertical support pipe of the exterior cable bridge. Bridge end shall be kept at least 6" from the tower structure. The cable bridge shall be jumpered to the vertical support pipes with #2 SBTC at each vertical support pipe.
- Opposite corners of the steel equipment platform.
- Opposite corners of the roof shield over the equipment shelter.
- Each HVAC unit shield, if separate (may be 'jumpered' to main roof shield).
- Each HVAC package unit.
- Commercial electric meter box.
- Generator receptacle, if present.
- Steel building skid, if shelter is metal frame.
- Each air intake or exhaust fan vent louver.
- Each generator vent hood or louver.
- Generator exhaust stack, external.
- Opposite corners of generator support frame, if separate from shelter.
- Generator fuel tank, if separate from generator unit.
- Host building rain gutter, downspouts, and roof flashings within 25 feet.
- Telco MPOP (Main Point of Presence), if external to equipment shelter.
- Within cable vaults, one each to the ladder and to the manhole rim.

Note: The door frame is connected to the interior ground halo, and need no separate connection to the external ground ring.

Inspection & Testing

Test lead #1 and ground rods after installation but before backfilling or connecting to any other grounding, using the 3-point fall of potential method. Contractor to notify Verizon Wireless senior construction engineer at least 48 hours prior to testing. Document installation and test results with photographs.

General Contractor Notes:

- Contractor to coordinate public & private utility locates prior to construction start. Notify the Designer & VZW Construction Engineer immediately of any utility line issues.
- General contractor is responsible for confirming that the installation of all grounding meets the Verizon Network Standard Number "NSTD46" document titled "Cell Site and Microwave Radio Station Protection – Engineering Considerations".
- Contractor shall ensure that each whip is routed to lead 1 by the shortest path, and bends shall not be less than 12" radius.
- Primary Electrical – Depth and specification by Power Utility Company.
- Secondary Electrical – Install conduit 32" below grade with two (2) detectable ribbons
- Fiber Optic – Install conduit 36" below grade with pull string, traceable wire and two (2) detectable ribbons.

SYMBOL AND NOTE LEGEND

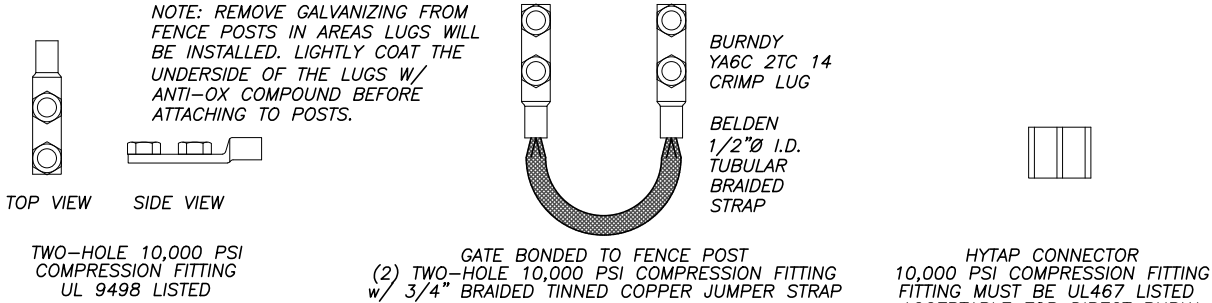
- ① #2 SBTC AROUND CABINET SLAB, TOWER, OR GUY ANCHOR
- 5/8" X 10'-0" GALVANIZED STEEL GROUND ROD
- ⦿ TEST WELL PREFERRED LOCATION

- #2 SBTC 'WHIP' LEAD
- ⑤ (2) #2 SBTC FROM MGB, PGB, OR TGB TO LEAD 1

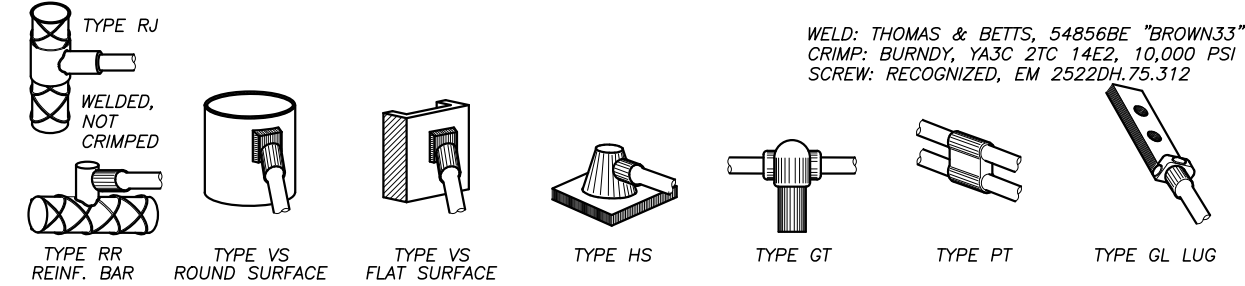
- ⑥ AC HVAC UNIT
- ②1B BC BUILDING CORNER
- ⑥ BO BOLLARD
- ⑥ CBS CABLE BRIDGE SUPPORT POST
- ④ EL ELECTRICAL SERVICE GROUND
- ⑥ EM COMMERCIAL ELECTRICAL METER
- ⑥ FAN GUY ANCHOR PLATE
- ⑥ FP FENCE POST
- ⑨0 GEN GENERATOR
- ⌒ GP GATE POST, 3/4" BRAID STRAP TO LEAF
- ⑥ GPS GPS UNIT
- ⑥ GUY GUY WIRE, MECH. CLAMP ONLY – NO WELDS
- ⑥ HL HOOD OR LOUVER
- ⑥ HB OUTSIDE OF HOFFMAN BOX
- ⑥ ILC INTEGRATED LOAD CENTER
- ⑤ MGB MAIN GROUND BAR
- ⑥ MU GENERATOR MUFFLER
- ⑤ PGB PORT GROUND BAR
- ⑥ RBR FOUNDATION REINFORCING
- ⑥ RS ROOF SHIELD
- ⑥ SB STEEL BEAM
- ⑥ SP STEEL POST
- ⑥ STP STEEL PLATFORM
- ⑥ TEL HOFFMAN BOX
- ⑤ TGB TOWER GROUND BAR
- ⑥ TWR TOWER BASE
- ⑥ VP DIESEL FUEL VENT PIPE

Note:

Contractor to provide #2 solid bare tin-clad (SBTC) copper wire lead from #1 ground ring to air conditioner & ice shield if provided by VZW.



2 COMPRESSION CONNECTOR DETAILS  
SCALE: NTS



1 EXOTHERMIC WELD DETAILS  
SCALE: NTS

- 25 RING TO NEAREST LIGHTNING ROD #2 SBTC
- 26 LGHTNG ROD SYS TO NEARBY MTL NFPA 780
- 27 RING TO TOWER RING (2) #2 SBTC
- 28 RING TO SHELTER RING (2) #2 SBTC
- 29 BRANCH AC PNL TO BITTY CHG FRM NSTD33-11
- 30 BRANCH AC PNL TO OUTLETS NSTD33-11
- 31 MGB/FGB TO PWR, BITTY FRAMES #2/0 I-STR
- 32 #31 TO BATTERY CHARGER FRAME #6 I-STR
- 33 #31 TO BATTERY RACK FRAME #6 I-STR
- 34 #31 TO PCU FRAME #6 I-STR
- 35 #31 TO DSU FRAME #6 I-STR
- 36 #31 TO PDU FRAME #6 I-STR
- 37 MGB/FGB TO BITTY RETURN NSTD33-14.5
- 37A MGB/FGB TO RTN TERM CARR SUPP #6 I-STR
- 38 FGB TO PDU GB #750MCM I-STR
- 38A FGB TO PDU GB CARRIER SUPPLY #2/0 I-STR
- 39 DC BUS DUCT TO NEXT SECTION #6 I-STR
- 40 DC BUS DUCT TO MGB/FGB #6 I-STR
- 41A MGB/FGB TO #58 #2/0 I-STR
- 42-44 NOT USED
- 45 MAIN AC PNL TO BRANCH AC PNL NSTD33-11
- 46 BRANCH AC PNL TO DED OUTLET NSTD33-11
- 47 FGB TO INTEG FRM #2 I-STR
- 48 LEAD #31 TO INTEG FRM #6 I-STR
- 49 INTEG FRM TO EQUIP SHELVE BY FASTENERS
- 50 PDU BITTY RET TO #51 #2/0 I-STR
- 51 #50 TO TRANS FRM ISO DC PWR #6 I-STR
- 52 TRANS FRM FUSE TO FRM OR BAR #8 I-STR
- 53A MGB/FGB TO PDF/BDFB NSTD33-22
- 54 MGB/FGB TO STATIC DEVICES #6 I-STR
- 55 MGB/FGB TO CABLE AT ENTRY #6 I-STR
- 56 MGB/FGB TO AC PWR RADIO XMTR #6 I-STR
- 57A MGB/FGB TO CBL GRID/RUNWAY #2/0 I-STR
- 58A #41A TO AISLE FRAME #2 I-STR
- 59A #58A TO EACH SGL FRAME GRND #6 I-STR
- 60-89 NOT USED
- 90 GENERATOR FRAME TO EXT RING #2 SBTC

DESIGN 1

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17326166  
LOC. CODE: 265804

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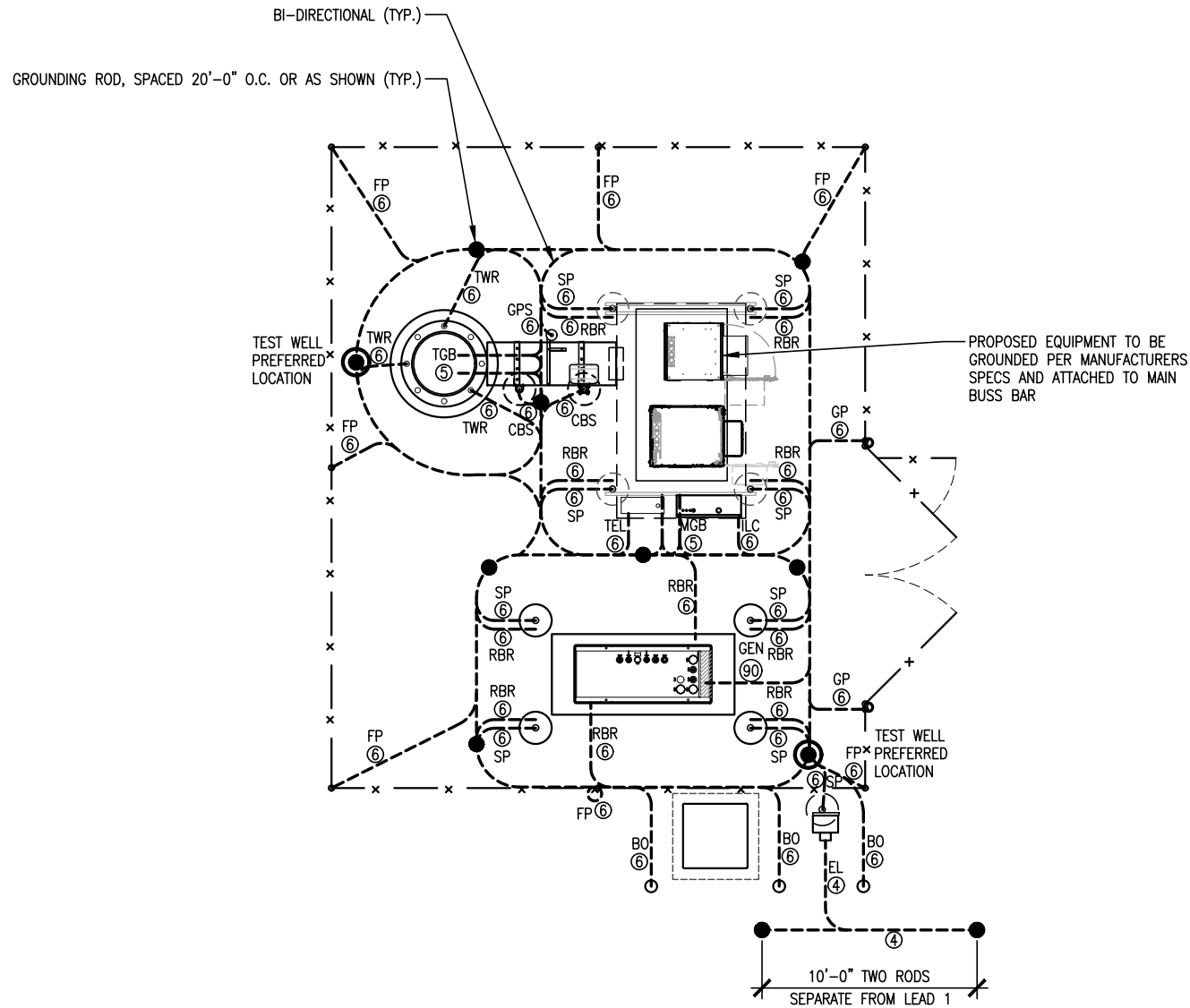
CEDAR AVENUE  
APPLE VALLEY, MN 55124

SHEET CONTENTS:  
GROUNDING NOTES

DRAWN BY:	CJW
CHECKED BY:	BMS
REV. A	10-15-24
REV. B	11-12-24
REV. C	01-13-25

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GROUNDING DETAIL INDEX	
DETAIL	DETAIL DESCRIPTION
SLAB	SLAB ON GRADE GROUNDING
11.1	TEST WELL DETAIL, GROUND RING & ROD DETAIL
11.3	REBAR GROUNDING DETAIL
11.4	CONDUIT DETAIL
11.5	TYPICAL GROUNDING CABLE BRIDGE DETAIL
11.6	TYPICAL TOWER GROUNDING DETAIL



NOTE:  
SEE SHEET G-1 FOR ADDITIONAL NOTES

1 GROUNDING PLAN  
SCALE: NTS



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1  
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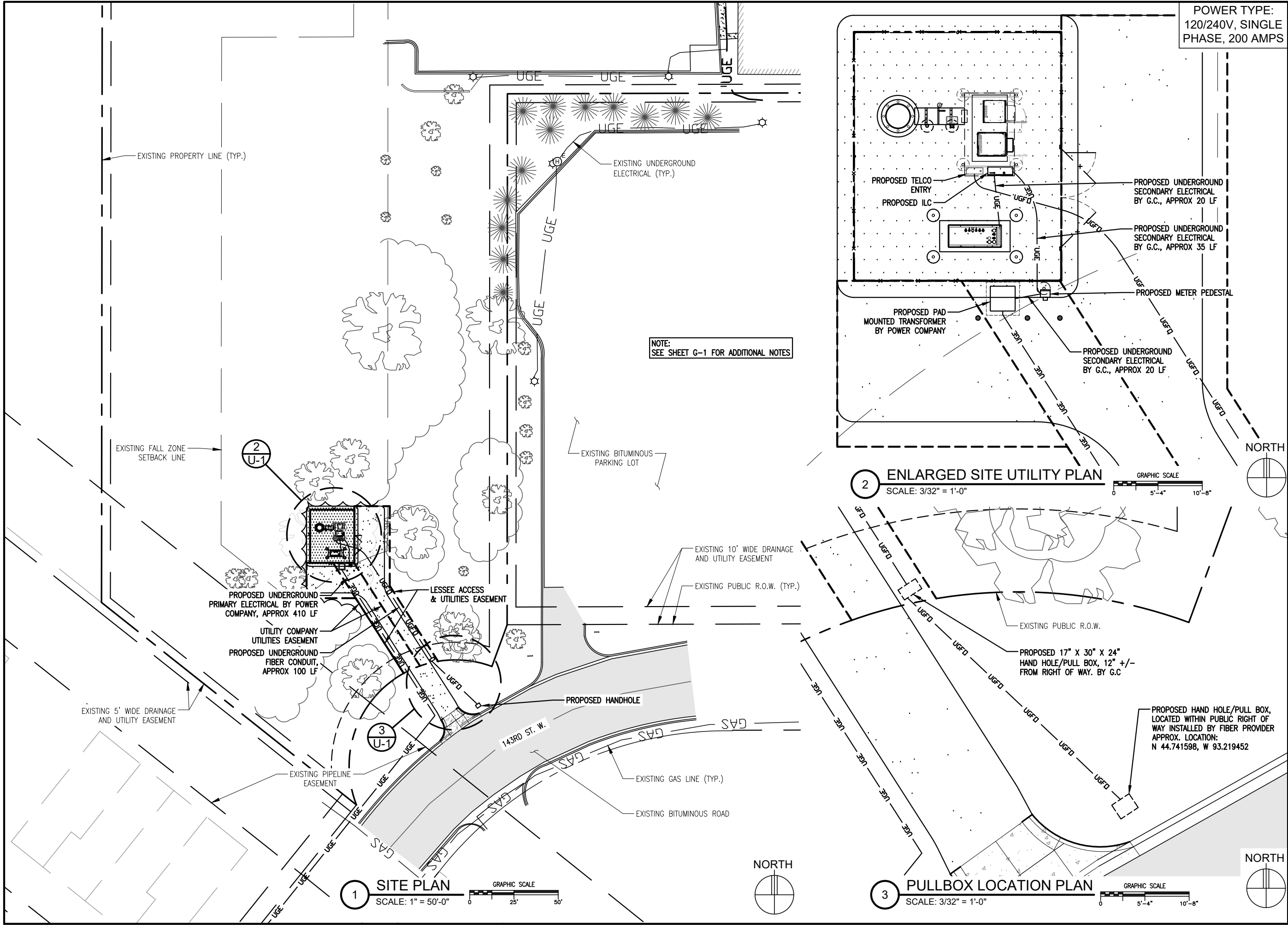
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SHEET CONTENTS:  
GROUNDING PLAN  
GROUNDING DETAIL INDEX

DRAWN BY: CJW  
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REV. A 10-15-24  
REV. B 11-12-24  
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G-2



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SHEET CONTENTS:

SITE UTILITY PLAN

PULLBOX LOCATION PLAN

DRAWN BY:

CJW

CHECKED BY:

BMS

REV. A

10-15-24

REV. B

11-12-24

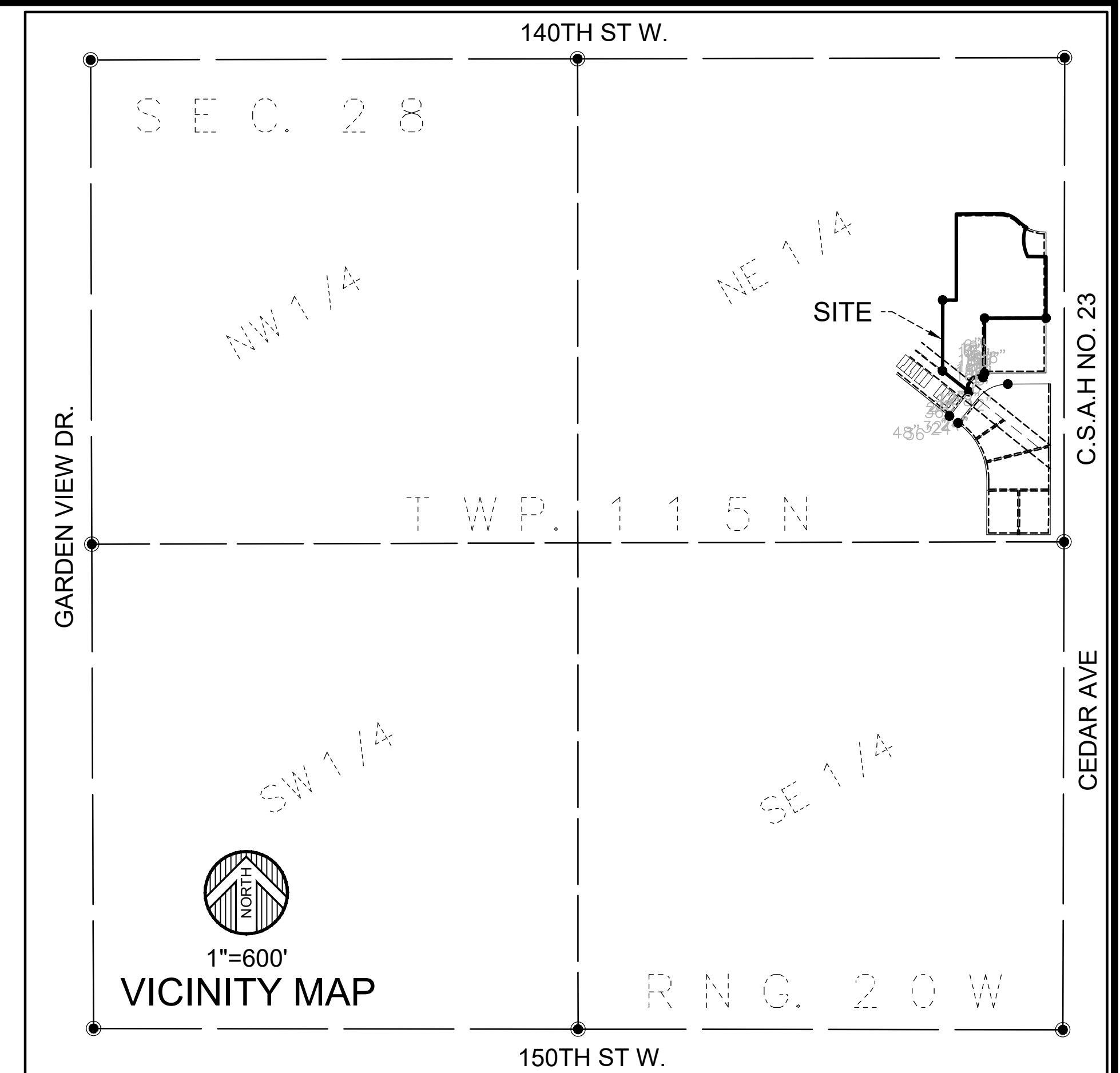
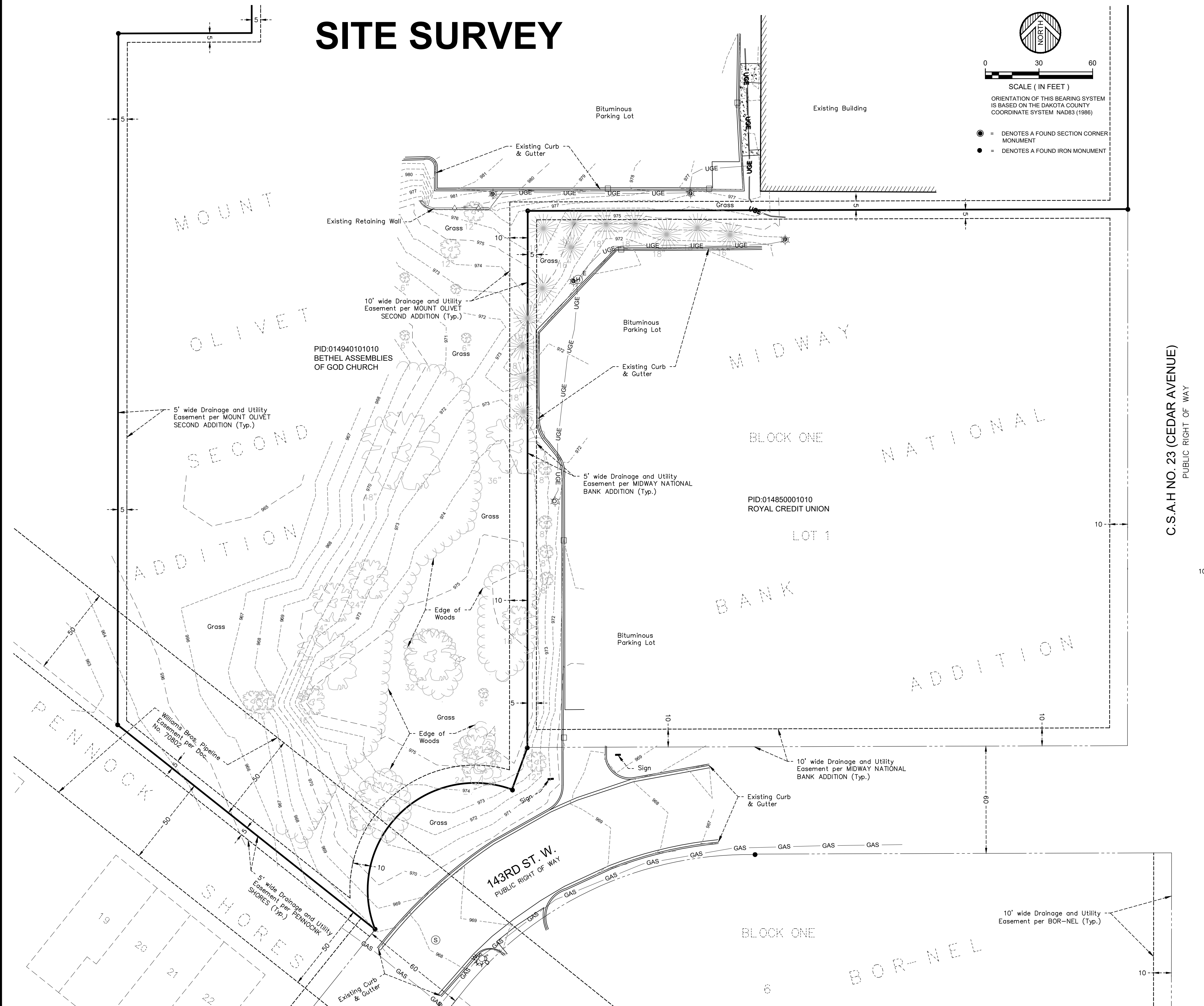
REV. C

01-13-25









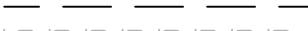






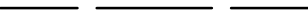
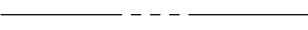


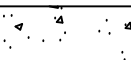
U-1



# SITE SURVEY



## LEGEND

- |   |                      |
|---|----------------------|
|  | TREE-DECIDUOUS       |
|  | TREE- CONIFER        |
|  | ELECTRIC LIGHT POLE  |
|  | ELECTRIC MANHOLE     |
|  | STORM CATCH BASIN    |
|  | WATER CURB STOP      |
|  | HYDRANT              |
|  | SANITARY MANHOLE     |
|  | RETAINING WALL       |
|  | EDGE OF FIELD        |
|  | EDGE OF WOODS        |
|  | UNDERGROUND ELECTRIC |
|  | UNDERGROUND GAS      |
|  | BOUNDARY LINE        |
|  | SECTION LINE         |
|  | QUARTER LINE         |
|  | RIGHT OF WAY LINE    |
|  | PARCEL LINE          |
|  | BUILDING WALL HATCH  |
|  | CONCRETE SURFACE     |

SURVEYOR NOTES:

- 1.) Utilities are per observed evidence, and markings from GOPHER STATE ONE CALL, Locate Request Ticket No. 241913049, dated July 9, 2024 also per HANCE LOCATING & SERVICES INC.
- 2.) This survey was prepared for Design 1.

# DESIGN 1

SITE NAME:  
MIN TOFFEE

Dakota County, MN

No.	Date	REVISIONS					By	CHK	APP'
FIELD WORK: 7/17/24		CHECKED BY: BTB			DRAWN BY:			JML	

I HEREBY CERTIFY THAT THIS DOCUMENT WAS  
PREPARED BY ME OR UNDER MY DIRECT SUPERVISION  
AND THAT I AM A DULY LICENSED LAND SURVEYOR  
UNDER THE LAWS OF THE STATE OF MISSISSIPPI.

**PRELIMINARY**

SIGNATURE: \_\_\_\_\_ BRYAN T. BALCOMBE, L.S.  
DATE: 7/23/24 LICENSE # 42594

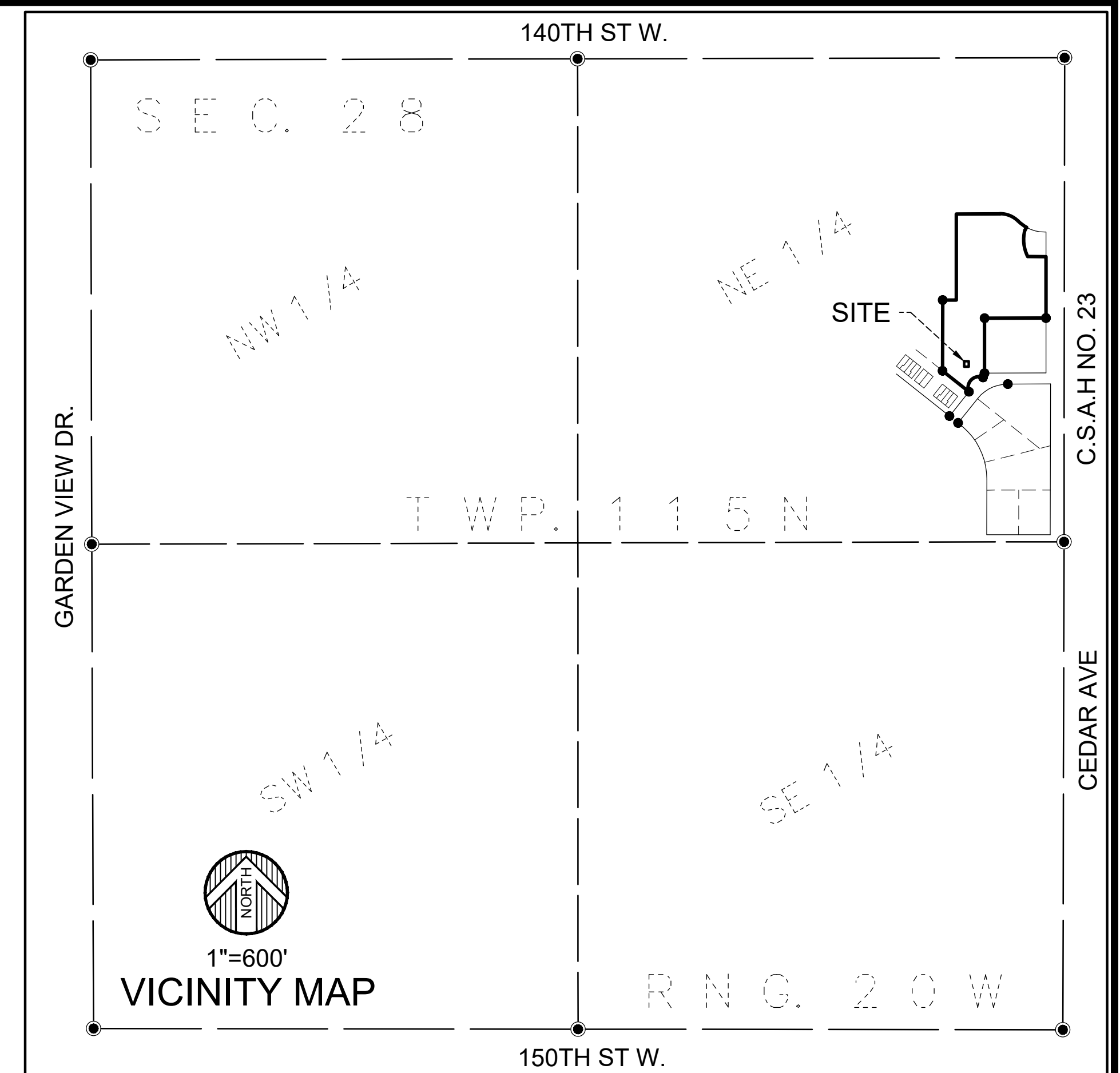
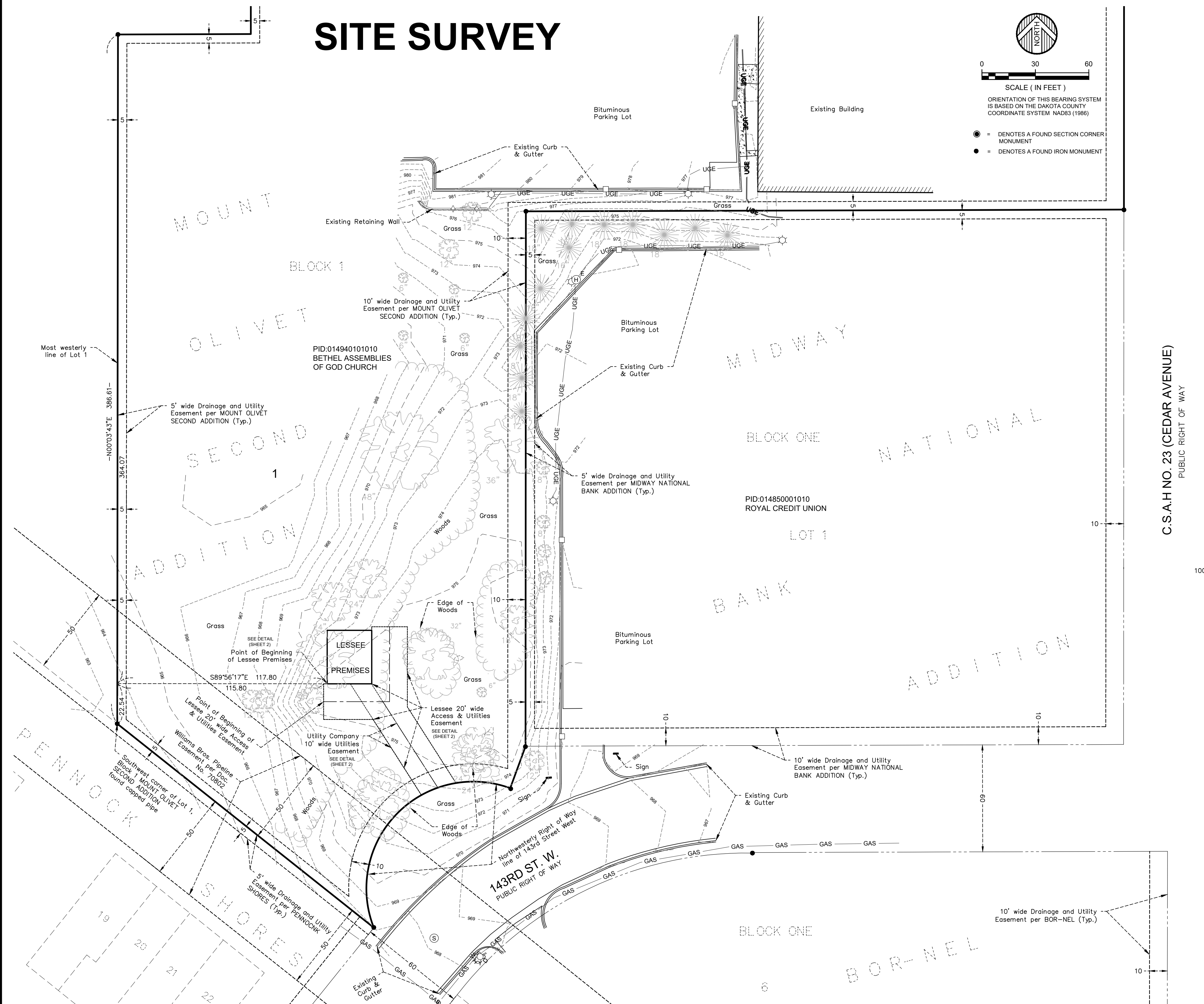
FULL SCALE ON 22"x34"  
HALF SCALE ON 11"x17"

2024-11176

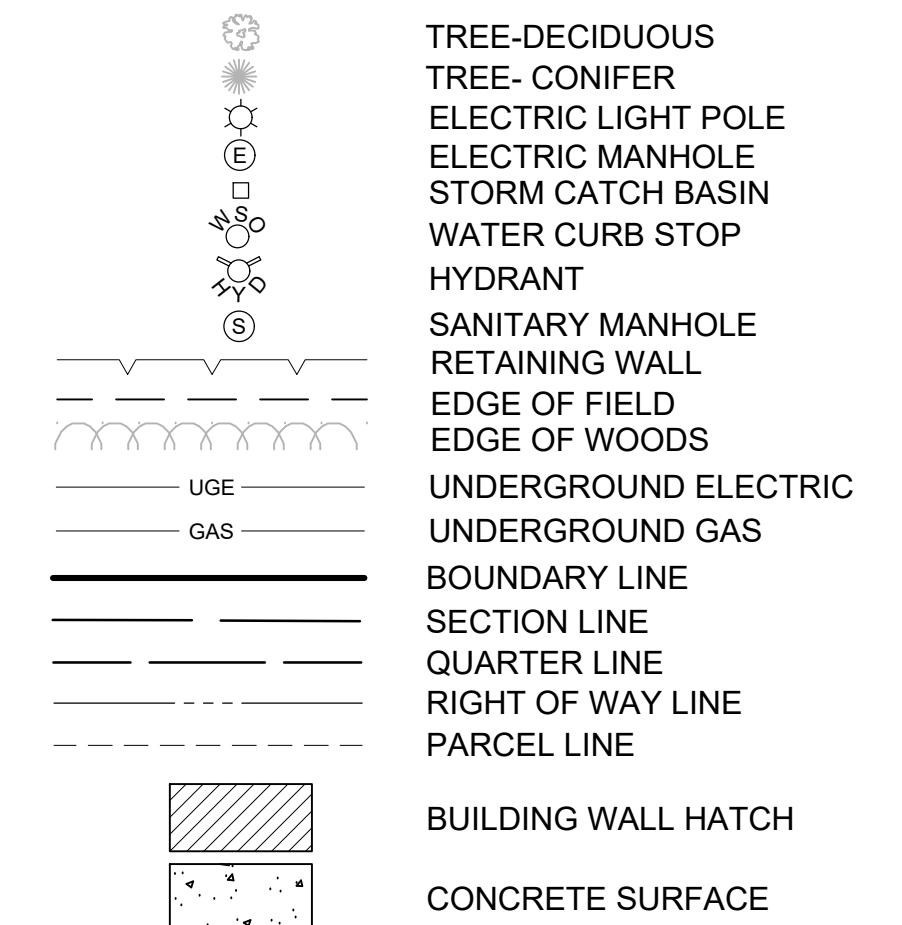
**WIDSETH**  
ARCHITECTS ■ ENGINEERS ■ SCIENTISTS ■ SURVEYORS



# SITE SURVEY



## LEGEND



SURVEYOR NOTES:

- 1.) Utilities are per observed evidence, and markings from GOPHER STATE ONE CALL Locate Request Ticket No. 241913049, dated July 9, 2024 also per HANCE LOCATING & SERVICES INC.
- 2.) This survey was prepared for Design 1.
- 3.) This survey was completed without the benefit of a title report. There maybe additional easements that affect the subject property that are not shown on the survey.
- 4.) The Lessee Premises together with all Lessee and Access and Utilities Easements are within the area described in the Property Description contained herein.

**SHEET 1 OF 2 SHEETS**

© 2024 WIDSETH SMITH NOLTING & ASSOCIATES, INC.

# DESIGN 1

SITE NAME:  
MIN TOFFEE

Dakota County, MN

No.	Date	REVISIONS							By	CHK	APP'	
FIELD WORK: 7/17/24				CHECKED BY: BTB			DRAWN BY:			NTC		

I HEREBY CERTIFY THAT THIS DOCUMENT WAS  
PREPARED BY ME OR UNDER MY DIRECT SUPERVISION  
AND THAT I AM A DULY LICENSED LAND SURVEYOR  
UNDER THE LAWS OF THE STATE OF MINNESOTA.

SIGNATURE: Bryan T. Balcome  
BRYAN T. BALCOME, L.S.  
DATE: 11/15/24 LICENSE # 42594

FULL SCALE ON 22"x34"  
HALF SCALE ON 11"x17"

2024-11176

**WIDSETH**  
ARCHITECTS ■ ENGINEERS ■ SCIENTISTS ■ SURVEYORS



# SITE SURVEY

**LESSEE PREMISES DESCRIPTION:**

That part of Lot 1, Block 1, MOUNT OLIVET SECOND ADDITION, according to the recorded plat thereof, Dakota County, Minnesota, described as follows:

Commencing at the southwest corner of said Lot 1 ; thence North 0 degrees 03 minutes 43 seconds East along the most westerly line of said Lot 1, a distance of 22.54 feet; thence South 89 degrees 56 minutes 17 seconds East, a distance of 117.80 feet to the Point of Beginning of the premises to be described; thence South 90 degrees 00 minutes 00 seconds East, a distance of 25.00 feet; thence North 0 degrees 00 minutes 00 seconds East, a distance of 30.00 feet; thence North 90 degrees 00 minutes 00 seconds West, a distance of 25.00 feet; thence South 0 degrees 00 minutes 00 seconds West, a distance of 30.00 feet to the Point of Beginning.

**LESSEE ACCESS AND UTILITIES EASEMENT DESCRIPTION:**

A 20.00 foot wide easement for ingress, egress and utility purposes over, under and across Lot 1, Block 1, MOUNT OLIVET SECOND ADDITION, according to the recorded plat thereof, Dakota County, Minnesota, the centerline of said easement is described as follows:

Commencing at the southwest corner of said Lot 1; thence North 0 degrees 03 minutes 43 seconds East along the most westerly line of said Lot 1, a distance of 22.54 feet; thence South 89 degrees 56 minutes 17 seconds East, a distance of 115.80 feet; thence South 0 degrees 00 minutes 00 seconds West, a distance of 10.00 feet to the Point of Beginning of the centerline to be described; thence South 90 degrees 00 minutes 00 seconds East, a distance of 42.21 feet to a point hereinafter referred to as "Point A"; thence continue South 90 degrees 00 minutes 00 seconds East, a distance of 3.79 feet; thence North 0 degrees 00 minutes 00 seconds East, a distance of 42.00 feet and said centerline there terminating.

TOGETHER WITH

A 20.00 foot wide easement for ingress, egress and utility purposes over, under and across said Lot 1, the centerline of said easement is described as follows:

Beginning at the previously described Point "A"; thence South 32 degrees 35 minutes 30 seconds East, a distance of 57.30 feet to the northwesterly right of way line of 143rd Street West and said centerline there terminating.

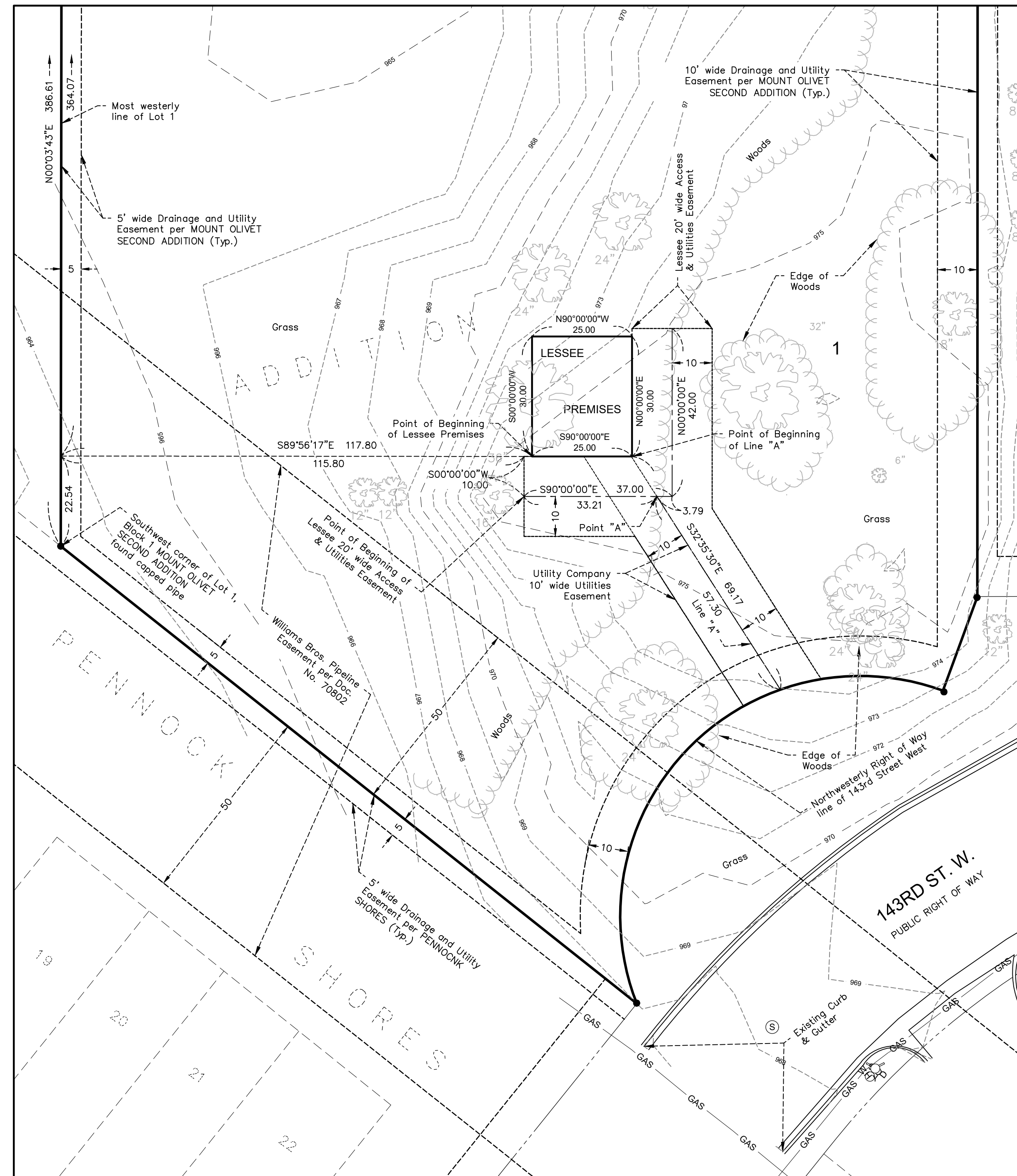
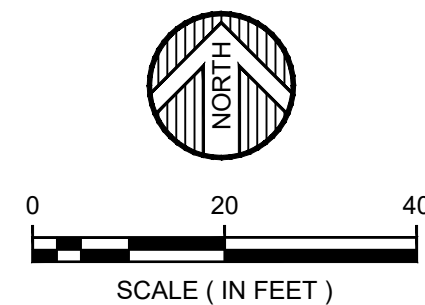
The sidelines of said easement shall be shortened or lengthened to terminate at said northwesterly right of way line of 143rd Street West.

**UTILITY COMPANY UTILITIES EASEMENT DESCRIPTION:**

A 10.00 foot wide easement for utility purposes over, under and across Lot 1, Block 1, MOUNT OLIVET SECOND ADDITION, according to the recorded plat thereof, Dakota County, Minnesota, lying between 0.00 feet and 10.00 feet right (southwesterly) of the following described Line "A".

Commencing at the southwest corner of said Lot 1; thence North 0 degrees 03 minutes 43 seconds East along the most westerly line of said Lot 1, a distance of 22.54 feet; thence South 89 degrees 56 minutes 17 seconds East, a distance of 117.80 feet; thence South 90 degrees 00 minutes 00 seconds East, a distance of 25.00 feet to the Point of Beginning of said Line "A"; thence South 32 degrees 35 minutes 30 seconds East, a distance of 69.17 feet to the northwesterly right of way line of 143rd Street West and said Line "A" there terminating.

The sideline of said easement shall be shortened or lengthened to terminate at said northwesterly right of way line of 143rd Street West and at a line bearing North 90 degrees 00 minutes 00 seconds West from the Point of Beginning.



## DETAIL

**SHEET 2 OF 2 SHEETS**

© 2024 WIDSETH SMITH NOLTING & ASSOCIATES, INC.

# DESIGN 1

SITE NAME:  
MIN TOFFEE

Dakota County, MN

No.	Date	REVISIONS					By	CHK	APP'D
	FIELD WORK: 7/17/24	CHECKED BY: BTB	DRAWN BY:						NTG

I HEREBY CERTIFY THAT THIS DOCUMENT WAS  
PREPARED BY ME OR UNDER MY DIRECT SUPERVISION  
AND THAT I AM A DULY LICENSED LAND SURVEYOR  
UNDER THE LAWS OF THE STATE OF MINNESOTA.

SIGNATURE: Bryan T. Balcome  
BRYAN T. BALCOME, L.S.  
DATE: 11/15/24 LICENSE # 42594

FULL SCALE ON 22"x34"  
HALF SCALE ON 11"x17"

2024-11176



WIDSETH ASSOCIATES, INC.  
**WIDSETH**  
 ARCHITECTS ■ ENGINEERS ■ SCIENTISTS ■ SURVEYORS

January 15, 2025

Brian Schriener  
Design 1 of Eden Prairie  
9973 Valley View Road  
Eden Prairie, MN 55344

RE: Proposed 86' Monopole for MIN TOFFEE, MN

Dear Mr. Schriener,

Upon receipt of order, we propose to design and supply the above-referenced monopole for an Basic Wind Speed of 109 mph without ice and 50 mph with 1.5" ice, Risk Category II, Site-specific Exposure Category, and Topographic Category 1, in accordance with the Telecommunications Industry Association Standard ANSI/TIA-222-H.

When designed according to this standard, the wind pressures and steel strength capacities include several safety factors. Therefore, it is highly unlikely that the monopole will fail structurally in a wind event where the design wind speed is exceeded within the range of the built-in safety factors.

Should the wind speed increase beyond the capacity of the built-in safety factors, to the point of failure of one or more structural elements, the most likely location of the failure would be within the monopole shaft, above the base plate. Assuming that the wind pressure profile is similar to that used to design the monopole, the monopole will buckle at the location of the highest combined stress ratio within the monopole shaft. This is likely to result in the portion of the monopole above leaning over and remaining in a permanently deformed condition. *Please note that this letter only applies to the above-referenced monopole designed and manufactured by Sabre Industries.* This would effectively result in a fall radius less than or equal to 50% of the monopole height.

**PROFESSIONAL ENGINEER**

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the Laws of the State of Minnesota.

Sincerely,

Thomas T. Wilson, P.E.  
Design Engineer

Print Name **THOMAS T. WILSON**

Signature *Thomas T. Wilson*

Date 1/15/2025 License **#60302**



January 14, 2025

City of Apple Valley  
Community Development & Planning  
7100 West 147th Street  
Apple Valley, MN 55124

**Re: Verizon Wireless Co-location Letter of Intent (Site Name: "MIN Toffee")**  
**Site Location:** 14201 Cedar Avenue, Apple Valley, MN 55124  
**Parcel ID:** 01.494.0101.010

To Whom It May Concern:

Pursuant to §155.385.B.14.c of the City of Apple Valley Code of Ordinances, Verizon submits this Letter of Intent for commitment to shared use of this proposed tower, so long as there is no negative structural impact upon the tower, there is no disruption to the service provided, and reasonable business terms are agreeable.

Thank you for your consideration.

Sincerely,

A handwritten signature in black ink, appearing to read "Jeff Armour", written over a blue horizontal line.  
[Jeffrey Armour \(Jan 14, 2025 15:14 CST\)](#)

Jeff Armour  
Associate Director - Great Plains  
Network Real Estate and Outreach



## Breanna Vincent

---

**From:** Richard Greenlee <[REDACTED]>  
**Sent:** Tuesday, March 4, 2025 9:29 AM  
**To:** Community Development  
**Subject:** wireless communication tower

You don't often get email from [REDACTED]. [Learn why this is important](#)

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

To the planning commission,  
I'm no expert but this looks like a bad idea. Why would someone want to put a communication tower in a residential area....There are schools and daycare centers that would be near the tower. There is lots of information available about RF exposure 24 hours a day 365 days a year. We would be putting our community at risk.  
Sincerely Richard Greenlee

## Breanna Vincent

---

**From:** Richard Greenlee [REDACTED] >  
**Sent:** Tuesday, March 4, 2025 9:29 AM  
**To:** Community Development  
**Subject:** Wireless Communication Tower

You don't often get email from [REDACTED]. [Learn why this is important](#)

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Dear Planning Department,

My husband and I reside approximately 500 yards away from where the proposed communication tower is going to be located. I was shocked to hear that Bethel Assemblies of God Church is okay with RF Effects-Increased cancer risk, headaches,, sleep issues, genetic damage, changes to the reproductive system, memory deficits, and impacts to the nervous system especially when a daycare is so close to their church! Not to mention members of their own congregation and homeowners that live close by to the proposed area. They either are not aware of the side effects or they are extremely money hungry!

It should be brought to everyone's attention that the effects of radiation absorption are far more serious in children than adults because their brains and organ systems are still developing.

For our children's and grandchildren's sakes, please do not allow this tower to be located in the proposed area.

Thank You,  
Deborah Greenlee

## Breanna Vincent

---

**From:** Liz H <[REDACTED]>  
**Sent:** Tuesday, March 4, 2025 5:01 PM  
**To:** Community Development  
**Subject:** Cell Tower

You don't often get email from [REDACTED]. [Learn why this is important](#)

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

I'd like to express my concern about the proposed cell tower at 14201 Cedar Avenue. Based on what I've read, there is compelling scientific evidence that this kind of thing poses serious health risks to those that live within a certain distance of the structure - which includes my townhouse on Glenda Dr.

I hope you'll reject the proposal. This is not the right place for a cell tower. It puts people in our community at risk. I just moved to Apple Valley from Iowa and have been so happy here! If the cell tower is approved, I'm afraid I'll be forced to move!.

Thanks

Liz Heins

14301 Guthrie Ave.  
Apple Valley, MN 55124  
3-3-25  
[REDACTED]

Planning Commission  
City of Apple Valley  
7100 147th Street  
Apple Valley, MN 55124

Dear Sir or Madam:

The letter to the editor in the Dakota  
County Tribune regarding the proposed 86 ft cell  
tower was interesting.

According to the FCC, cell towers are safe.  
The amount of radiation emitted from them  
is very minimal.

Apple Valley High School has a cell tower  
on one of the stadium's light poles. I can see  
it when the sun shines on it.

There hasn't been any rental problems in  
this neighborhood.  
And, our property values has increased  
according to our tax bill.

Sincerely,  
Phyllis Peter  
PHYLLIS PETER

## Breanna Vincent

---

**From:** Breanna Vincent  
**Sent:** Thursday, March 27, 2025 3:41 PM  
**To:** Breanna Vincent  
**Subject:** FW: Bethal Church Cell Tower

-----Original Message-----

From: Jan Bruce [REDACTED]  
Sent: Thursday, March 27, 2025 1:58 PM  
To: Christina M. Scipioni <christina.scipioni@applevalleymn.gov>  
Subject: Bethal Church Cell Tower

[You don't often get email from [REDACTED]. Learn why this is important at <https://aka.ms/LearnAboutSenderIdentification> ]

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

As a resident of Pennock Shores Association living near Bethal Church I would like you to know that I oppose the addition of a cell tower. I definitely feel that this would not be a good fit for our neighborhood.

Please do not allow this project to be approved.

Jan Bruce  
14348 Pennock Ave  
Sent from my iPhone

## Breanna Vincent

---

**From:** Breanna Vincent  
**Sent:** Tuesday, March 25, 2025 8:20 AM  
**To:** Breanna Vincent  
**Subject:** FW: Cell tower

---

**From:** Vickie Halvorson [REDACTED]  
**Sent:** Monday, March 24, 2025 11:36 AM  
**To:** Christina M. Scipioni <[christina.scipioni@applevalleymn.gov](mailto:christina.scipioni@applevalleymn.gov)>  
**Subject:** Cell tower

You don't often get email from [REDACTED] [Learn why this is important](#)

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

I am a homeowner in the Pennock Shores townhome community.

Bethel Church is planning on allowing a cell tower to be built on their property. This location is in our immediate neighborhood. It is also a neighborhood where there are several daycare and preschool programs.

I am adamantly opposed to the cell tower being built in our neighborhood. I am concerned about the health problems that could result from it being built so close to where we live and where children play!

I am a single retired woman living off my Social Security. My home is an investment for my future. It is a fact that cell towers close to residential properties negatively impact home values.

I'm sure there is a monetary incentive for Bethel Church promoting the building of the cell tower on their property. I oppose them making a quick buck at the expense of their neighbors' health and safety. I oppose them making a quick buck at the expense of my property being devalued.

I live about a half block from where the cell tower would be build. There are many homes and also daycare and preschool programs in close proximity to the proposed cell tower location. The cell tower is not welcome in our neighborhood!

Vickie Halvorson  
14330 Glenda Drive

## Breanna Vincent

---

**From:** Breanna Vincent  
**Sent:** Tuesday, March 25, 2025 1:36 PM  
**To:** Breanna Vincent  
**Subject:** FW: Oppose Cell Tower

---

**From:** Kelli J <[REDACTED]>  
**Sent:** Tuesday, March 25, 2025 12:45 PM  
**To:** Christina M. Scipioni <[cityclerk@applevalleymn.gov](mailto:cityclerk@applevalleymn.gov)>  
**Subject:** Oppose Cell Tower

You don't often get email from [REDACTED]. [Learn why this is important](#)

**CAUTION:** This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Apple Valley Council Members:

I am contacting you to express my **strong opposition** to the proposed cell tower requested by Bethel Assemblies of God Church in our community. This tower will not only be in our backyards (**directly 150 feet from my yard**), but in close proximity to three daycare facilities, Tutor Time, KinderCare, and Sunflower Montessori and Day Care. While the need for enhanced wireless connectivity is understandable, the potential negative impacts on health, the neighborhood appeal, and property values must not be ignored.

There is growing public concern regarding the health effects associated with prolonged exposure to radiofrequency (RF) radiation emitted by cell towers. Research suggests a link between RF radiation and adverse health outcomes, such as headaches, sleep disturbances, and an increased risk of certain cancers. It seems essential to adopt a precautionary approach and ensure that such infrastructure is not placed close to our homes and especially Day Care facilities.

The visual impact of a cell tower can alter the natural landscape and aesthetic appeal of our community, diminishing overall quality of life.

Numerous studies and real estate assessments indicate that cell towers can negatively impact property values in surrounding areas. Potential buyers often view cell towers as unsightly and potentially hazardous, leading to decreased interest and lower property prices. This potential reduction in property values affects homeowners' investments and the overall economic health of our community.

Given these concerns, I urge the city council to *permanently* refuse the request of the proposed cell tower by Bethel Assemblies of God Church in our neighborhood.

Thank you for your time.  
Kelli Johnson  
14366 Glenda Dr.

## Breanna Vincent

---

**From:** Breanna Vincent  
**Sent:** Wednesday, March 26, 2025 9:31 AM  
**To:** Breanna Vincent  
**Subject:** FW: cell tower Bethel's Rock

---

**From:** Janet Malz [REDACTED]  
**Sent:** Wednesday, March 26, 2025 8:57 AM  
**To:** Christina M. Scipioni <[cityclerk@applevalleymn.gov](mailto:cityclerk@applevalleymn.gov)>  
**Subject:** cell tower Bethel's Rock

You don't often get email from [REDACTED]. [Learn why this is important](#)

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Christine, thank you for speaking to me today. Here is a similar email I sent from the website a couple days ago. Please include in the council members' packet for the April meeting. Thank you!

Council members:

I live at 14242 Glencove Trail, Apple Valley, and will be less than 500 feet from the Verizon cell tower that will be on the Bethel's Rock church property.

I met with some concerned residents of Pennock Shores who live even closer to the tower. Rich McCabe, a board member of Pennock Shores, has been cited in a Sun/ThisWeek article and a letter to the editor, listing the negative aspects of the tower. Doing my own research, I agree that even though the FCC approves the level of RF radiation emissions (from the 1990s), it does not mean it is safe. As Rich McCabe stated in the article, many communities have changed their city ordinances to prohibit towers within 3000 feet of residential areas and 1500 from schools. If they are doing this, it must mean that something negative is occurring and has been recorded. Here's a list of some cities who have taken action to protect their citizens:

<https://ehtrust.org/usa-city-ordinances-to-limit-and-control-wireless-facilities-small-cells-in-rights-of-ways/>

There are many studies related to the negative effects of RF radiation. Many are listed here:

<https://ehtrust.org/cell-towers-and-cell-antennae/compilation-of-research-studies-on-cell-tower-radiation-and-health/>

Here is more information about the negative effects of cell towers near schools: <https://ehtrust.org/cell-tower-at-schools-health-effects-safety-faqs/>

These issues were raised by McCabe. Are we not being taken seriously because this is a residential area of middle- and lower-income residents? Do you not care that our property values will go down because of this tower or that there is even a small chance of our health being affected?

Buell Consulting/Verizon indicated that there are other options for improving cell coverage without building a new tower. Why do you not press them to take that action? I know the church will get rent money from Verizon, is the city also getting some type of kickback?



I'm confused as to why this is being approved when neighboring citizens are against it and you cannot provide solid claims of no medical repercussions occurring as a result of this tower. There's a reason insurance companies won't insure cell companies for EMF risk.

Please take the time to research and reconsider the approval of the CUP for this cell tower.

Thank you.

Janet Malz

[REDACTED]

<><><><><

## Breanna Vincent

---

**From:** Breanna Vincent  
**Sent:** Tuesday, March 25, 2025 8:19 AM  
**To:** Breanna Vincent  
**Subject:** FW: Online Form Submittal: Council Contact

---

**From:** [noreply@civicplus.com](mailto:noreply@civicplus.com) <[noreply@civicplus.com](mailto:noreply@civicplus.com)>  
**Sent:** Friday, March 21, 2025 4:29 PM  
**To:** Charles Grawe <[Charles.Grawe@applevalleymn.gov](mailto:Charles.Grawe@applevalleymn.gov)>; Clint Hooppaw <[Clint.Hooppaw@AppleValleyMN.gov](mailto:Clint.Hooppaw@AppleValleyMN.gov)>; John Bergman <[John.Bergman@applevalleymn.gov](mailto:John.Bergman@applevalleymn.gov)>; Ruth Grendahl <[Ruth.Grendahl@AppleValleyMN.gov](mailto:Ruth.Grendahl@AppleValleyMN.gov)>; Lisa Hiebert <[Lisa.Hiebert@AppleValleyMN.gov](mailto:Lisa.Hiebert@AppleValleyMN.gov)>; Tom Lawell <[tom.lawell@applevalleymn.gov](mailto:tom.lawell@applevalleymn.gov)>; Tom Melander <[Tom.Melander@applevalleymn.gov](mailto:Tom.Melander@applevalleymn.gov)>  
**Subject:** Online Form Submittal: Council Contact

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

### Council Contact

Return e-mail address [REDACTED]

---

Subject new Verizon cell tower

---

Message Council members:

I live at 14242 Glencove Trail, Apple Valley, and will be less than 500 feet from the Verizon cell tower that will be on the Bethel's Rock church property.

I understand that the planning committee has approved the conditional use permit but that the council has to vote on it yet, correct? I apologize for not taking action sooner but I know that a nearby neighbor had taken action and made his concerns known at the public meeting and through the newspaper.

I met with some concerned residents of Pennock Shores today who live even closer to the tower. Rich McCabe, a board member of Pennock Shores, has been cited in a Sun/ThisWeek article and a letter to the editor, listing the negative aspects of the tower. Doing my own research, I agree that even though the FCC approves the level of RF radiation emissions, it does not mean it is safe. As Rich McCabe stated

in the article, many communities have changed their city ordinances to prohibit towers within 3000 feet of residential areas and 1500 from schools. If they are doing this, it must mean that something negative is occurring and has been recorded. Here's a list of some cities who have taken action to protect their citizens: <https://ehtrust.org/usa-city-ordinances-to-limit-and-control-wireless-facilities-small-cells-in-rights-of-ways/>

There are many studies related to the negative effects of RF radiation. Many are listed here: <https://ehtrust.org/cell-towers-and-cell-antennae/compilation-of-research-studies-on-cell-tower-radiation-and-health/>

Here is more information about the negative effects of cell towers near schools: <https://ehtrust.org/cell-tower-at-schools-health-effects-safety-faqs/>

These issues were raised by McCabe. Are we not being taken seriously because this is a residential area of middle- and lower-income residents? Do you not care that our property values will go down because of this tower or that there is even a small chance of our health being affected?

Buell Consulting/Verizon indicated that there are other options for improving cell coverage without building a new tower. Why do you not press them to take that action? I know the church will get rent money from Verizon, is the city also getting some type of kickback?

I'm confused as to why this is being approved when citizens are against it and you have no way to back up your claims of no medical repercussions occurring as a result of this tower. There's a reason insurance companies won't insure cell companies for EMF risk.

Please take the time to research and reconsider the approval of the CUP for this cell tower.

Thank you.

Janet Malz  
[REDACTED]

---

Name

Janet Malz

---

Phone Number

[REDACTED]

---

Email not displaying correctly? [View it in your browser.](#)

## Breanna Vincent

---

**From:** Breanna Vincent  
**Sent:** Friday, March 28, 2025 9:35 AM  
**To:** Breanna Vincent  
**Subject:** FW: Cell Tower

**From:** richard mccabe <[REDACTED]>

**Sent:** Thursday, March 27, 2025 6:26 PM

**To:** Clint Hooppaw <[Clint.Hooppaw@applevalleymn.gov](mailto:Clint.Hooppaw@applevalleymn.gov)>; John Bergman <[john.bergman@applevalleymn.gov](mailto:john.bergman@applevalleymn.gov)>; Ruth Grendahl <[ruth.grendahl@applevalleymn.gov](mailto:ruth.grendahl@applevalleymn.gov)>; Lisa Hiebert <[lisa.hiebert@applevalleymn.gov](mailto:lisa.hiebert@applevalleymn.gov)>; Tom Melander <[tom.melander@applevalleymn.gov](mailto:tom.melander@applevalleymn.gov)>

**Subject:** Cell Tower

Some people who received this message don't often get email from [REDACTED]. [Learn why this is important](#)

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Dear City of Apple Valley Mayor and Council Members:

I am writing in opposition to the issuance of the conditional use permit to install a wireless communication tower on property owned by the Bethel Assemblies of God Church in a location which would have a potentially harmful effect on the local residents and surrounding area.

This tower, originally planned to be installed in the church parking lot, much further North from the proposed location, is now only 153 feet from buildings in the townhome association where I reside. Many communities restrict these towers to 1500/3000 feet from residences, schools, day care centers. These towers are normally in open areas, parks, fields, parking lots. The Planning Commission in their meeting of March 19 did not address this issue.

The health risks are not fully understood, however, most experts believe that the current move to 5G may increase this risk, especially for the young. This tower will emit 24 hours a day 365 days a year.

This tower would be very close to the ONEOK, Inc. gas pipeline that runs between the townhomes and the church property. I do not believe that they have been contacted regarding this structure, a 86 foot cell tower, 90 feet with the lighting rod plus support slab and generator.

Many individuals, residents, renters, and businesses that did not receive notice of the original public hearing because they were not in the 350 foot notice area have now learned of this issue and also are opposed to the tower in this location. It will have a negative effect on property values. It may also be an attractive nuisance for younger people in the area.

I would hope the Apple Valley City Council would not approve the variance for this location or at least do more study of the harmful effects to the area and hear from others that did not have a chance to formally object and present their views on this matter.

Richard McCabe

14365 Glenda Drive  
Apple Valley, MN 55124

## Breanna Vincent

---

**From:** Breanna Vincent  
**Sent:** Monday, March 31, 2025 2:31 PM  
**To:** Breanna Vincent  
**Subject:** FW: Oppose Proposed Cell Tower - Bethel Church property

---

**From:** Starks-Shriner, Janet S [REDACTED] >  
**Sent:** Monday, March 31, 2025 12:19 PM  
**To:** Clint Hooppaw <[Clint.Hooppaw@applevalleymn.gov](mailto:Clint.Hooppaw@applevalleymn.gov)>; John Bergman <[john.bergman@applevalleymn.gov](mailto:john.bergman@applevalleymn.gov)>; Ruth Grendahl <[ruth.grendahl@applevalleymn.gov](mailto:ruth.grendahl@applevalleymn.gov)>; Lisa Hiebert <[lisa.hiebert@applevalleymn.gov](mailto:lisa.hiebert@applevalleymn.gov)>; Tom Melander <[tom.melander@applevalleymn.gov](mailto:tom.melander@applevalleymn.gov)>; Christina M. Scipioni <[christina.scipioni@applevalleymn.gov](mailto:christina.scipioni@applevalleymn.gov)>  
**Cc:** JanetIndsy11 [REDACTED] >  
**Subject:** Oppose Proposed Cell Tower - Bethel Church property

Some people who received this message don't often get email from [REDACTED]. [Learn why this is important](#)

**CAUTION:** This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hello to All,

I am a townhome owner on Glenda Dr, Apple Valley. I want to express that I am **STRONGLY OPPOSED** to placing a cell tower on the property of Bethel Church!!! So many things wrong with that idea:

1. 86 feet, right off of Cedar Ave and would overlook so homes, so many businesses including daycares, dental, medical providers, eating establishments?!!! The area surrounding the proposed tower is very populated.
2. Do you really want the first thing people to see coming into or leaving Apple Valley from that direction is a staggering metal tower???? It would be mere feet from the sidewalk and road.
3. I don't even see how one would squeeze that type of structure in the proposed space? Typically you see structures such as this in a more rural, unpopulated space.
4. Increased radiation (RF emissions), increased health risks, fire risk issues, devaluation of the surrounding property.
5. Not something I want to look at every day or have hovering over my property!
6. I find it hard to believe there is no other alternative for a tower and not totally buying the "reasons" coming from Verizon and its partner Buell Consulting.

I hope, after further consideration the members of the City Council make the logical decision to reject this application.

Thank you and Best Regards,

Janet Shriner  
14353 Glenda Dr.  
Apple Valley, MN 55124

[REDACTED]

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## Breanna Vincent

---

**From:** Breanna Vincent  
**Sent:** Tuesday, March 25, 2025 8:17 AM  
**To:** Breanna Vincent  
**Subject:** FW: Bethel Church Cell Tower

**From:** Rand Stenhjem <[REDACTED]>  
**Sent:** Saturday, March 22, 2025 9:05 PM  
**To:** Clint Hooppaw <[Clint.Hooppaw@applevalleymn.gov](mailto:Clint.Hooppaw@applevalleymn.gov)>  
**Subject:** Bethel Church Cell Tower

You don't often get email from [REDACTED]. [Learn why this is important](#)

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hello,

I am contacting you to express my strong opposition to the proposed cell tower requested by Bethel Assemblies of God Church in our community. This tower will not only be in our backyards, but in close proximity to three daycare facilities, Tutor Time, KinderCare, and Sunflower Montessori and Day Care. While the need for enhanced wireless connectivity is understandable, the potential negative impacts on health, the neighborhood appeal, and property values must not be ignored.

There is growing public concern regarding the health effects associated with prolonged exposure to radiofrequency (RF) radiation emitted by cell towers. Research suggests a link between RF radiation and adverse health outcomes, such as headaches, sleep disturbances, and an increased risk of certain cancers. It seems essential to adopt a precautionary approach and ensure that such infrastructure is not placed close to our homes and especially Day Care facilities.

The visual impact of a cell tower can alter the natural landscape and aesthetic appeal of our community, diminishing overall quality of life.

Numerous studies and real estate assessments indicate that cell towers can negatively impact property values in surrounding areas. Potential buyers often view cell towers as unsightly and potentially hazardous, leading to decreased interest and lower property prices. This potential reduction in property values affects homeowners' investments and the overall economic health of our community.

Given these concerns, I urge the city council to refuse the request of the proposed cell tower by Bethel Assemblies of God Church in our neighborhood.

Sincerely, Rand

--

*Rand Stenhjem*  
*Apple Valley, Minnesota*

An aerial night view of a city skyline, likely New York City, with numerous skyscrapers illuminated. Overlaid on the city are numerous glowing yellow and white arcs representing wireless signal paths or data connections. The sky is dark with some clouds.

# Verizon Wireless Bethel's Rock Church

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CONDITIONAL USE PERMIT

Site Name: MIN Toffee



# Site Overview

- Located at 14201 Cedar Ave.
- Wooded area in southern end of parcel.
- 86' monopole with 4' lightning rod.
- Flush mounted antennas to reduce visibility.
- 25' x 30' ground area with opaque fencing and locked gate.
- Painted to match adjacent church building.
- 43' fall zone.
- Complies with all applicable setbacks.







## Initial Hearing Questions

- How many trees are being removed?
  - One 24” tree and brush will be removed.
- What other sites were considered?
  - There are no existing towers or buildings of sufficient height within the 0.5-mile colocation exclusion radius. Subsequently, there are no feasible alternatives to consider.
  - The available ACL on the Apple Valley High School football stadium tower is about 45’ which does not satisfy the respective 78’ and 84’ ACLs required to achieve network objectives. It is also only 0.9 miles from the nearest existing site.
- Why was the tower site moved from 2017 CUP?
  - The original location was agreed to by the previous owner, Mount Olivet. The new location is to accommodate Bethel Rock’s future development plans.
- Was Magellan Pipeline contacted for the tower site?
  - No, as shown in the land survey, the lease premises and access are not within the pipeline easement. Furthermore, existing gas lines are located on the south side of 143<sup>rd</sup> St.
- Construction access, how long will construction take?
  - Construction access will come from 143<sup>rd</sup> St except for underground electric which is installed from a transformer to the north.
  - Construction is a phased process including civil work, tower stacking, antenna installation, and utility installation. In total, the process will be approximately 6-weeks.
- Are there any other sites on the property where the tower could be located?
  - No, Bethel Rock’s development plans restrict the entire parking lot. Other areas are too heavily wooded and existing location is setback compliant.

## FCC Compliance

- FCC limits and how are they measured?
  - The FCC regulates emissions.
  - See FCC Consumer Guide. Note this is an overview of the method but specific numbers have changed since the article was published in 2019.
  - FCC guidelines are based on recommendations from other federal health and safety agencies including the EPA, FDA, OSHA, National Institute for Occupational Safety & Health (NIOSH), Institute of Electric and Electronics Engineers (IEEE), and the National Council on Radiation Protection and Measurements (NCRP).
- What are the emissions for this tower?
  - Emissions are within FCC mandated guidelines.
  - Power emitted at ground level is far lower than at antenna level.
  - See CTIA Health & Safety handout.
- Is there a requirement to monitor emissions?
  - There is no independent monitoring requirement. With several hundred thousand cell sites in the U.S., it would not be feasible for the FCC to track and monitor individual sites.

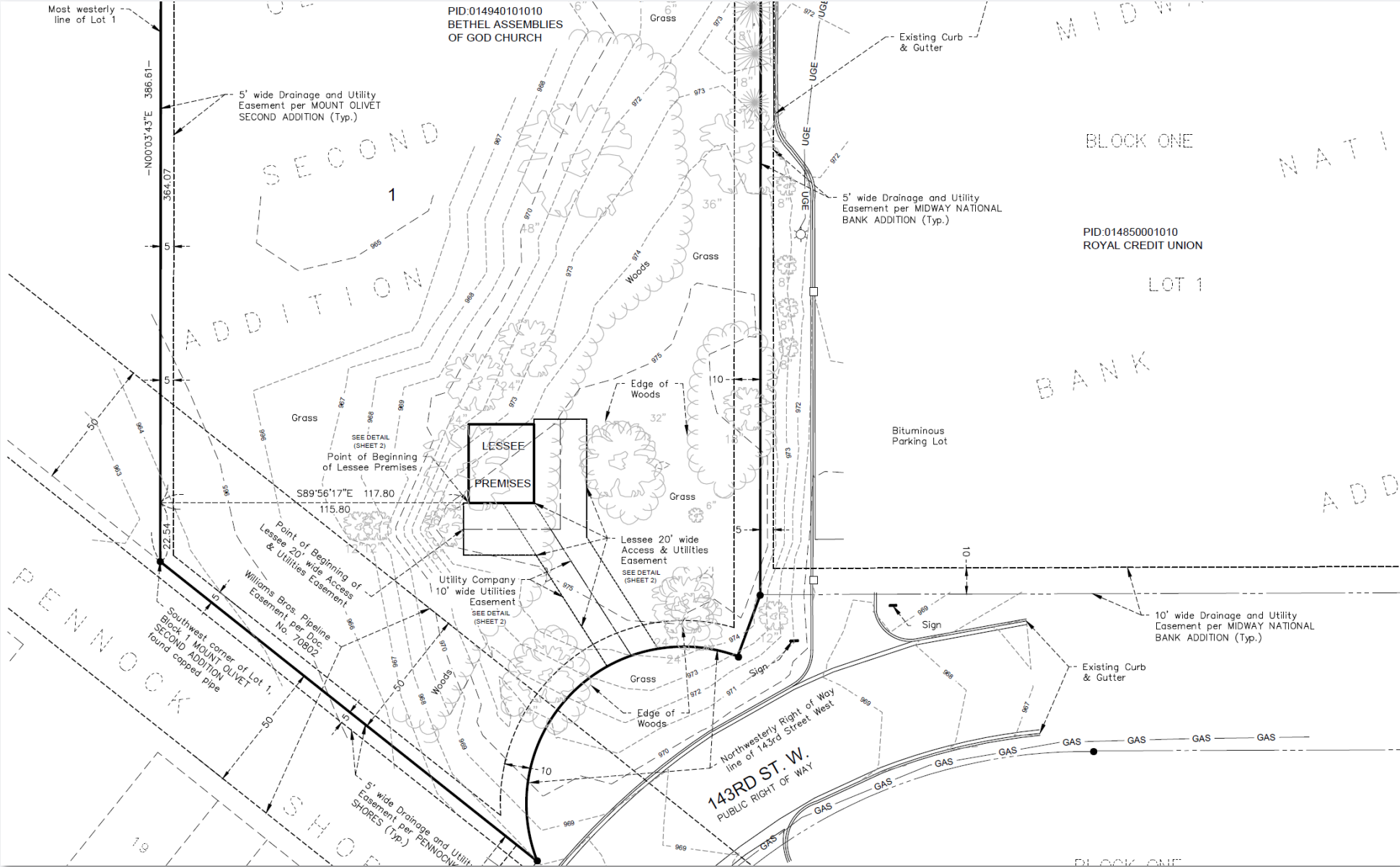
Additional Resources:

[FCC Human Exposure to Radio Frequency Fields: Guidelines for Cellular Antenna Sites](#)

[FCC RF Safety FAQ](#)

[CTIA Health & Safety](#)

Land Survey





## Photo Simulations



Cedar Avenue & 143rd Street - View 1





## Glenda Drive & 143rd Street View 2



Church Parking Lot – View 3



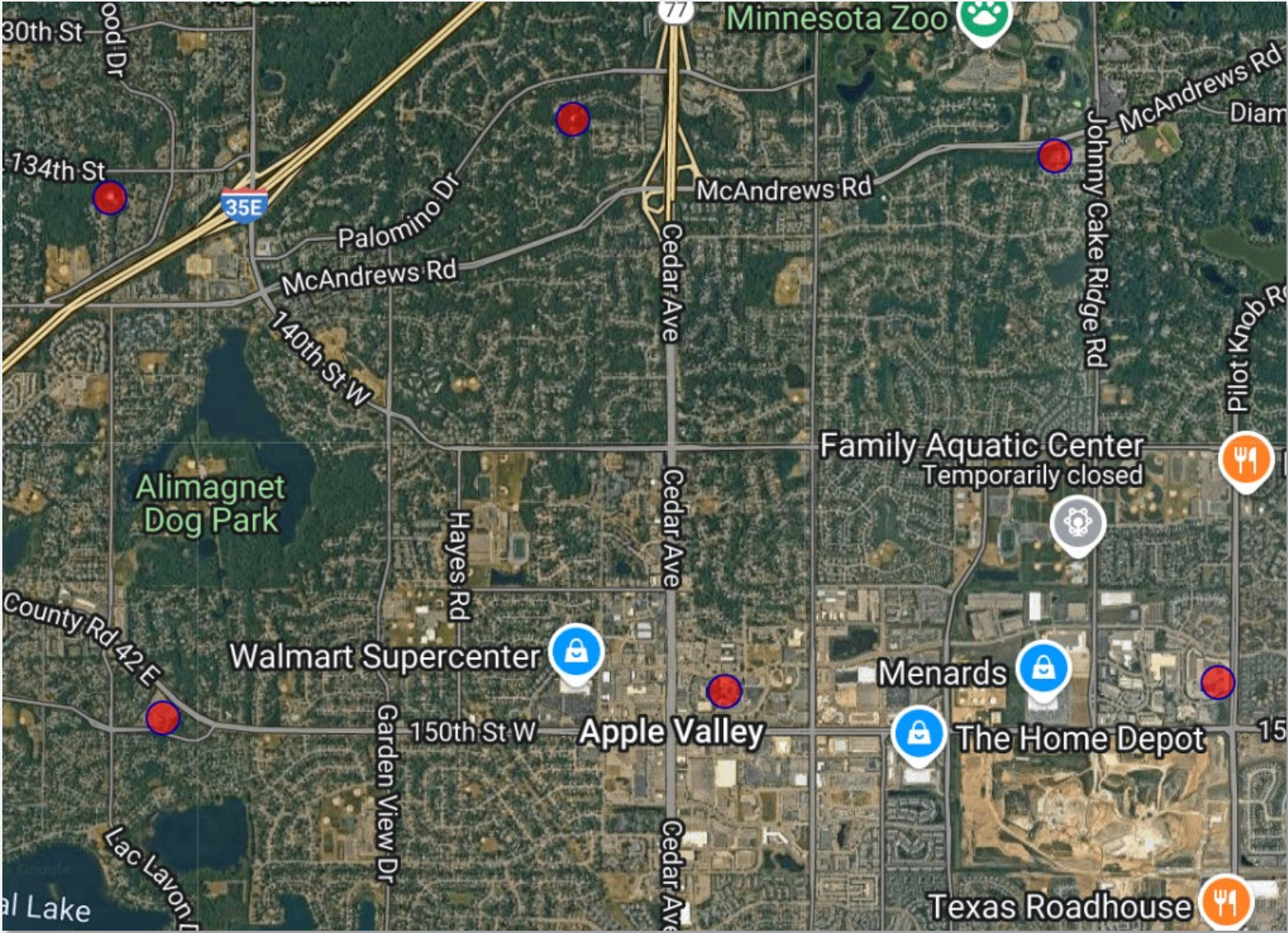


## Comparable Site - Eden Prairie, MN



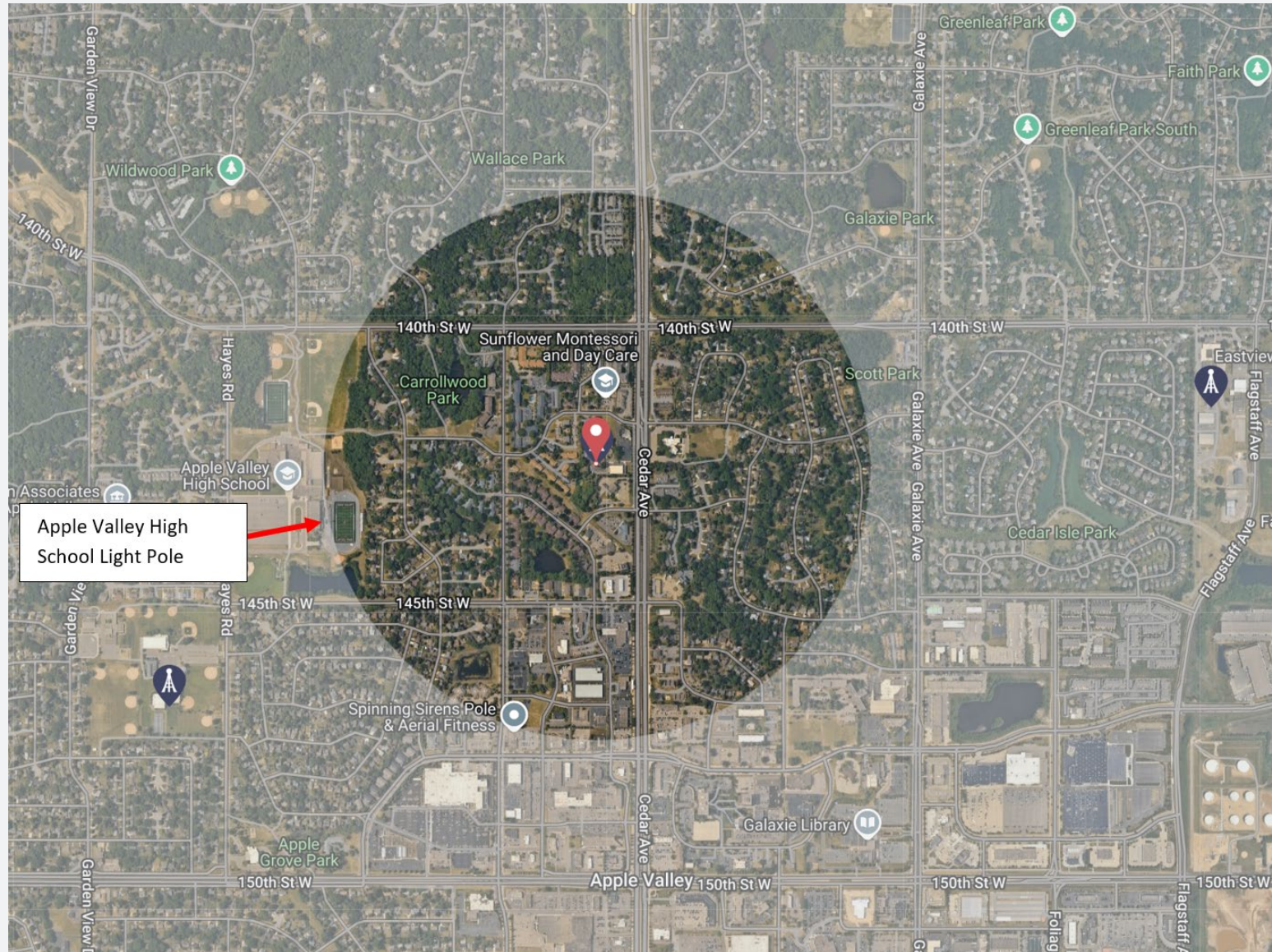


# Surrounding Verizon Sites





## 1/2-Mile Colocation Exclusion Radius



# Bethel Assemblies Church Wireless Communications Tower

## Conditional Use Permit

City Council

Date: April 10, 2025



1

## Application Requested

**Conditional Use Permit (CUP)** for an 86' tall wireless communications tower at the existing Bethel Assemblies of God Church property (14201 Cedar Avenue).



2



## Site Location

14201 Cedar Avenue



3

## 2017 CUP



4

## Zoning Map

### "P" (Institutional)

#### § 155.248 Conditional Uses

(C): Towers as regulated in §155.385



5

## Performance Standards

### § 155.385 Towers and Antennas Site Design and Maintenance

#### (A) Co-location requirements

- Applicant must document that the planned equipment cannot be accommodated on an existing tower or building within 0.5-mile radius of the proposed site.

#### (B) Tower construction requirements

- Monopoles using stealth technology
- Designed to accommodate an additional user
- Fence to prevent climbing
- Tower color, material, screening, and landscaping
- No signs/advertising
- Obsolete or unused towers shall be removed
- Statements from the FAA, FCC, and any appropriate state review **required at building permit.**

#### (E) Tower standards & Requirements – height and setbacks

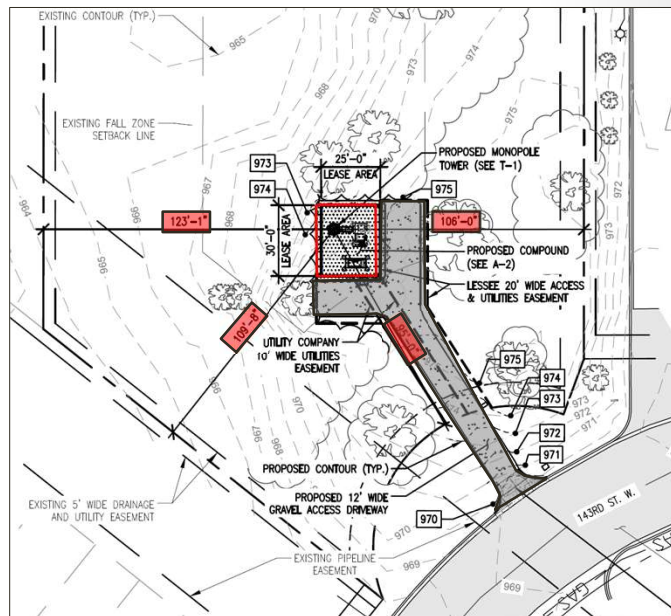
- Setback is based on an engineered breakpoint and fall zone.



6

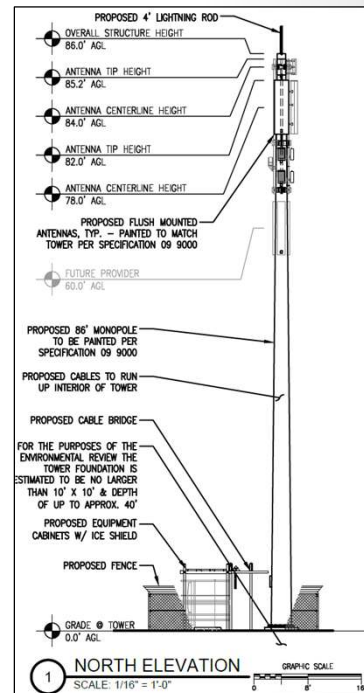
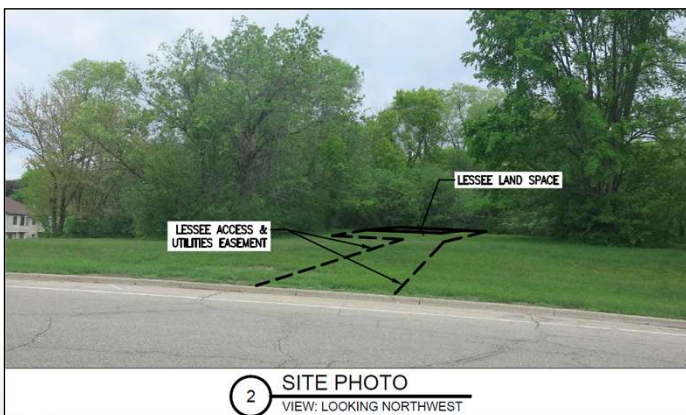
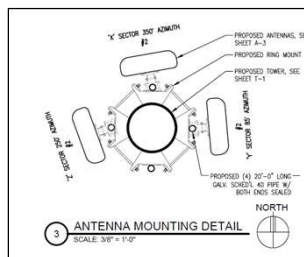
## Site Plan

	Requirement	Proposed
Maximum Height	200'	86'
Distance from Structure	86'	153'
Setback from Property Line	64.5'	95'



7

## Tower Design



8



## Renderings



View from Cedar Ave and 143<sup>rd</sup> St W



9

## Renderings



View from Glenda Dr and 143<sup>rd</sup> St W



10

## Renderings



View from Bethel Church Parking Lot



11

## Public Hearing Comments

**1. Why was the 2017 tower never constructed? What was the previous tower height and color? Why is a new site proposed?**

**Staff Response:** The previous tower did not receive issuance of a building permit, and the CUP was not utilized within one year of approval as required in clause 155.399(H), therefore the 2017 CUP lapsed. The previous tower plans show a total height of 84' and painted a yellow color that matched the church building.

**Applicant Response:** The original location was agreed to by the previous property owner, Mount Olivet Church. The new location is to accommodate Bethel Rock's future development plans.



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## Public Hearing Comments

### 2. What other sites were considered for this tower? Are there any other locations on the Bethel Church property where the proposed tower could be located?

**Staff Response:** Per clause 155.385(A) of City Code, there are co-location requirements for towers. Further, a proposal of a new tower must provide reasoning as to why the communication equipment cannot be accommodated on an existing or approved tower or building within one-half mile radius of the proposed tower. After further review, there is one tower within the one-half mile of the proposed Bethel Church tower site. It is located at Apple Valley High School (AVHS). The City reviews the project and site based on what has been proposed by the petitioner.

**Applicant Response:** There are no existing towers or buildings of sufficient height within the 0.5-mile colocation exclusion radius. The alternate location within the 0.5-mile radius (AVHS) was analyzed; the existing antenna centerline height of this (AVHS) tower will not address the height and identified needs for this proposed project. Subsequently, there are no feasible alternatives to consider. Bethel Church has development plans that restrict the parking lot. Other areas on-site are too heavily wooded, and the proposed site is setback compliant.



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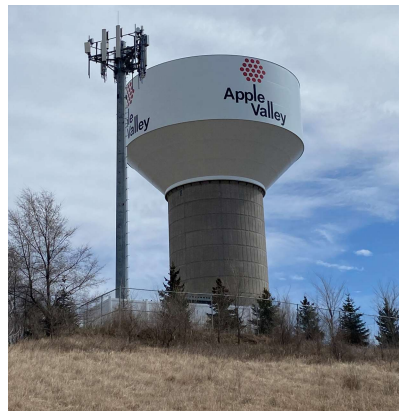
## Public Hearing Comments

### 3. How many existing towers are there in Apple Valley?

**Staff Response:** Based on previous land use applications and City records, there are 7 existing towers. This does not include antennas attached to buildings.



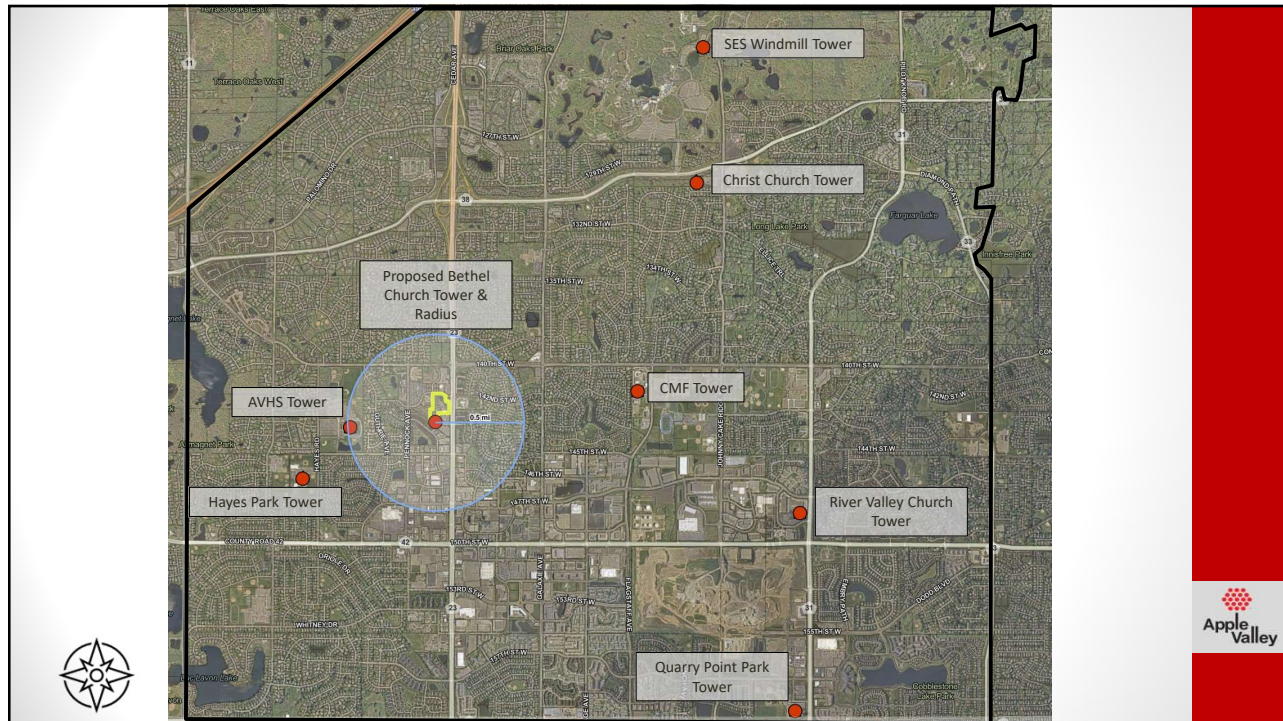
Christ Church Tower (12925 Johnny Cake Ridge Rd)



Quarry Point Park Tower (15725 Pilot Knob Rd)



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## Public Hearing Comments

### 4. General comments and questions on RF (radio frequency) emissions.

**Staff Response:** It is not within the City's purview to determine or monitor RF emissions and it is not an adopted performance standard in the City Code -- this is regulated by the Federal Communications Commission (FCC). The City's zoning decisions are restricted by several provisions in the federal telecommunications laws. The City may not deny a communications tower CUP based on concerns of RF emissions.

**Applicant Response:** The FCC regulates emissions based on Effective Radiated Power (ERP). FCC guidelines are based on recommendations from other federal health and safety agencies. The ERP of this tower is within the FCC mandated guidelines. There is not a federal requirement to monitor emissions over time. Please see the applicant presentation.

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## Public Hearing Comments

### 5. Comment on prohibiting towers near schools.

**Staff Response:** In Apple Valley, school properties are generally zoned as "P" (Institutional). The Institutional zone allows for towers as a conditional use. There are existing towers that are near schools, as well as located on school properties. The City cannot prohibit the location of a proposed tower in a zoning district where it is currently allowed as a conditional use.

### 6. Concern with property values when adjacent to a tower.

**Staff Response:** Property values are determined by a complex set of variables that are difficult to attribute to a single adjacent land use. Instead, property values are impacted by overall City development patterns. No documentation has been provided that property values decrease due to proximity to a cell tower. The City finds that over time, infrastructure like cell towers tend to become invisible as neighbors become used to seeing the structure.



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## Public Hearing Comments

### 7. How long will construction of the tower last? What streets will be used for construction of the tower? How many trees will be removed due to construction of the tower?

**Staff Response:** Staff does not have concerns with the proposed construction of the tower. The Natural Resources department will review the required tree preservation concept as part of a Natural Resources Management Permit (NRMP). Additionally, a building permit is required prior to construction. Conditions of the CUP resolution would need to be met prior to issuance of a building permit.

**Applicant Response:** Construction access will come from 143rd St W, except for underground electric, which is installed from a transformer to the north. Construction is phased including civil work, tower staking, antenna installation, and utility installation. In total, the process will be approximately 6 weeks. One, 24" tree and brush will be removed due to construction of the tower.



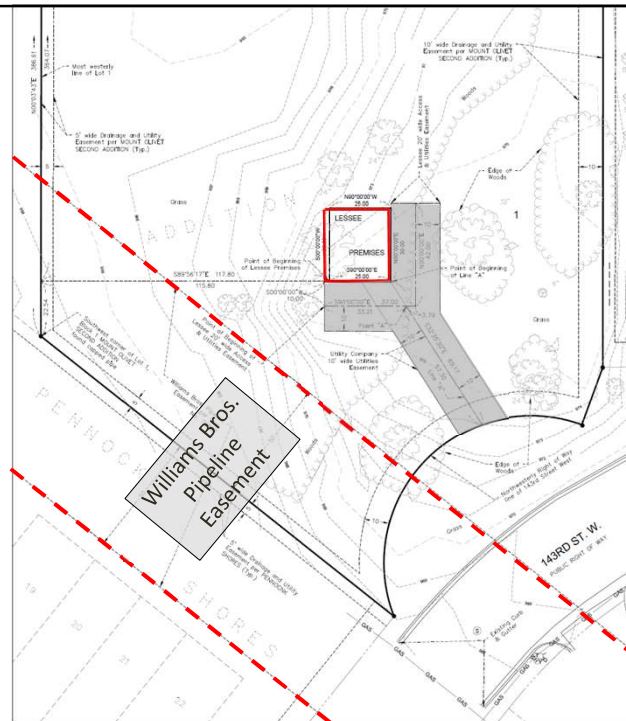
18

## Public Hearing Comments

### 8. Was Magellan Pipeline contacted for the tower site?

**Staff Response:** The submitted plans show the tower and equipment pad outside of the pipeline easement.

**Applicant Response:** No, as shown on the land survey, the lease premises and access are not within the pipeline easement. Furthermore, existing gas lines are located on the south side of 143rd St W.



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## Public Hearing Comments

### 9. What is the City's authority when reviewing CUPs?

**Staff Response:** The City exercises a quasi-judicial role when reviewing a request for a CUP, meaning that it is reviewing the request based on requirements that are currently adopted in City Code. The performance standards related to a CUP for a communications tower are set out in section 155.385 of City Code. If the applicant provides plans and documentation that meet the performance standards and requirements set in City Code, the applicant is entitled to the CUP. The City may place reasonable conditions that are related to the adopted performance standards on a conditional use to mitigate adverse impacts associated with the use.



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## Conditions

1. The construction and operation of the wireless communications monopole tower shall be in conformance with the Site Plan (Sheet A-1) dated January 13, 2025, and the Enlarged Site Plan (Sheet A-2) dated January 13, 2025.
2. The antennas shall be flush-mounted to the monopole in accordance with the North Elevation Plan (Sheet T-1) dated January 13, 2025.
3. A building permit and electrical permit shall be obtained from the Building Inspections Department prior to any construction on the site.
4. Tower construction, maintenance, and operation shall comply with the communications tower requirements set forth in the City code, Section 155.385.
5. A qualified and licensed professional engineer shall submit certified construction plans which are in conformance with the following: the latest structural standards; acceptable engineering methods and practices and the National Electrical code.
6. The telecommunication service applicant shall provide verification of written final authorization/agreement with the landowner for the placement of the tower on the property prior to issuance of the building permit.
7. Subject to all conditions noted in the City Engineer's memo dated February 27, 2025, and revised on April 3, 2025.



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## Conditions

8. Landscaping that provides year-round screening shall be installed adjacent to 143<sup>rd</sup> St W. A landscaping plan shall be submitted for review and approval prior to the issuance of a building permit.
9. The property owner shall maintain the existing trees surrounding the tower and equipment pad area that serve as screening. If these trees are determined to be insufficient in screening the tower area, additional screening measures may be required.
10. A tree preservation concept shall be submitted prior to the issuance of a Natural Resources Management Permit (NRMP).
11. A qualified and licensed professional engineer shall certify that the cell tower is designed in all aspects to accommodate both the operator's antenna and one additional user.
12. The base of the tower shall be enclosed with a fence at least six feet in height, constructed of a durable, maintenance-free material that effectively screens the mechanical equipment. The proposed fence material shall be submitted for review and approval before a building permit is issued.
13. The 12-foot-wide access driveway shall be paved with either concrete or bituminous material from and including the driveway apron abutting the public right of way to the security fence.
14. The tower's surface color shall be selected to blend with the surrounding area as effectively as possible and shall be reviewed and approved by the City's Planning Department prior to the issuance of a building permit.
15. The Conditional Use Permit may be revoked for cause if the terms of (1) through (14) preceding are not adhered to or met while the tower is in place.



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## Recommended Action

**Adopt resolution approving** a conditional use permit (CUP) for an 86' tall wireless communications tower at Bethel Assemblies of God Church Property located at 14201 Cedar Avenue.



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## Questions?



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ITEM:  
COUNCIL MEETING DATE:  
SECTION:

5.D.  
April 10, 2025  
Regular Agenda

**Description:**

Airport Runway Construction Update

**Staff Contact:**

Charles Grawe, Assistant City Administrator

**Department / Division:**

Administration Department

**ACTION REQUESTED:**

N/A

**SUMMARY:**

Council will receive an update regarding upcoming construction at Minneapolis-St. Paul International Airport. This year, Runway 12R-30L (South Parallel Runway) will be closed for two periods, April 14 to May 23 and August 18 to September 26. These runway closure periods will alter aircraft arrival and departure procedures and will redistribute aircraft overflights and associated noise over surrounding communities, including Apple Valley.

**BACKGROUND:**

N/A

**BUDGET IMPACT:**

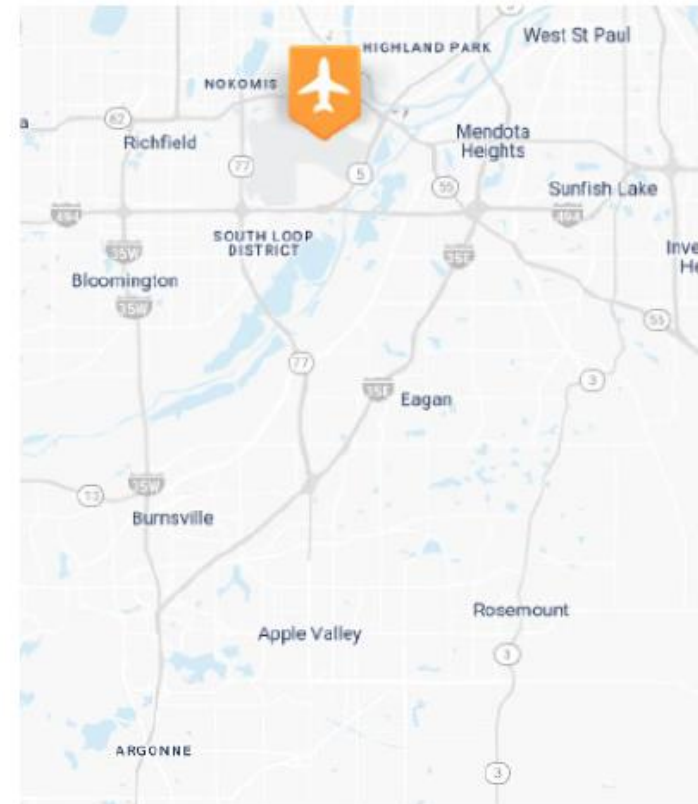
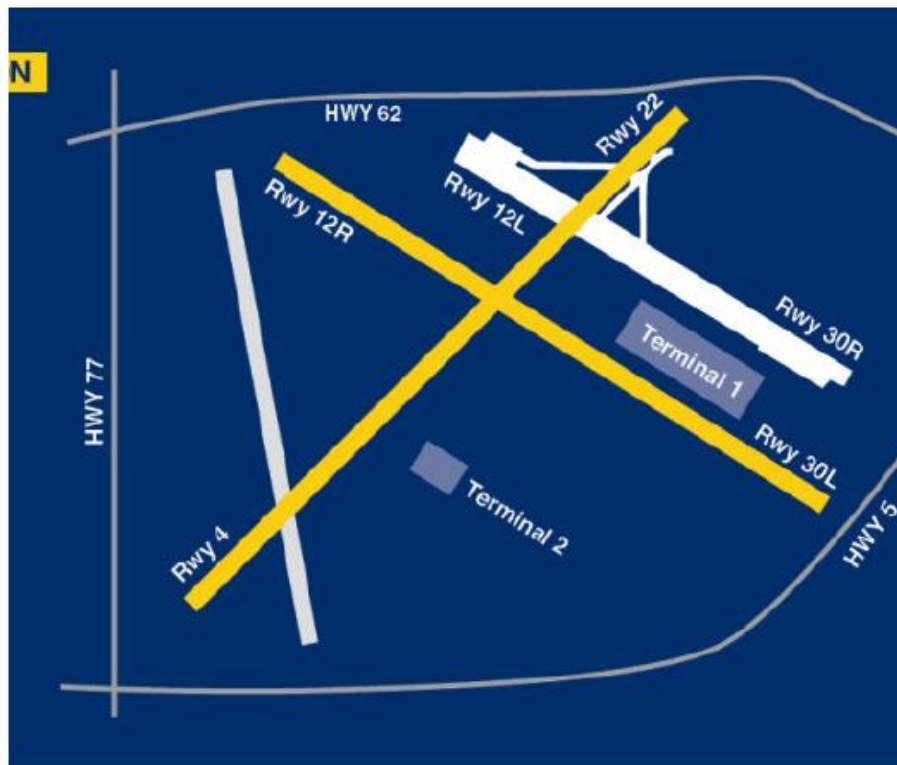
N/A

**ATTACHMENTS:**

Map

# MSP Runway Construction

South Parallel Runway Closed April 14<sup>th</sup> to May 23<sup>rd</sup> and August 18<sup>th</sup> to September 26<sup>th</sup>





ITEM:  
COUNCIL MEETING DATE:  
SECTION:

7.  
April 10, 2025  
Calendar of Upcoming Events

<b>Description:</b> Approve Calendar of Upcoming Events	
<b>Staff Contact:</b> Stephanie Marschall, Deputy City Clerk	<b>Department / Division:</b> City Clerk's Office

**ACTION REQUESTED:**

Approve the calendar of upcoming events as listed in the summary below, and noting each event listed is hereby deemed a Special Meeting of the City Council.

**SUMMARY:**

Wed./Apr. 9	9 a.m.	Municipal Center	Firefighters Relief Association Board Meeting
Thur./Apr. 10	4:30 p.m.	Municipal Center	Council Photos
Thur./Apr. 10	5:30 p.m.	Municipal Center	Informal City Council Meeting
Thur./Apr. 10	7 p.m.	Municipal Center	Regular City Council Meeting*
Fri./Apr. 11	8:30 a.m.	Valleywood	Special Informal City Council Meeting (Goal Setting)
Sat./Apr. 12	9 a.m.-3 p.m.	Eastview High School	Apple Valley Home & Garden Expo
Tue./Apr. 15	2 p.m.	Municipal Center	Cemetery Advisory Committee Meeting
Wed./Apr. 16	7 p.m.	Municipal Center	Planning Commission Meeting
Thur./Apr. 17	4:30-6:30 p.m.	Lakeview Bank, Lakeville	Joint Chamber Business After Hours (Legacy Awards)
Wed./Apr. 23	5 p.m.	Skating Center, Roseville, MN	Metro Cities Annual Meeting
Thur./Apr. 24	6:45 p.m.	Municipal Center	Volunteer Recognition Reception
Thur./Apr. 24	7 p.m.	Municipal Center	Regular City Council Meeting*
Mon./Apr. 28	6 p.m.	Lebanon Cemetery	Workers Memorial Day Service
Thur./May 1	6 p.m.	Municipal Center	Informal Parks & Recreation Advisory Committee Meeting
Thur./May 1	7 p.m.	Municipal Center	Regular Parks & Recreation Advisory Committee Meeting



Wed./May 7	7 p.m.	Municipal Center	Planning Commission Meeting
Thur./May 8	5 p.m.	Diamond Path Park	Arbor Day Tree Planting Ceremony
Thur./May 8	5:30 p.m.	Municipal Center	Informal City Council Meeting
Thur./May 8	7 p.m.	Municipal Center	Regular City Council Meeting*

**BACKGROUND:**

Each event is hereby deemed a Special Meeting of the City Council, the purpose being informational or social gathering. Only events marked with an asterisk (\*) will any action of the Council take place.

**BUDGET IMPACT:**

N/A