



**Meeting Location: Municipal Center  
7100 147th Street West  
Apple Valley, Minnesota 55124**

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**May 8, 2025**

**CITY COUNCIL INFORMAL MEETING TENTATIVE DISCUSSION ITEMS  
5:30 PM**

1. Council Discussion Items (10 min.)
2. Police Department Updates (20 min.)
3. Discuss Ash Tree Replacement Rebate Program (20 min.)
4. Deer Management Discussion (20 min.)
5. Adjourn

**CITY COUNCIL REGULAR MEETING TENTATIVE AGENDA  
7:00 PM**

1. Call to Order and Pledge
2. Approve Agenda
3. Audience - 10 Minutes Total Time Limit - For Items NOT on this Agenda
4. Approve Consent Agenda Items

*Consent Agenda Items are considered routine and will be enacted with a single motion, without discussion, unless a councilmember or citizen requests to have any item separately considered. It will then be moved to the regular agenda for consideration.*

- A. Approve Minutes of April 24, 2025, Regular Meeting
- B. Proclaim May 18-24, 2025, as "Public Works Week"
- C. Approve State Gambling Exempt Permit for Renegade Pigs M/C MN to hold a raffle on July 19, 2025, at Cowboy Jack's, 14998 Glazier Avenue
- D. Approve City Council Travel Request for Attendance at National League of Cities Summer Board and Leadership Meeting
- E. Approve 2026 Budget Calendar and Set Special Informal Meeting on August 28, 2025, at 5:30 p.m.
- F. Approve Program for Voluntary Assessments for Diseased Tree

## Removals on Private Property

- G. Surplus Parks Equipment
  - 1. Declare Redwood Park Pool Light Poles and Fixtures as Surplus and Authorize Disposal or Auction
  - 2. Approve Agreement with Auction Masters, Inc., to Host Online Auction
- H. Adopt Resolution Accepting Easements for Project 2022-111, Apple Valley 11th and 12th Additions Electrical Conversion Phase 1
- I. Adopt Resolution Approving One-Year Extension of a Setback Variance for Drive-Through Canopy at Chick-Fil-A (7480 153rd Street West)
- J. Approve Procedures for Administering Project 2024-190, Kelley Park Renovation (2023 Parks Bond Referendum)
- K. Adopt Resolution Approving Plans and Specifications for Project 2025-113, Galaxie Avenue & CSAH 42 Entrance Monument Improvements, and Authorizing Advertisement for Receipt of Bids June 3, 2025, at 10:00 a.m.
- L. Adopt Resolution Awarding Agreement for Project 2025-105, 2025 Street Improvements
- M. Adopt Resolution Awarding Agreement for Project 2025-109, Central Village Street Improvements
- N. Approve Professional Services Agreement with Surprise Endurance, LLC, for Physical Fitness and Wellness Training
- O. Approve Agreement with Keys Well Drilling Company, for Project 2024-136, Well 16 Recommissioning
- P. McDonalds at Orchard Place (15460 English Avenue)
  - 1. Adopt Resolution Completing Vacation of Easements on Outlot A, Orchard Place 4th Addition
  - 2. Adopt Resolution Approving Final Plat and Development Agreement
  - 3. Approve Storm Water Maintenance Agreement, on Lot 2, Block 1, McDonalds at Orchard Place, for Proposed McDonald's Restaurant
- Q. Approve Change Order No. 11 for Project 2021-172, Police Garage
- R. Approve Change Order No. 1 to Professional Services Agreement with Johnson Laffen Galloway Architects, Ltd., d/b/a JLG Architects, for Project 2024-187, Family Aquatic Center Improvements (2023 Parks Bond Referendum)
- S. Approve Acceptance and Final Payment on Agreement with Nordic Services, Inc., d/b/a Nordic Mechanical Services, for Fire Station 1



HVAC Replacement

T. Approve Claims and Bills

U. Approve Personnel Report

5. Regular Agenda Items

A. Proclaim May 2025, as "Mental Health Awareness Month"

B. Proclaim May 15, 2025, as "Peace Officer's Memorial Day" and May 12-16, 2025, as "Police Week"

C. Adopt Resolution Approving Site Plan/Building Permit Authorization of the Apple Valley Village (Cassia) Expansion for Development of a Transitional Care Unit Facility on Lot 2, Block 1, Apple Valley 4th Addition

D. Kelley Park Improvements

1. Pass Ordinance Rezoning Lot 1, Block 1 and Lot 1, Block 2, Kelley Park from "PD-739" (Planned Development No. 739) to "P" Institutional
2. Adopt Resolution Approving Setback Variances for a Bandshell Structure from Galante Lane from 35' to 20', and from Fortino Street from 35' to 23'
3. Adopt Resolution Approving Setback Variance for a Restroom and Pavilion Structure from 152nd Street West from 35' to 20'
4. Adopt Resolution Approving Setback Variances for the Expansion of a Parking Lot from Foliage Avenue from 20' to 13', from 152nd Street West from 20' to 10', and from Fortino Street from 20' to 10'
5. Adopt Resolution Approving the Site Plan/Building Permit Authorization for a Bandshell Structure, Restroom and Pavilion Structure, and Other Improvements at Kelley Park

E. Approve Guaranteed Maximum Price Amendment to AIA Agreement with Kraus-Anderson Construction Company for Construction Management at Risk Services for Project 2024-190, Kelley Park Renovation (2023 Parks Bond Referendum)

F. 2025 Special Assessment Roll No. 697, \$163,625.43 - Delinquent Utilities

1. Hold Public Hearing
2. Adopt Resolution Levying Assessments

6. Staff and Council Communications

7. Approve Calendar of Upcoming Events

8. Adjourn

*Regular meetings are broadcast, live, on Charter Communications Cable Channel 180 and on the City's website at [www.applevalleymn.gov](http://www.applevalleymn.gov)*



ITEM:  
COUNCIL MEETING DATE:  
SECTION:

2.  
May 8, 2025  
Informal Agenda Item

**Description:**

Police Department Updates (20 min.)

**Staff Contact:**

Nick Francis, Chief of Police

**Department / Division:**

Police Department

**ACTION REQUESTED:**

N/A

**SUMMARY:**

National Police Week takes place every May in the United States. The Police Department would like to take time at the informal meeting each May to update the City Council on our Department's latest initiatives.

Police officer wellness has been a focus across the criminal justice profession for the past several years. The Apple Valley Police Department continues to invest in our staff through various wellness initiatives. Department leadership will provide updates on these initiatives.

**BACKGROUND:**

N/A

**BUDGET IMPACT:**

N/A



ITEM:  
COUNCIL MEETING DATE:  
SECTION:

3.  
May 8, 2025  
Informal Agenda Item

**Description:**

Discuss Ash Tree Replacement Rebate Program (20 min.)

**Staff Contact:**

Samantha Berger, Natural Resources Coordinator

**Department / Division:**

Natural Resources Division

**ACTION REQUESTED:**

N/A

**SUMMARY:**

Staff will provide an update to Council on the Boulevard Tree Rebate Program. The City's new Tree Rebate Program began in 2024. To date, there has not been a lot of interest from property owners in using the program to replace/replant trees. Staff would like to discuss some possible revisions to the tree replacement program in an effort to increase the tree canopy after the removal of hundreds of diseased ash trees from the boulevard.

**BACKGROUND:**

This topic was previously discussed with the City Council at the October 10, 2024 Informal Meeting.

**BUDGET IMPACT:**

N/A



ITEM:  
COUNCIL MEETING DATE:  
SECTION:

4.  
May 8, 2025  
Informal Agenda Item

**Description:**

Deer Management Discussion (20 min.)

**Staff Contact:**

Samantha Berger, Natural Resources Coordinator

**Department / Division:**

Natural Resources Division

**ACTION REQUESTED:**

N/A

**SUMMARY:**

Staff from the City's Parks, Police & Public Works Departments have researched information related to the management of deer in the community over the last few years and have created a DRAFT Deer Management Plan. Staff will present this information and be available for questions at the May 8, 2025, informal City Council meeting.

**BACKGROUND:**

Staff previously discussed deer management at the August 10, 2023, informal City Council meeting. At that time, Council directed staff to work with Dakota County and neighboring cities to survey deer populations and determine whether management was needed. Recent surveys from Dakota County and Three Rivers Park District demonstrate that deer populations are high in the City and management should be considered.

In addition, the City receives a half dozen or so calls or communications each year from property owners regarding issues with deer in the City. Natural Resources staff worked with the Minnesota Department of Natural Resources to create a DRAFT Deer Management Plan, which would allow for the City to obtain permits from the State for deer management.

**BUDGET IMPACT:**

None at this time. If the City would implement a future management program, there could be an on-going cost.

**ATTACHMENTS:**

Background Material



City of Apple Valley

## Deer Management Plan (Draft)

January 2025



© Hautman Brothers. Courtesy of MHS Licensing.

# Whitetail Deer Management Plan

January 2, 2025

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## **1. City of Apple Valley White-tailed Deer Management Concerns**

White-tailed deer (*Odocoileus virginianus*) are highly adaptable animals and occupy a broad range of habitats in the Minneapolis/Saint Paul Metro and the surrounding suburban areas. The City of Apple Valley is comprised of public and private property interspersed with parks, athletic fields, forests, wetlands, and open areas that make suitable habitat to support a population of White-tailed deer.

The City of Apple Valley strives to maintain a sustainable population of deer within the city to allow for wildlife enjoyment by residents and to allow deer to co-exist in our ecosystem.

A sustainable population would be defined as one that minimizes vehicle/deer collisions, limits damage to property and protects natural areas from over-browse while still providing suitable habitat and opportunity for a limited number of deer to thrive.

Deer populations are monitored through recording of deer/vehicle collisions, aerial surveys, and citizen input. In the absence of deer management actions, the City of Apple Valley is likely to see an increase in negative human-deer interactions including deer damage to vegetation and increased deer-vehicle collisions.

### **1.1 Deer Habitat and Population**

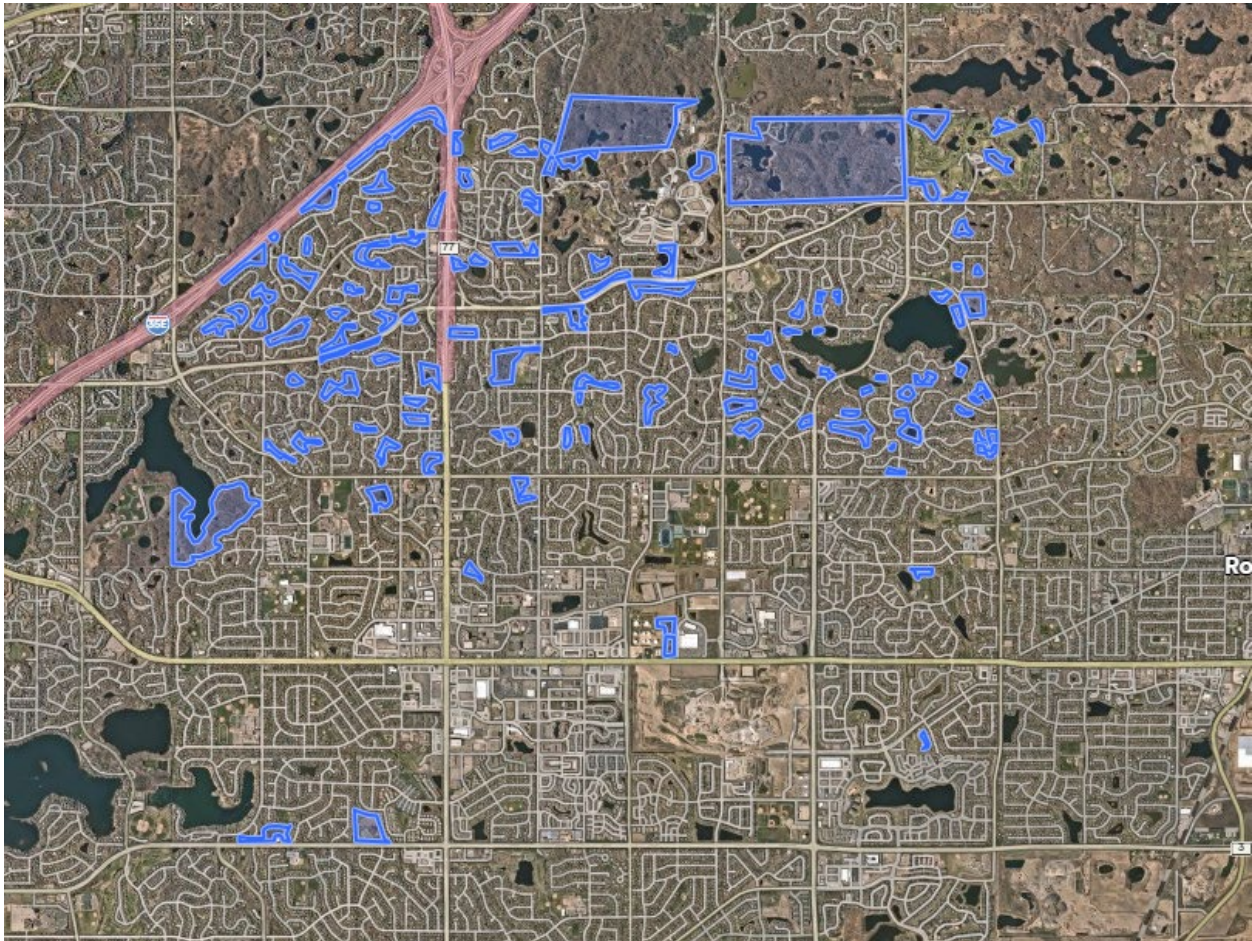
The City of Apple Valley covers an area of approximately 16.87 square miles and 10,796 acres. The Minnesota Department of Natural Resources recommends a deer population of no more than 15-25 deer per square mile of suitable habitat. Generally, observed deer populations will be highly concentrated in areas of the city with forest cover and a natural water source such as Lebanon Hills Regional Park, Alimagnet Park, or any of the other city parks.

Deer population numbers are evaluated in terms of the wildlife management concept known as carrying capacity. Carrying capacity is considered the number of deer an area can support considering biological and social/cultural factors. Deer densities are most often expressed in deer/sq. mi. In general, when a deer population is exceeding its carrying capacity, incidents of vegetation damage, citizen complaints, and deer-vehicle collisions will increase.

Currently, the City of Apple Valley has roughly 1.3 square miles of suitable deer habitat. Most of southeastern Apple Valley will be less of a priority area due to the amount of residential and commercial presence and lack of suitable deer habitat. Lebanon Hills Regional Park and the MN Zoo are managed for deer by other entities. The City of Apple Valley operates the deer management program between the months of November and March of each year. See below Figure 1 for areas of suitable deer habitat within the City of Apple Valley:



**Figure 1**



## **1.2 Purpose and Goals**

The purpose of this deer management plan is to develop tools and strategies for managing deer within the City of Apple Valley. The plan addresses damage and accidents associated with deer while acknowledging and respecting the non-consumptive benefits and appreciation of wildlife presence within the city.

The following are the goals of the City of Apple Valley deer management plan:

- To educate residents about White-tailed deer and foster an appreciation for the species and their role in a healthy natural or suburban environment.
- To reduce the number of citizen complaints related to deer which are often related to vegetation damage.
- To recommend, where possible, the use of non-lethal methods to minimize deer damage which may include vegetation management, exclusion/fencing, and repellents.
- To reduce the annual number of deer-vehicle collisions within the City of Apple Valley.
- To prevent damage to and maintain the health of native plant communities within Apple Valley's parks and natural areas.

- To actively monitor the Deer population within the City of Apple Valley through counts, citizen records, vehicle collisions, and aerial surveys.
- Work with other State or Federal entities to maintain deer population levels at the recommended 15-25 deer per any square mile of suitable habitat.

### **1.3 Control Measures**

The City of Apple Valley will utilize Apple Valley's Police Department for deer herd management. Deer are baited and eliminated by trained sharpshooters within the Police Department who use noise suppression and night vision technologies. The City of Apple Valley will use a professional wildlife control contractor for deer removal from site, field dressing, deer storage, and deer carcass transportation to a meat processor.

Deer herd management activities will be held on City of Apple Valley property unless advance consent has been received by private landowners to authorize population control, including the discharge of firearms, on their property.

All the deer harvested will be tested for CWD (Chronic Wasting Disease) prior to the meat processor handling them. All deer that do not test positive for CWD will be processed and donated to local food shelves. Deer hides will be donated to the [Minnesota Deer Hunters Association Hides for Habitat Program](#).

The City of Apple Valley retains the right to utilize lethal control measures at its discretion for deer that have been severely injured or poses a risk to public safety.

### **1.4 Population Monitoring**

The City of Apple Valley will continue to track the number of deer-vehicle collisions and citizen complaints concerning deer. The city will also endeavor to conduct annual winter deer population aerial surveys to monitor the herd.

### **1.5 Approval Process**

When aerial surveys, collision reports, or citizen monitoring data show trends indicating higher than recommended population levels:

1. City staff will make a recommendation to the City Administrator that population control measures are appropriate and recommend locations for management.
2. With City Administrator approval, city staff will draft a memo detailing the population reporting and recommended management areas to be presented to the Apple Valley City Council for review/consent at a public meeting.
3. If approved, city staff will apply for the necessary permits from the Minnesota Department of Natural Resources. If the permit application from the MN DNR is approved, the City of Apple Valley will proceed with contract negotiations with a professional wildlife control contractor and scheduling with the City of Apple Valley Police Department. Permits are typically issued for management activities to occur between the fall/winter months of November through March.
4. The City of Apple Valley will coordinate with the Apple Valley Police Department and the contracted agency to ensure that management activities are held in approved and appropriate areas and will not impact the safety of Apple Valley residents.

5. If written permission has been received from a landowner to conduct management activities on their property, written notification will be provided to neighboring property owners.
6. The City will notify homeowners and residents of Apple Valley regarding the day(s) and times of when deer management activities will be underway, along with locations.

## **1.6 Reporting Process**

1. A written report will be attained from the contracted agency including a summary of management activities to include the number of deer removed from each location, the cost for management activities, and reports of any incidents that may have impacted residents or neighboring property.
2. A summary of management activities will be presented to the City Council on the consent agenda within one month of the conclusion of management activities and final billing/reporting.
3. City of Apple Valley staff will be available to answer any questions or provide a verbal summary of the management activities if requested.

## **1.7 Public Education**

When feasible and/or applicable, City staff will provide public education of:

1. White-tailed deer habitat and management (See education material on City website and in City newsletters).
2. Chronic Wasting Disease (CWD) education ([MN DNR CWD Page](#))
3. Deer feeding and attractant bans and our “collaboration” with MN DNR Conservation Officers ([MN DNR Deer Feeding Ban Page](#))
4. Vegetation protection education ([MN DNR Wildlife Control Techniques Page](#))

## **1.8 Staff Contact**

Any questions regarding the wildlife management plan can be directed to the following:

Natural Resources Coordinator, Samantha Berger –

[Samantha.berger@applevalleymn.gov](mailto:Samantha.berger@applevalleymn.gov) (952-953-2462)

Water Resources Specialist, Brian Hartman –

[Brian.hartman@applevalleymn.gov](mailto:Brian.hartman@applevalleymn.gov) (952-953-2461)

## Appendix A: City of Apple Valley Deer Management Activity Documentation Form

[illegible]



ITEM:  
COUNCIL MEETING DATE:  
SECTION:

4.A.  
May 8, 2025  
Consent Agenda

**Description:**

Approve Minutes of April 24, 2025, Regular Meeting

**Staff Contact:**

Christina M. Scipioni, City Clerk

**Department / Division:**

City Clerk's Office

**ACTION REQUESTED:**

Approve the minutes of the regular meeting of April 24, 2025.

**SUMMARY:**

The minutes from the last regular City Council meeting are attached for review and approval.

**BACKGROUND:**

State statute requires the creation and preservation of meeting minutes which document the official actions and proceedings of public governing bodies.

**BUDGET IMPACT:**

N/A

**ATTACHMENTS:**

Minutes

CITY OF APPLE VALLEY  
Dakota County, Minnesota  
April 24, 2025

Minutes of the regular meeting of the City Council of Apple Valley, Dakota County, Minnesota, held April 24, 2025, at 7:00 p.m.

PRESENT: Mayor Hooppaw; Councilmembers, Grendahl, and Hiebert.

ABSENT: Councilmembers Bergman and Melander.

City staff members present were: City Administrator Lawell, City Clerk Scipioni, City Attorney Hills, City Engineer Anderson, Community Development Director Benetti, Parks and Recreation Director Carlson, Deputy Police Chief Dahlstrom, Police Chief Francis, Consultant Planner Haskamp, Planner Hayes, Finance Director Hedberg, Fire Chief Nelson, Public Works Director Saam, and Associate Planner Stroeing.

Mayor Hooppaw called the meeting to order at 7:00 p.m. Everyone took part in the Pledge of Allegiance to the flag.

### **Approval of the Agenda**

MOTION: of Grendahl, seconded by Hiebert, approving the agenda for tonight's meeting, as presented. Ayes - 3 - Nays - 0.

### **Audience**

Mayor Hooppaw asked if anyone was present to address the Council, at this time, on any item not on this meeting's agenda.

Dave Walstad, 14244 Fossil Lane, addressed the Council regarding airplane traffic and noise.

### **Consent Agenda**

Mayor Hooppaw asked if the Council or anyone in the audience wished to pull any item from the consent agenda. Councilmember Grendahl requested item 4.G be pulled for further discussion

MOTION: of Grendahl, seconded by Hiebert, approving all items the consent agenda, except 4.G. Ayes - 3 - Nays - 0.

### **CONSENT AGENDA ITEMS**

- A. Approve minutes of the regular meeting of April 10, 2025, as written.
- B. Proclaim May 4-10, 2025, as "Drinking Water Week".
- C. Proclaim April 2025 as "Fair Housing Month".

- D. Approve issuance of Temporary On-Sale Liquor License for Apple Valley American Legion, Post 1776, at 14521 Granada Drive on July 3-4, 2025, and August 16, 2025.
- E. Approve State Gambling Exempt Permit for RVPE Foundation at Valley Middle School, 900 Gardenview Drive, on June 20, 2025.
- F. Adopt **Resolution No. 2025-56** amending the 2024 Operating Budget for specific items.
- G. ~~Adopt **Resolution No. 2025-57** amending the 2025 Operating Budget for specific items.~~ Item pulled for discussion
- H. Adopt **Resolution No. 2025-58** approving changes to Public Works Department Policy Manual.
- I. Approve 2025-2026 Goal Setting Focus Session Summary.
- J. Adopt **Resolution No. 2025-59** for approval of Dakota County to join the Minnesota Transit Authority Board of Commissioners.
- K. Adopt **Resolution No. 2025-60** approving plans and specifications for Project 2022-111, Apple Valley 11th and 12th Additions Electrical Conversion Phase 1, and authorizing advertisement for receipt of bids, on May 12, 2025 at 10:00 a.m.
- L. Approve agreement with Metropolitan Council for 2025 Community Assisted Lake Monitoring Program.
- M. Adopt **Resolution No. 2025-61** awarding agreement for Project 2023-133, EVR-P11 Pond Enhancements.
- N. Adopt **Resolution No. 2025-62** awarding agreement for Project 2025-115, Contract Ash Tree Stump Removal and Sidewalk Replacement.
- O. Approve Change Order No. 31 to agreement with Terra General Contractors, LLC, d/b/a Terra Construction, for Project 2024-187, Family Aquatic Center Improvements (2023 Parks Bond Referendum).
- P. Approve claims and bills.
- Q. Approve personnel report.



4.G Adopt **Resolution No. 2025-57** amending the 2025 Operating Budget for specific items.

Councilmember Grendahl asked for additional information regarding where the funding came from for the Valleywood Golf Course and the General Fund amendments.

Mr. Hedberg stated the Valleywood Golf Course funding is being moved from one fund account to another. He stated the larger General Fund amendments were projects not completed in prior budget years, so funds exist in the City's fund balance to complete the projects.

MOTION: of Grendahl, seconded by Hiebert, adopting Resolution No. 2025-57 amending the 2025 Operating Budget for specific items. Ayes - 3 - Nays - 0.

### **Regular Agenda**

#### **A. Proclaim Volunteer Recognition Week**

Ms. Scipioni introduced this item and read the proclamation proclaiming April 20 through April 26, 2025, as "Volunteer Recognition Week".

MOTION: of Grendahl, seconded by Hiebert, proclaiming April 20 through April 26, 2025, as "Volunteer Recognition Week" and thanking all those who contribute their time, talent, and energy to the community. Ayes - 3 - Nays - 0.

#### **B. Proclaim National Therapy Animal Day**

Mayor Hooppaw introduced this item and read the proclamation proclaiming April 30, 2025, as "National Therapy Animal Day".

MOTION: of Hiebert, seconded by Grendahl, proclaiming April 30, 2025, as "National Therapy Animal Day". Ayes - 3 - Nays - 0.

Apple Valley resident Mary Mittelstaedt, a Pet Partners animal therapy volunteer, and her service dog, Duke, accepted the proclamation.

#### **C. McDonalds at Orchard Place Vacation of Drainage and Utility Easements**

Ms. Stroeing stated McDonald's USA, LLC has requested consideration of vacation drainage and utility easements along the south, east, and northwest sides of Outlot A, Orchard Place 4th Addition. The existing outlot is located at the northwest corner of Pilot Knob Road and 155th Street West. The preliminary plat for McDonalds at Orchard Place was approved at the February 27, 2025, City Council meeting. It is anticipated that the final plat and development agreement will be on an upcoming City Council meeting agenda. New drainage and utility easements are proposed through the McDonalds at Orchard Place plat. No comments or concerns have been received to date. Staff recommends that the hearing for the vacation of the easements be held, but that no other formal action be taken until the City Council reviews the McDonalds at Orchard



Place final plat. This will ensure that replacement easements are dedicated along the new property lines.

Mayor Hooppaw called the public hearing to order at 7:19 p.m. to consider vacation of drainage and utility easements on Outlot A, Orchard Place 4th Addition on the northwest corner of Pilot Knob Road and 155th Street West (preliminary platted as McDonalds at Orchard Place). The Mayor asked for questions or comments from the Council or audience. There were none and the hearing was declared closed at 7:19 p.m.

#### D. Orchard Place 5th Addition (Lot 1, Lot 2, Outlot B Only) Rezoning

Ms. Stroeing stated HJ Development and Rockport, LLC, are requesting approval of a rezoning of Lot 1 and Lot 2, Block 1 and Outlot B of Orchard Place 5th Addition from "RB" (Retail Business) to "PD" (Planned Development). This request aligns with a proposed subdivision of a 16.22-acre outlot (Outlot D, Orchard Place 2nd Addition) into two lots and two outlots. Provided that the rezoning and preliminary plat are approved, the site plan/building permit authorization requests for Lot 1 and Lot 2 may be reviewed and approved. Lot 1, Block 1, Orchard Place 5th Addition would be the site of a proposed indoor/outdoor recreation facility and Class 1 restaurant -- Skyline Social & Games. Lot 2, Block 1, Orchard Place 5th Addition would be the site of a 135-unit multi-family apartment complex.

MOTION: of Grendahl, seconded by Hiebert, passing an ordinance approving the rezoning of Lot 1 and Lot 2, Block 1 and Outlot B, Orchard Place 5th Addition (according to the preliminary plat) from "RB" (Retail Business) to "PD" (Planned Development). Ayes - 3 - Nays - 0.

MOTION: of Grendahl, seconded by Hiebert, passing a Planned Development ordinance applicable to Lot 1 and Lot 2, Block 1 and Outlot B, Orchard Place 5th Addition (according to the preliminary plat). Ayes - 3 - Nays - 0.

#### E. Orchard Place 5th Addition

Ms. Stroeing stated HJ Development, and Rockport, LLC, are requesting approval of the subdivision of a 16.22-acre outlot (Outlot D, Orchard Place 2nd Addition) into two lots and two outlots. This request is consistent with the proposed rezoning from "RB" (Retail Business) to "PD" (Planned Development) of Lot 1 and Lot 2, Block 1 and Outlot B, Orchard Place 5th Addition (according to the preliminary plat). Lot 1, Block 1, Orchard Place 5th Addition will be the site of a proposed indoor/outdoor recreation facility and Class 1 restaurant -- Skyline Social & Games. Lot 2, Block 1, Orchard Place 5th Addition will be the site of a 135-unit multi-family apartment complex. A public hearing for the proposed subdivision was held at the April 2, 2025, Planning Commission meeting. There were no public comments and no outstanding questions from the Planning Commission. The Planning Commission recommended approval of the proposed subdivision by a 6-0 vote.

MOTION: of Grendahl, seconded by Hiebert, adopting **Resolution No. 2025-63** approving subdivision by Preliminary Plat of Outlot D, Orchard Place 2nd Addition into two lots and two outlots by Orchard Place 5th Addition. Ayes - 3 - Nays - 0.

#### F. Skyline Social & Games

Ms. Stroeing stated Skyline MN Apple Valley, LLC has requested site plan/building permit authorization to allow construction of a 46,200 sq. ft. indoor commercial recreation facility and class I restaurant with an associated 51,000 sq. ft. outdoor recreation facility and patio on Lot 1, Block 1 of the proposed Orchard Place 5th Addition. The indoor recreation facility would include bowling lanes, duckpin lanes, axe throwing, an arcade, and banquet and meeting spaces. The outdoor recreation facility and patio would include sand volleyball courts, cornhole courts, bocce courts, indoor/outdoor bar, fire pits, and outdoor dining seating. The indoor/outdoor recreation facility will also be in conjunction with a restaurant service that provides traditional sit-down options, bar service, and outdoor seating. The Planning Commission reviewed this site plan/building permit authorization at the April 2, 2025, meeting. The Commission recommended approval of the project by a 6-0 vote.

MOTION: of Grendahl, seconded by Hiebert, adopting **Resolution No. 2025-64** approving Site Plan/Building Permit authorization to allow construction of a 46,550 sq. ft. indoor commercial recreation facility and class I restaurant with an associated 51,150 sq. ft. outdoor commercial recreation facility and patio on Lot 1, Block 1, Orchard Place 5th Addition (according to the preliminary plat). Ayes - 3 - Nays - 0.

Skyline Social co-owner Whitney Kolquist introduced the business to the City Council. The Mayor and Councilmembers welcomed Ms. Kolquist and thanked her for the investment in Apple Valley.

#### G. Orchard Place Apartments

Ms. Haskamp stated Robert Fink on behalf of Trident Development (“Applicant”) has applied for a Site Plan and Building Permit Authorization to construct a 135-unit multi-family residential apartment building on Outlot D of the Orchard Place 2nd Addition (“Subject Property”). Rockport, LLC (“Owner”) currently owns the Subject Property. This development will be located on Lot 2, Block 1, of the proposed Orchard Place 5th Addition. The Planning Commission recommended approval of the requested Site Plan and Building Permit Authorization for the proposed projects at the April 2, 2025, Planning Commission meeting.

MOTION: of Grendahl, seconded by Hiebert, adopting a Resolution approving the Site Plan and Building Permit Authorization for a 135-unit multi-family residential apartment building on Lot 2, Block 1, of the proposed Orchard Place 5th Addition (according to the preliminary plat). Ayes - 3 - Nays - 0.

### **Communications**

Mayor Hooppaw thanked Ms. Stroeing for her excellent work while the Community Development Department has been short-staffed.

Mayor Hooppaw discussed Consent Item 4.K, noting that this project is burying overhead powerlines in the community, something that is funded by franchise fees.

Mr. Lawell thanked Mayor Hooppaw for his three years of service on the Metro League of Cities Board of Directors.

Mr. Benetti introduced Planner Carter Hayes to the Council.

### **Calendar of Upcoming Events**

MOTION: of Grendahl, seconded by Hiebert, approving the calendar of upcoming events as included in the Deputy City Clerk's memo, and noting that each event listed is hereby deemed a Special Meeting of the City Council. Ayes - 3 - Nays - 0.

### **Adjourn**

MOTION: of Grendahl, seconded by Hiebert, to adjourn. Ayes - 3 - Nays - 0.

The meeting was adjourned at 7:50 p.m.

Respectfully Submitted,

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Christina M. Scipioni, City Clerk

Approved by the Apple Valley City Council  
on May 8, 2025.

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Clint Hooppaw, Mayor



ITEM:  
COUNCIL MEETING DATE:  
SECTION:

4.B.  
May 8, 2025  
Consent Agenda

**Description:**

Proclaim May 18-24, 2025, as "Public Works Week"

**Staff Contact:**

Matt Saam, Public Works Director

**Department / Division:**

Public Works Department

**ACTION REQUESTED:**

Proclaim May 18 through May 24, 2025, as "Public Works Week" in the City of Apple Valley.

**SUMMARY:**

Attached is a Public Works Week proclamation for the City Council's consideration. The proclamation recognizes the many facets of public works that affect modern civilization. Public works services determine a society's quality of life from providing clean water to building roads and bridges, planning for and implementing mass transit to removing snow on roadways, and devising emergency management strategies to meet natural or manmade disasters. The proclamation calls upon citizens of Apple Valley to gain knowledge of, and to maintain a progressive interest and understanding of the importance of public works.

**BACKGROUND:**

Since 1960, the American Public Works Association has celebrated the annual National Public Works Week which pays tribute to public works professionals, engineers, managers and employees. Public Works Week recognizes the substantial contributions public works employees make to protecting national health, safety, and quality of life. We extend our thanks and appreciation to our Public Works employees for the great job they do in helping to make our community vibrant, livable and desirable.

**BUDGET IMPACT:**

N/A

**ATTACHMENTS:**

Proclamation

**CITY OF APPLE VALLEY  
PROCLAMATION**

WHEREAS, public works professionals focus on infrastructure, facilities and services that are of vital importance to sustainable and resilient communities and to the public health, high quality of life and well-being of the people of the City of Apple Valley; and

WHEREAS, these infrastructure, facilities and services could not be provided without the dedicated efforts of public works professionals, who are engineers, managers and employees from local governments and the private sector, who are responsible for rebuilding, improving and protecting our nation's transportation, water supply, water treatment, public buildings, and other structures and facilities essential for our citizens; and

WHEREAS, it is in the public interest for the citizens, civic leaders and children in the City of Apple Valley to gain knowledge of and to maintain a progressive interest and understanding of the importance of public works and public works programs in their respective communities; and

WHEREAS, the American Public Works Association has celebrated the annual National Public Works Week since 1960.

NOW, THEREFORE, the City Council of the City of Apple Valley, Dakota County, Minnesota, does hereby proclaim the week of May 18 through May 24, 2025 as:

**PUBLIC WORKS WEEK**

PROCLAIMED this 8th day of May 2025.

---

Clint Hooppaw, Mayor

ATTEST:

---

Christina M. Scipioni, City Clerk



ITEM:  
COUNCIL MEETING DATE:  
SECTION:

4.C.  
May 8, 2025  
Consent Agenda

**Description:**

Approve State Gambling Exempt Permit for Renegade Pigs M/C MN to hold a raffle on July 19, 2025, at Cowboy Jack's, 14998 Glazier Avenue

**Staff Contact:**

Christina M. Scipioni, City Clerk

**Department / Division:**

City Clerk's Office

**ACTION REQUESTED:**

Approve issuance of a lawful gambling exempt permit by the State Gambling Control Board to Renegade Pigs M/C MN to hold a raffle on July 19, 2025, at Cowboy Jack's, 14998 Glazier Avenue.

**SUMMARY:**

Renegade Pigs M/C MN submitted an application for a raffle to be held at Cowboys Jack's, 14998 Glazier Avenue, on July 19, 2025. The application is on file in the City Clerk's Office.

**BACKGROUND:**

Exempt permits to conduct lawful gambling activities, on five or fewer days in a calendar year, for qualified nonprofit organizations, are issued by the State Gambling Control Board. Issuance is subject to approval or denial by the city in which the gambling activity is to be conducted.

**BUDGET IMPACT:**

N/A



ITEM:  
COUNCIL MEETING DATE:  
SECTION:

4.D.  
May 8, 2025  
Consent Agenda

**Description:**

Approve City Council Travel Request for Attendance at National League of Cities Summer Board and Leadership Meeting

**Staff Contact:**

Tom Lawell, City Administrator

**Department / Division:**

Administration Department

**ACTION REQUESTED:**

Approve out-of-state travel request for Councilmember Ruth Grendahl to attend the National League of Cities Summer Board and Leadership Meeting.

**SUMMARY:**

In accordance with the City's adopted Out-of-State Travel Policy, elected official out-of-state travel must be approved in advance by the City Council. This approval may be by either a specific line item within the City's adopted budget, or by specific travel authorization action taken at any official meeting of the City Council.

Councilmember Ruth Grendahl serves on the National League of Cities (NLC) Finance, Administration and Intergovernmental Relations (FAIR) Committee. The FAIR Committee will be meeting in Columbus, Ohio July 16-18, 2025 for the NLC Summer Board and Leadership Meeting. Council authorization is requested to approve this out-of-state travel.

**BACKGROUND:**

The City's adopted Out-of-State Travel Policy for Elected Officials establishes criteria for out-of-state travel that include:

1. The elected official will receive training on issues relevant to the City or to his or her role as the Mayor or a City Councilmember, or
2. The elected official will meet and network with other elected officials to exchange ideas on a topic of relevance to the City or the official role of local elected officials; or
3. The elected official will view or inspect a facility or function that is similar in nature to one that is currently operating in the City or under consideration by the City where the purpose for the trip is to study the facility or function to bring back ideas for the consideration of the City, or
4. The elected official has been specifically assigned by the Council to testify on behalf of the City at the United States Congress or to otherwise meet with federal officials on behalf of the City.

The City is fortunate that Councilmember Grendahl devotes time to serve on the NLC FAIR

Committee. Through her involvement, she is able to meet and network with other elected officials from around the country to exchange ideas on topics of relevance to our City and stay current on national trends and developments that may affect our community. It is recommended that this travel request be approved.

**BUDGET IMPACT:**

Costs associated with the travel request include airfare, lodging and subsistence allowance estimated at \$1,500. There is no registration fee required for this event. Sufficient funds are available in the 2025 budget to cover the costs associated with this travel request.





ITEM:  
COUNCIL MEETING DATE:  
SECTION:

4.E.  
May 8, 2025  
Consent Agenda

**Description:**

Approve 2026 Budget Calendar and Set Special Informal Meeting on August 28, 2025, at 5:30 p.m.

**Staff Contact:**

Ron Hedberg, Finance Director

**Department / Division:**

Finance Department

**ACTION REQUESTED:**

Approve the 2026 Budget Calendar and set August 28, 2025, at 5:30 p.m. as a special informal meeting of the City Council.

**SUMMARY:**

The City Council is asked to approve the Budget Calendar, included below, which includes an informal work session for the City Council to review the budget recommendations on August 28, 2025. The action also establishes August 28, 2025, as a special informal meeting to be held at 5:30 p.m. at the Apple Valley Municipal Center.

**BACKGROUND:**

The target date for adopting the preliminary budget and levy is set for September 11, 2025. By state law, the levy is required to be adopted by the City Council and certified to the Dakota County Auditor by September 30, 2025.

The schedule for adopting the 2026 levy has the City Council adopting the final payable 2026 levy on December 11, 2025, the evening of a regularly scheduled Council meeting.

**2026 BUDGET CALENDAR**

- |   |                    |
|---|--------------------|
| 1. Budget worksheets available to Departments by:                               | May 2, 2025        |
| 2. Worksheets returned to Finance   | May 30, 2025       |
| 3. Budget summaries and worksheets to Administrator                             | June 30, 2025      |
| 4. Budget review meetings with Administrator                                    | July 9 to 16, 2025 |
| 5. Budget delivered to City Council by  | August 14, 2025    |
| 6. Informal Council meeting to review Budget                                    | August 28, 2025    |
| 7. Proposed Budget and Tax Levy Adopted   | September 11, 2025 |
| 8. Certify proposed budget and tax levy to County by                            | September 30, 2025 |
| 9. County required to prepare and mail notice of<br>Tax Levy and Public Hearing | November, 2025     |
| 10. Conduct Public Hearing (formerly Truth in Taxation)                         | December 11, 2025  |
| 11. Adopt Final Budget and Tax Levy   | December 11, 2025  |
| 12. Certify Final Tax Levy to County by   | December 30, 2025  |

**BUDGET IMPACT:**

N/A



ITEM:  
COUNCIL MEETING DATE:  
SECTION:

4.F.  
May 8, 2025  
Consent Agenda

**Description:**

Approve Program for Voluntary Assessments for Diseased Tree Removals on Private Property

**Staff Contact:**

Joe Rotz, Assistant Finance Director

**Department / Division:**

Finance Department

**ACTION REQUESTED:**

Approve program for voluntary assessments for diseased tree removals on private property.

**SUMMARY:**

The City is proposing a voluntary assessment process for private property owners to cover the costs of removing diseased trees that have been declared public nuisances under Section 152.45 of the City's Code of Ordinances. Property owners can request the City to remove such trees and agree to a special assessment for the costs incurred. The assessment would be levied against their property and payable over several years, with an option for early repayment.

The process would operate similar to the existing process for diseased tree removals, except this voluntary program would not require a public hearing or public noticing. The process for the non-voluntary diseased tree removal would remain the same and may still need to be invoked at times.

The attached consent and waiver agreement has been drafted by the city attorney and would be used for this voluntary procedure.

**BACKGROUND:**

Under the City's Code of Ordinances, trees infected by certain insects or diseases are declared public nuisances and require removal. Property owners are responsible for the costs associated with the removal of these trees. To assist property owners, the City of Apple Valley is offering a voluntary assessment option, where the City will remove the trees and levy the total costs as a special assessment on the property.

The assessment would cover the total cost of removal, including labor and any other associated fees. Owners would have the option to repay the assessment over multiple years, with an interest rate of 8% on the unpaid balance. The assessment will be certified to Dakota County for collection, and property owners can choose to pay the amount in full within 30 days, interest-free.

The current thresholds are:

Amounts under \$700, one annual installment at 8%

Amounts \$700 to \$1,399, two annual installments at 8%

Amounts \$1,400 to \$2,099, three annual installments at 8%

Amounts over \$2,099, four annual installments at 8%

**BUDGET IMPACT:**

The budget impact will depend on the number of properties participating in the program. The assessment costs will be levied on the individual properties, and the City will recoup all removal expenses through the assessment process.

**ATTACHMENTS:**

Agreement

**Consent and Waiver  
(Diseased Trees)**

This Consent and Waiver of Assessment (the “**Agreement**”) is entered by and between, \_\_\_\_\_ (“**Owner(s)**”) and the City of Apple Valley, Minnesota (the “**City**”), a Minnesota municipal corporation as of the date of its complete execution.

**RECITALS**

WHEREAS, Owner(s) is the fee Owner(s) of certain real property located in the City of Apple Valley, legally described as \_\_\_\_\_ (the “**Property**”) with Parcel Identification Number: PID No. \_\_\_\_\_ and address at \_\_\_\_\_, Apple Valley, Minnesota.

WHEREAS, under Section 152.45 of the City’s Code of Ordinances (Ordinance), the City Council has declared that certain insect infected and diseased trees to be public nuisances requiring abatement, which may include removal.

WHEREAS, the City Forester has made a determination that one or more trees located on \_\_\_\_\_ Property qualifies as a public nuisance under the Ordinance and must be removed.

WHEREAS, the Owner(s) is solely responsible for the cost of removal, including any restoration of the location of the tree.

WHEREAS, the City has been asked by the Owner(s) to undertake removal of the tree(s) and to levy all cost incurred by the City as an assessment against the Property.

WHEREAS, the Owner(s) recognizes the benefit to the Property, and agrees to permit the City and/or its contractor to enter onto the Property to perform the removal (which does not include any restoration.

WHEREAS, upon completion of removal, the City proposes to levy a special assessment on the Property, for its total cost, in a principal amount, not to exceed \$ \_\_\_\_\_ (“**Assessment Amount**”) payable over \_\_\_\_ years together with interest at the rate of 8% per year with the first installments due and payable in 202\_\_.

**NOW, THEREFORE**, for good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, the Owner(s) and the City hereby covenant, and agree as follows:

1. CONSENT. Owner(s) consents to the City and its contractors accessing the Property, and to the removal of the public nuisance. The Owner(s) agrees that the benefit of removal is equal to or exceeds the Assessment Amount.

2. ASSESSMENT. The City agrees to levy the Assessment Amount through a special assessment to be levied by the Apple Valley City Council over a period of \_\_\_\_\_ ( ) years

together with eight percent (8%) interest per year on the unpaid principal balance. The first installments shall be due and payable in 202\_. Owner(s) will have the option to pay the Assessment Amount, without interest, for a period of thirty (30) days following the City's Council levying the assessment and certifying the assessment to Dakota County for collection.

3. WAIVER OF NOTICE, HEARING AND APPEAL (MINN. STAT. § 429.081). The Owner(s) hereby accepts the Assessment Amount for the tree removal to be levied against the Property in repayment to the City. The Owner(s) hereby waives the requirement of any notice or hearing in connection with the levy of the Assessment Amount and waives the right to object or to appeal the assessment pursuant to Minn. Stat. § 429.081.

4. ATTORNEYS' FEES AND EXPENSES. If the City is required to defend the terms of this Agreement or if the Owner(s) breaches this Agreement, the Owner(s) shall reimburse the City for all attorney's fees and costs associated with any such breach.

5. TERMINATION OF RESERVED RIGHTS. By execution of this Waiver, the Owner(s) acknowledges that it is voluntarily terminating all rights reserved by it in any agreement that it has with the City to review and accept or reject the amount of the assessments following the removal of the trees.

6. GOVERNING LAW. This Agreement will be construed and enforced in accordance with the laws of the State of Minnesota.

7. SEVERABILITY. To the extent any provision or part of this Agreement is void or otherwise adjudicated to be void or contrary to the law, it is the intention of the Parties that the rest of the Agreement shall be effective and remain a binding agreement.

8. WAIVER. No waiver of any of the provisions of this Agreement shall be deemed or shall constitute a waiver of any other provision, whether similar, nor shall any waiver constitute a continuing waiver. No waiver shall be binding unless executed in writing by the Party making the waiver.

9. WILLFUL AND KNOWING. Each party has signed this Agreement willingly and further agree and warrant that each has carefully read this Agreement and understands it.

10. COMPLETE AND BINDING AGREEMENT. The Parties agree this Agreement memorializes the entire agreement by and between the Parties with respect to the matters set forth herein, is binding on the Parties, their heirs, successors, and assigns. The Parties also agree that there are no other claims, understandings, promises, or representations, either written or oral, by and between them with respect to matters in this Agreement.

**IN WITNESS WHEREOF,** the Parties agree to all the terms and provisions contained herein.

Signature page for Owner(s)

By: \_\_\_\_\_

By: \_\_\_\_\_

STATE OF MINNESOTA    )  
  ) ss  
COUNTY OF \_\_\_\_\_ )

On this \_\_\_\_\_ day of \_\_\_\_\_, 202\_, before me a Notary Public within and for said County, personally appeared \_\_\_\_\_, who being by me duly sworn, did say that he is the Owner(s) named in the instrument, and that said instrument was signed by Owner(s) as the free act and deed of the Owner(s).

\_\_\_\_\_  
Notary Public

Signature page for City

# City of Apple Valley

By: \_\_\_\_\_  
Clint Hooppaw, Mayor

ATTEST:

By: Christina M. Scipioni, City Clerk

STATE OF MINNESOTA )  
 ) ss.  
COUNTY OF DAKOTA )

On this \_\_\_\_\_ day of \_\_\_\_\_, 202\_, before me a Notary Public within and for said County, personally appeared Clint Hooppaw, Mayor of City of Apple Valley, and Christina M. Scipioni, City Clerk, City of Apple Valley.

**Notary Public**





ITEM:  
COUNCIL MEETING DATE:  
SECTION:

4.G.  
May 8, 2025  
Consent Agenda

<b>Description:</b> Surplus Parks Equipment	
<b>Staff Contact:</b> Eric Carlson, Parks & Recreation Director	<b>Department / Division:</b> Parks and Recreation Department

**ACTION REQUESTED:**

1. Declare Redwood Park pool light poles and fixtures as surplus and authorize disposal or auction.
2. Approve agreement with Auction Masters, Inc., to host online auction.

**SUMMARY:**

One of the signature projects of the 2023 Parks Bond Referendum is \*Project 2024-189, Redwood Park Reconstruction. The City of Apple Valley is revitalizing Redwood Park with exciting new features designed to enhance accessibility, recreation, and community gathering spaces. As part of the park's transformation, aging and obsolete equipment (light poles and fixtures) will be removed and it is recommended that this equipment be declared as surplus and be sold via a hosted online auction.

\*This was formerly known as Project 2024-115, Redwood Park Reconstruction.

**BACKGROUND:**

This project will make Redwood Park a premier destination for recreation, inclusivity, and community engagement.

Highlights of the reconstruction include:

Fully inclusive playground – A welcoming play space designed for children of all abilities.

Community pool – Featuring zero-depth entry, diving areas, climbing structures, and relaxation zones.

Modern park building – A new facility offering community gathering space, public restrooms, and housing for pool mechanical equipment.

Enhanced sports courts – New courts for basketball, ecuavolley, pickleball, and tennis.

Expanded parking – Increased on-site parking for visitor convenience.

Solar panels

Natural stormwater management – A dedicated area south of County Road 42 with native plantings and pollinator gardens to support local ecosystems.

Pedestrian tunnel – A safe and accessible underpass beneath County Road 42 (in collaboration with Dakota County).

Additionally, the City of Apple Valley has secured a \$1,410,000 legislative appropriation from the 2023 session, which will be dedicated to the development of the inclusive playground. We are required to pay “Prevailing Wages” on this portion of the project because we received state funding.

**BUDGET IMPACT:**

N/A



ITEM:  
COUNCIL MEETING DATE:  
SECTION:

4.H.  
May 8, 2025  
Consent Agenda

**Description:**

Adopt Resolution Accepting Easements for Project 2022-111, Apple Valley 11th and 12th Additions Electrical Conversion Phase 1

**Staff Contact:**

Brandon Anderson, City Engineer

**Department / Division:**

Engineering Division

**ACTION REQUESTED:**

Adopt resolution accepting easements for Project 2022-111, Apple Valley 11th and 12th Additions Electrical Conversion Phase 1.

**SUMMARY:**

In order for the project's first phase to occur, it is necessary to obtain permanent drainage and utility easements from seven (7) remaining impacted properties along Redwood Drive, Rome Ct., Rome Drive and Whitney Drive. An example (blank) Drainage and Utility Easement is attached.

The City has collected all necessary easement signatures to begin work in the first phase of the project. Construction of Phase 1 is scheduled to begin in late spring of 2025.

Dakota Electric Association has committed to burying all electrical in the right of way as part of the street reconstruction program. All areas within the 2018-2019 Street and Utility Improvement area will have access to underground electric as part of this project. Dakota Electric will also be removing existing rear yard poles and distribution lines in phases alongside City reconstruction neighborhoods. Staff will be working with communication companies that share overhead pole space to also bury underground.

The scope of work as part of the Overhead to Underground electric conversion for the 218 homes in these areas includes providing conduit and cable from each new transformer set by Dakota Electric to the existing meter socket location at each home along with any associated restoration and permit fees. This will allow the conversion of overhead lines to underground service connections. This work is consistent with what was completed as part within the Cimarron Neighborhood in 2020-2022.

**BACKGROUND:**

On October 10, 2024, City Council adopted Resolution 2021-124, accepting easements for Project 2022-111 Apple Valley 11<sup>th</sup> and 12<sup>th</sup> Additions Electrical Conversion Phase 1.

On February 24, 2022, City Council adopted Resolution 2022-28, directing the preparation of plans and specifications for Project 2022-111, Apple Valley 11<sup>th</sup> and 12<sup>th</sup> Additions Electrical Conversion Phase 1.

**BUDGET IMPACT:**

N/A

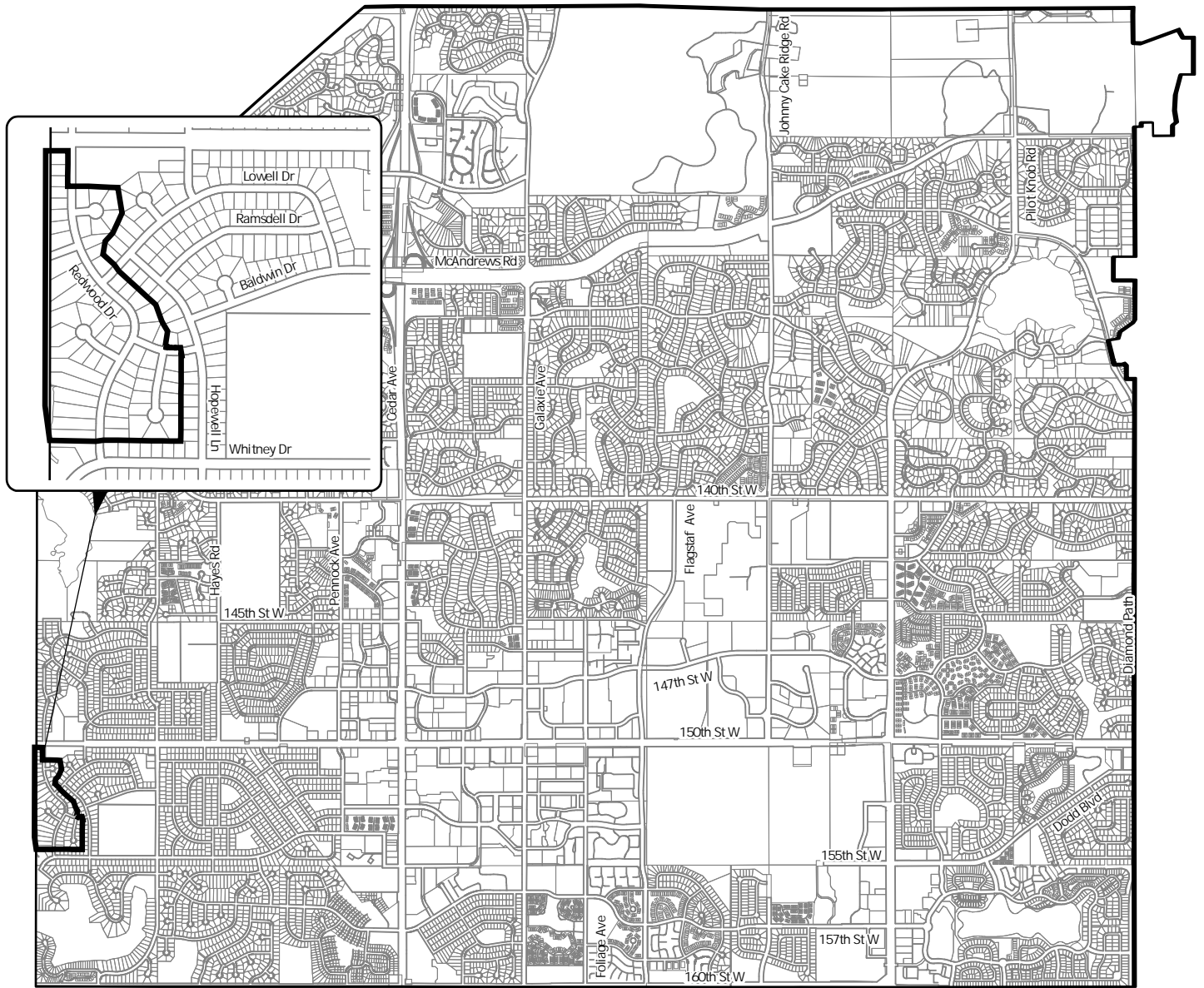
**ATTACHMENTS:**

Map

Easement

Resolution

Easement



2022-111 APPLE VALLEY 11TH AND 12TH ELECTRICAL CONVERSION

CITY OF APPLE VALLEY

FIGURE 1

## **DRAINAGE AND UTILITY EASEMENT**

This Drainage and Utility Easement is made this \_\_\_\_\_ day of \_\_\_\_\_, 2024, between \_\_\_\_\_, a single person, (hereinafter referred to as “Landowner”), and the City of Apple Valley, a municipal corporation, organized under the laws of the State of Minnesota, (hereinafter referred to as the “City”).

The Landowner, in consideration of the sum of One Dollar (\$1.00) and other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, hereby grants and conveys unto the City, its successors and assigns, a permanent drainage and utility easement, described as follows:

[insert legal description]

(See also Exhibit “A” attached hereto and incorporated herein.)

The grant of the foregoing permanent easement for drainage and utility purposes includes the right of the City, its contractors, agents and servants to enter upon the premises at all reasonable times to construct, reconstruct, inspect, repair and maintain pipes, conduits and mains; and the further right to remove trees, brush, undergrowth and other obstructions. After completion of such construction, maintenance, repair or removal, the City shall restore the premises to the condition in which it was found prior to the commencement of such actions, save only for the necessary removal of trees, brush, undergrowth and other obstructions.

And the Landowner, his/her heirs and assigns, does covenant with the City, its successors and assigns, that he/she is the Landowner of the premises aforesaid and has good right to grant and convey the easement herein to the City.

IN TESTIMONY WHEREOF, the Landowner has caused this easement to be executed as of the day and year first above written.

---

\*Landowner

STATE OF MINNESOTA )  
 )ss.  
COUNTY OF DAKOTA )

This instrument was acknowledged before me on this \_\_\_\_ day of \_\_\_\_\_, 2024 by [\*Landowner's name], a single person.

Notary Public

THIS INSTRUMENT WAS DRAFTED BY:

DOUGHERTY, MOLENDIA, SOLFEST,  
HILLS & BAUER P.A.  
14985 Glazier Avenue, Suite 525  
Apple Valley, MN 55124  
(952) 432-3136  
(JDR: 66-47395)  
Easement no. \_\_\_\_\_

**EXHIBIT “A”**

[insert graphic]



CITY OF APPLE VALLEY  
RESOLUTION NO. 2025-

A RESOLUTION ACCEPTING EASEMENTS FOR CITY PROJECT 2022-111, APPLE  
VALLEY 11<sup>TH</sup> AND 12<sup>TH</sup> ADDITIONS ELECTRICAL CONVERSION PHASE 1

WHEREAS, in order to construct the improvements it is necessary to acquire permanent drainage and utility easements from residents; and

WHEREAS, the City Council believes it to be in the best interest of the City to accept the permanent drainage and utility easements necessary for construction and perpetual existence of the improvements.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Apple Valley, Dakota County, Minnesota, that:

1. The City of Apple Valley has accepted permanent drainage and utility easements with various dates in 2024 and 2025 from Lot 22, Block 5, Lot 25, Block 5, Lot 29, Block 7, Lot 19, Block 7, Lot 8 Block 7, Lot 11, Block 6, Lot 14, Block 6, Lot 9, Block 3 located in AV 12<sup>th</sup> Addition; and
2. No other goods or services were provided by the City of Apple Valley in consideration of said easements.

ADOPTED this 8th day of May, 2025.

---

Clint Hooppaw, Mayor

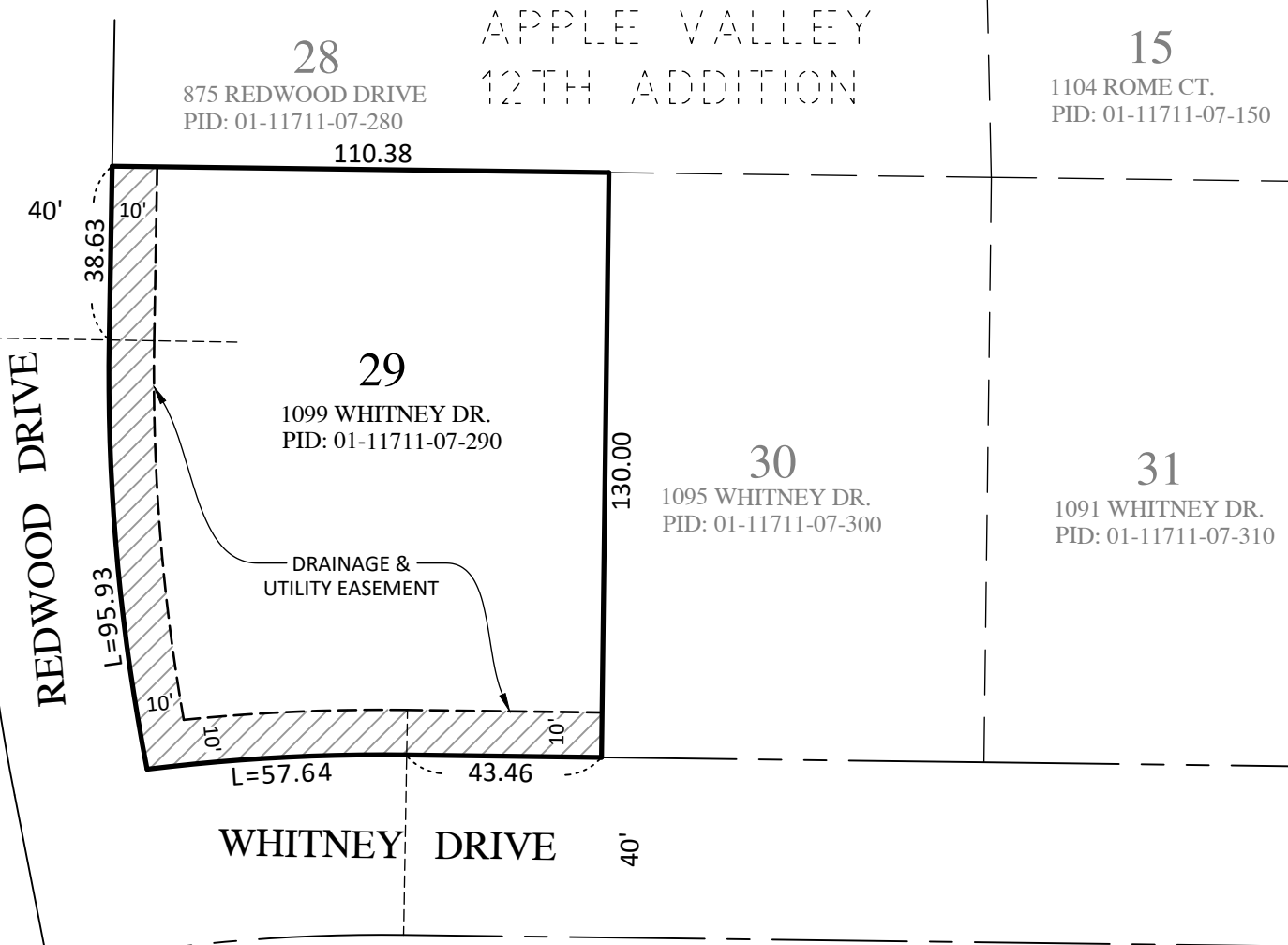
ATTEST:

---

Christina M. Scipioni, City Clerk



H:\APVA\ON1131087\Survey\EASEMENTS\APPLE VALLEY 12TH ADDITION\12th Add - Block 7 - Lot 29\131087 V ESMT L29B7.dwg 11/14/2023 9:47 AM



## EASEMENT DESCRIPTION

A 10-foot-wide permanent easement for public drainage and utility purposes over, under and across Lot 29, Block 7, APPLE VALLEY 12th ADDITION, according to said plat on file and of record in the office of the County Recorder in and for, Dakota County, Minnesota the southerly and westerly line of which is the northerly line of Whitney Drive and the easterly line of Redwood Drive as dedicated in said plat of APPLE VALLEY 12th ADDITION. Said strip is to extend by its full width from the easterly line of said Lot 29 to the northerly line of said Lot 29.

## SURVEYOR'S CERTIFICATION

I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Ron P. Alwin  
License Number 17765

11/14/2023  
Date

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Other easements, if any,  
are not shown.



PROPOSED  
DRAINAGE & UTILITY EASEMENT  
  
AREA = 2,260 Sq Ft or  
0.05 Ac.

## CERTIFICATE OF EASEMENT 1099 WHITNEY DRIVE



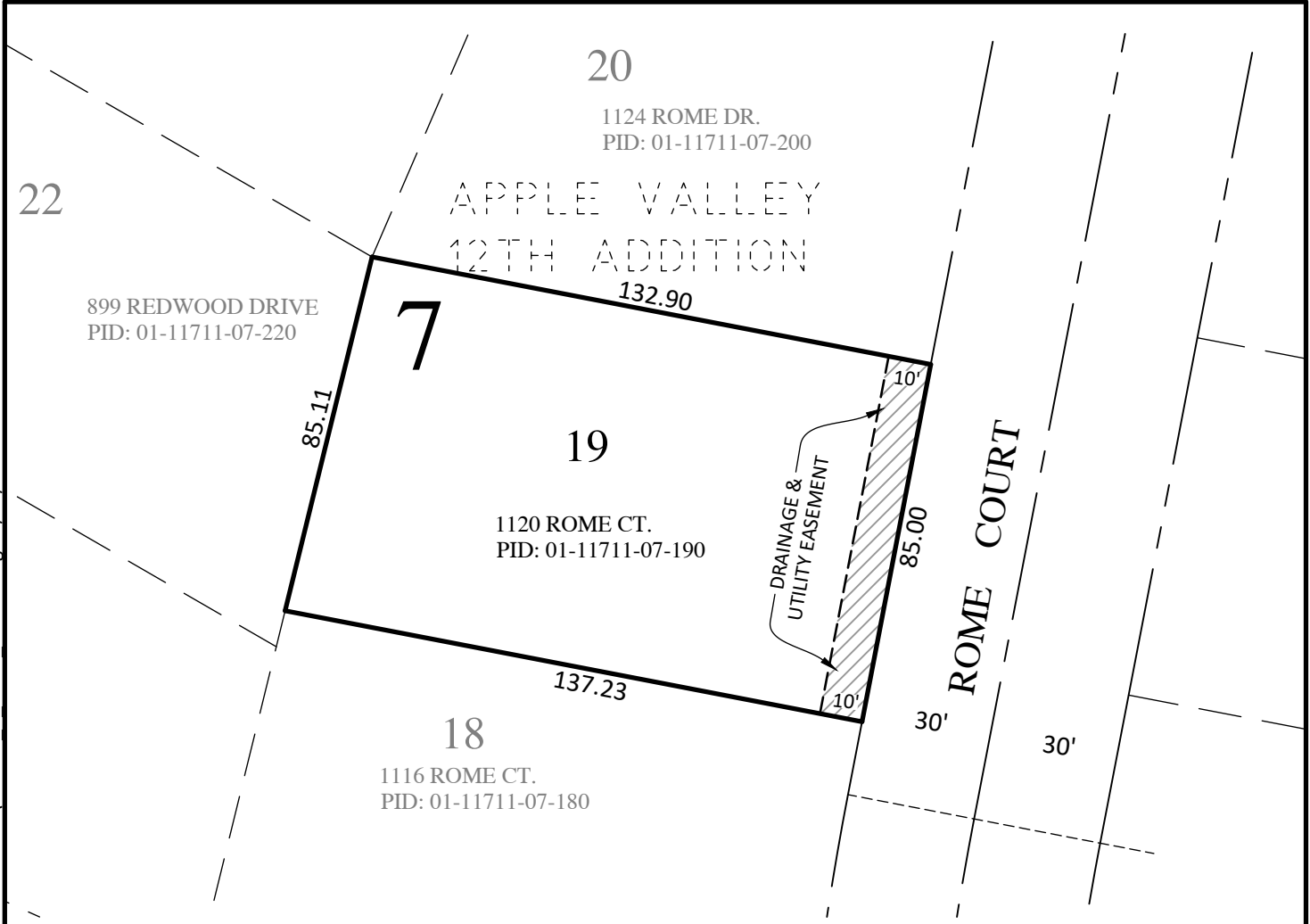
**BOLTON  
& MENK**

3507 HIGH POINT DRIVE NORTH  
BUILDING 1 - SUITE E130  
OAKDALE, MN 55128  
(651) 704-9970

LOT 29, BLOCK 7  
APPLE VALLEY 12th ADDITION  
DAKOTA COUNTY, MN

FOR: CITY OF APPLE VALLEY

H:\APVA\ON1131087\Survey\EASEMENTS\APPLE VALLEY 12TH ADDITION\12th Add - Block 7 - Lot 19\131087 V ESMT L19B7.dwg 11/15/2023 8:12 AM



## EASEMENT DESCRIPTION

A 10-foot-wide permanent easement for public drainage and utility purposes over, under and across Lot 19, Block 7, APPLE VALLEY 12th ADDITION, according to said plat on file and of record in the office of the County Recorder in and for, Dakota County, Minnesota the easterly line of which is the westerly line of Rome Court as dedicated in said plat of APPLE VALLEY 12th ADDITION. Said strip is to extend by its full width from the northerly line of said Lot 19 to the southerly line of said Lot 19.

## SURVEYOR'S CERTIFICATION

I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.




Ron P. Alwin  
License Number 17765

11/14/2023  
Date

Other easements, if any,  
are not shown.



	<b>PROPOSED DRAINAGE &amp; UTILITY EASEMENT</b>  AREA = 850 Sq Ft or 0.02 Ac.
--	--

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## CERTIFICATE OF EASEMENT 1120 ROME COURT



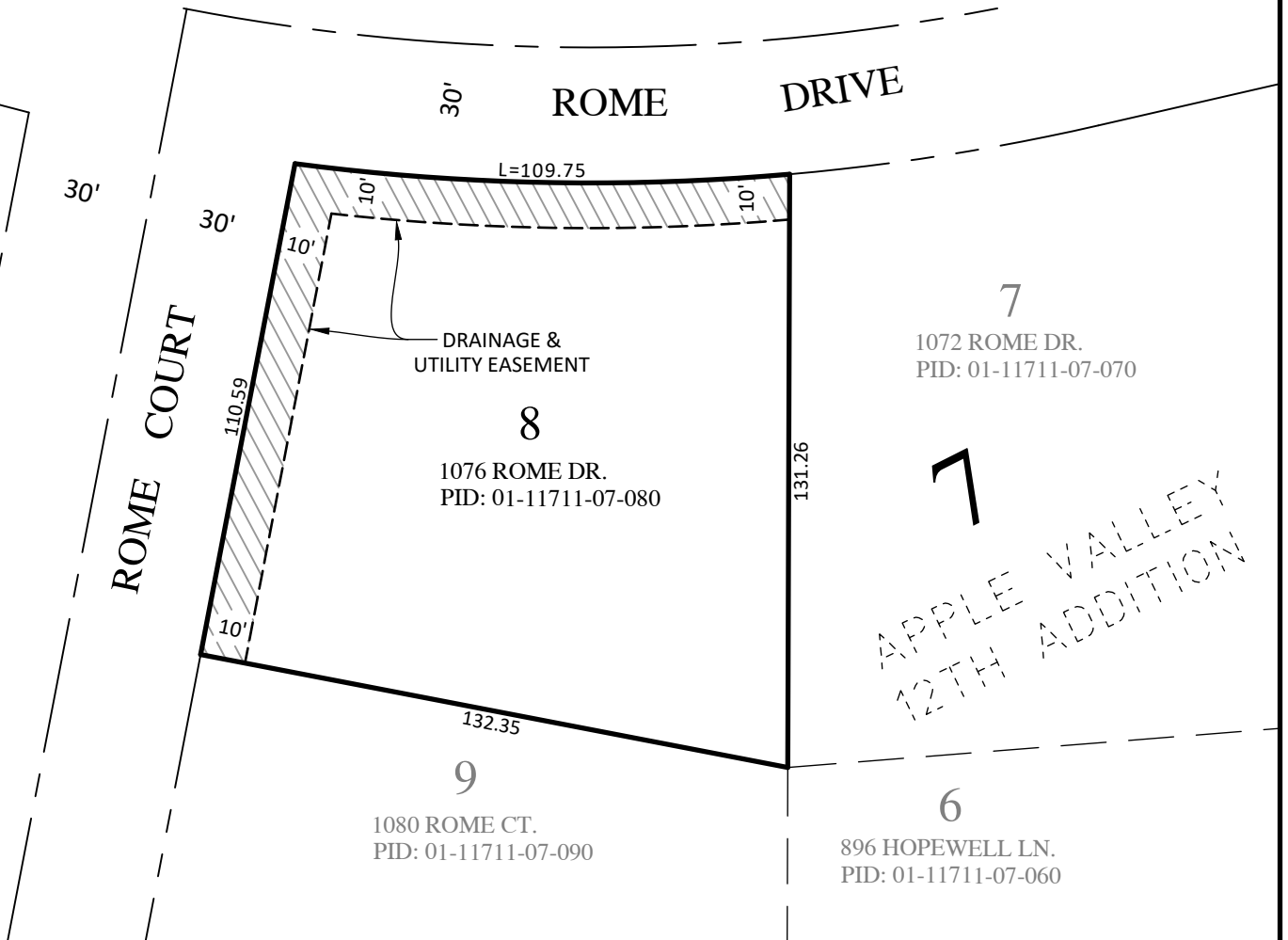
**BOLTON  
& MENK**

3507 HIGH POINT DRIVE NORTH  
BUILDING 1 - SUITE E130  
OAKDALE, MN 55128  
(651) 704-9970

LOT 19, BLOCK 7  
APPLE VALLEY 12th ADDITION  
DAKOTA COUNTY, MN

FOR: CITY OF APPLE VALLEY

H:\APVA\ON1131087\Survey\EASEMENTS\APPLE VALLEY 12TH ADDITION\12th Add - Block 7 - Lot 8\131087 V ESMT L887.dwg 11/13/2023 3:31 PM



## EASEMENT DESCRIPTION

A 10-foot-wide permanent easement for public drainage and utility purposes over, under and across Lot 8, Block 7, APPLE VALLEY 12th ADDITION, according to said plat on file and of record in the office of the County Recorder in and for, Dakota County, Minnesota the westerly line and northerly line of which is the easterly line of Rome Court and southerly line of Rome Drive as dedicated in said plat of APPLE VALLEY 12th ADDITION. Said strip is to extend by its full width from the southerly line of said Lot 8 to the easterly line of said Lot 8.

## SURVEYOR'S CERTIFICATION

I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

*Ron P. Alwin*

Ron P. Alwin  
License Number 17765

11/14/2023  
Date

Other easements, if any,  
are not shown.



SCALE IN FEET



PROPOSED  
DRAINAGE & UTILITY EASEMENT

AREA = 2117 Sq Ft or  
0.05 Ac.

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## CERTIFICATE OF EASEMENT 1076 ROME DRIVE



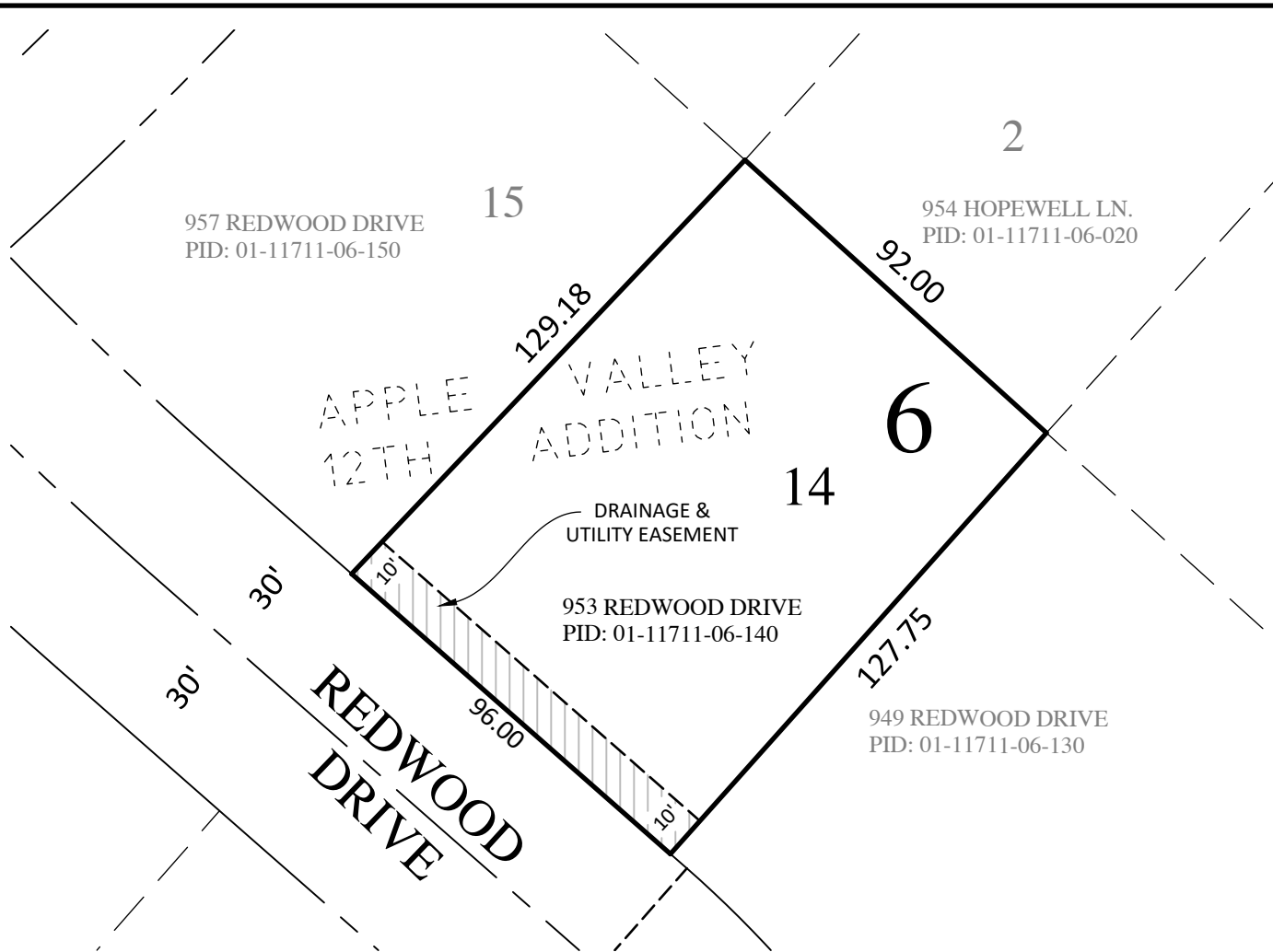
**BOLTON  
& MENK**

3507 HIGH POINT DRIVE NORTH  
BUILDING 1 - SUITE E130  
OAKDALE, MN 55128  
(651) 704-9970

LOT 8, BLOCK 7  
APPLE VALLEY 12th ADDITION  
DAKOTA COUNTY, MN

FOR: CITY OF APPLE VALLEY

H:\APVA\ON1131087\Survey\EASEMENTS\APPLE VALLEY 12TH ADDITION\12th Add - Block 6 - Lot 14\131087 V ESMT L14B6.dwg 10/17/2023 11:39 AM



EASEMENT DESCRIPTION

A 10-foot-wide permanent easement for public drainage and utility purposes over, under and across Lot 14, Block 6, APPLE VALLEY 12th ADDITION, according to said plat on file and of record in the office of the County Recorder in and for, Dakota County, Minnesota the southwesterly line of which is the northeasterly line of Redwood Drive as dedicated in said plat of APPLE VALLEY 12th ADDITION. Said strip is to extend by its full width from the northwesterly line of said Lot 14 to the southeasterly line of said Lot 14.

SURVEYOR'S CERTIFICATION

I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

*Ron P. Alwin*

Ron P. Alwin  
License Number 17765

10/17/2023  
Date

Other easements, if any, are not shown.



PROPOSED  
DRAINAGE & UTILITY EASEMENT  
AREA = 960 Sq Ft or  
0.02 Ac.

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CERTIFICATE OF EASEMENT  
953 REDWOOD DRIVE



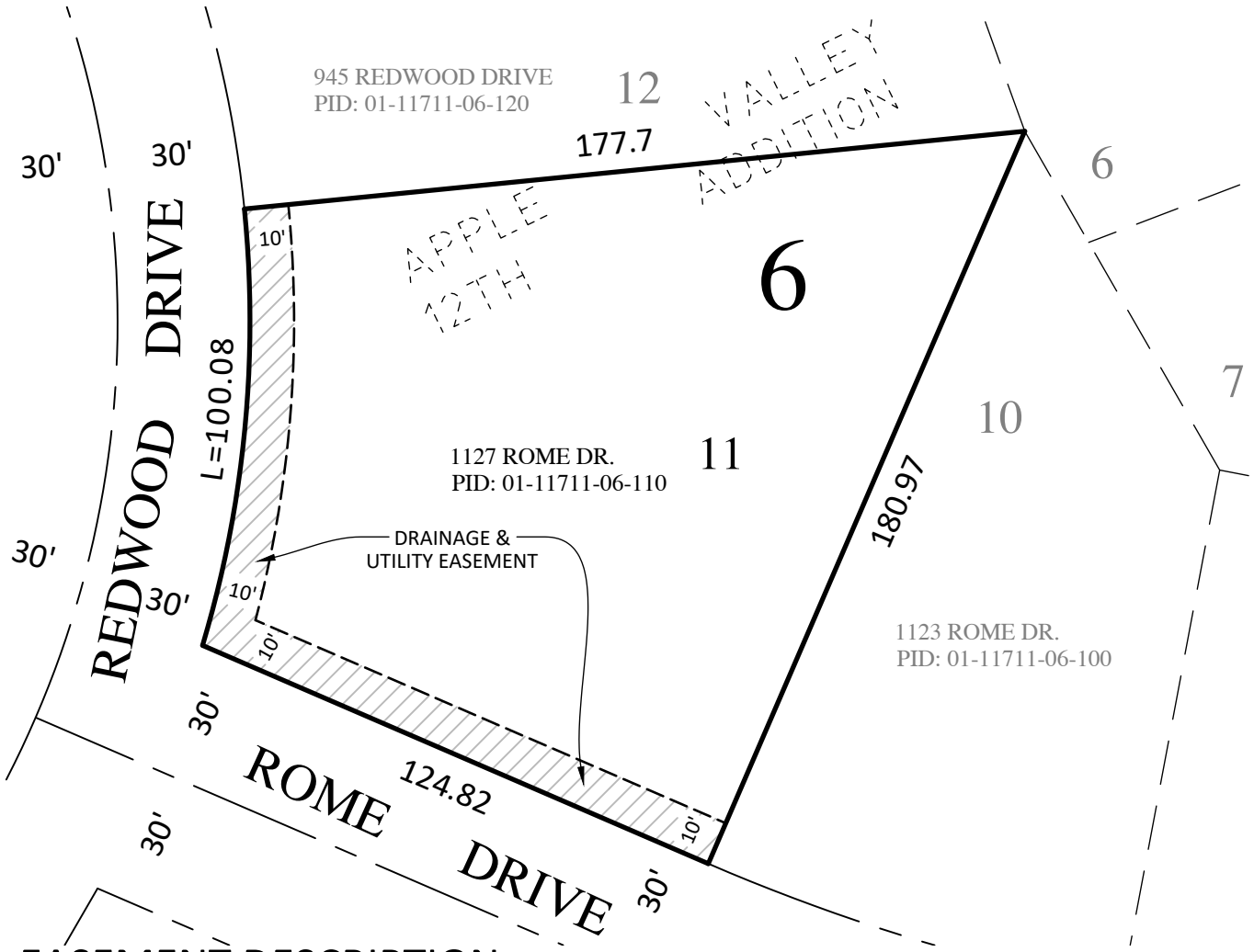
**BOLTON  
& MENK**

3507 HIGH POINT DRIVE NORTH  
BUILDING 1 - SUITE E130  
OAKDALE, MN 55128  
(651) 704-9970

LOT 14, BLOCK 6  
APPLE VALLEY 12th ADDITION  
DAKOTA COUNTY, MN

FOR: CITY OF APPLE VALLEY

H:\APVA\ON1131087\Survey\EASEMENTS\APPLE VALLEY 12TH ADDITION\12th Add - Block 6 - Lot 11\131087 V ESMT L11B6.dwg 10/17/2023 3:07 PM



## EASEMENT DESCRIPTION

A 10-foot-wide permanent easement for public drainage and utility purposes over, under and across Lot 11, Block 6, APPLE VALLEY 12th ADDITION, according to said plat on file and of record in the office of the County Recorder in and for, Dakota County, Minnesota the westerly and southerly line of which is the easterly line of Redwood Drive and the northerly line of Rome Drive as dedicated in said plat of APPLE VALLEY 12th ADDITION. Said strip is to extend by its full width from the northerly line of said Lot 11 to the easterly line of said Lot 11.

## SURVEYOR'S CERTIFICATION

I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.




Ron P. Alwin  
License Number 17765

10/17/2023  
Date

Other easements, if any, are not shown.



	<b>PROPOSED DRAINAGE &amp; UTILITY EASEMENT</b>  AREA = 2,180 Sq Ft or 0.05 Ac.
--	---

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## CERTIFICATE OF EASEMENT

1127 ROME DRIVE



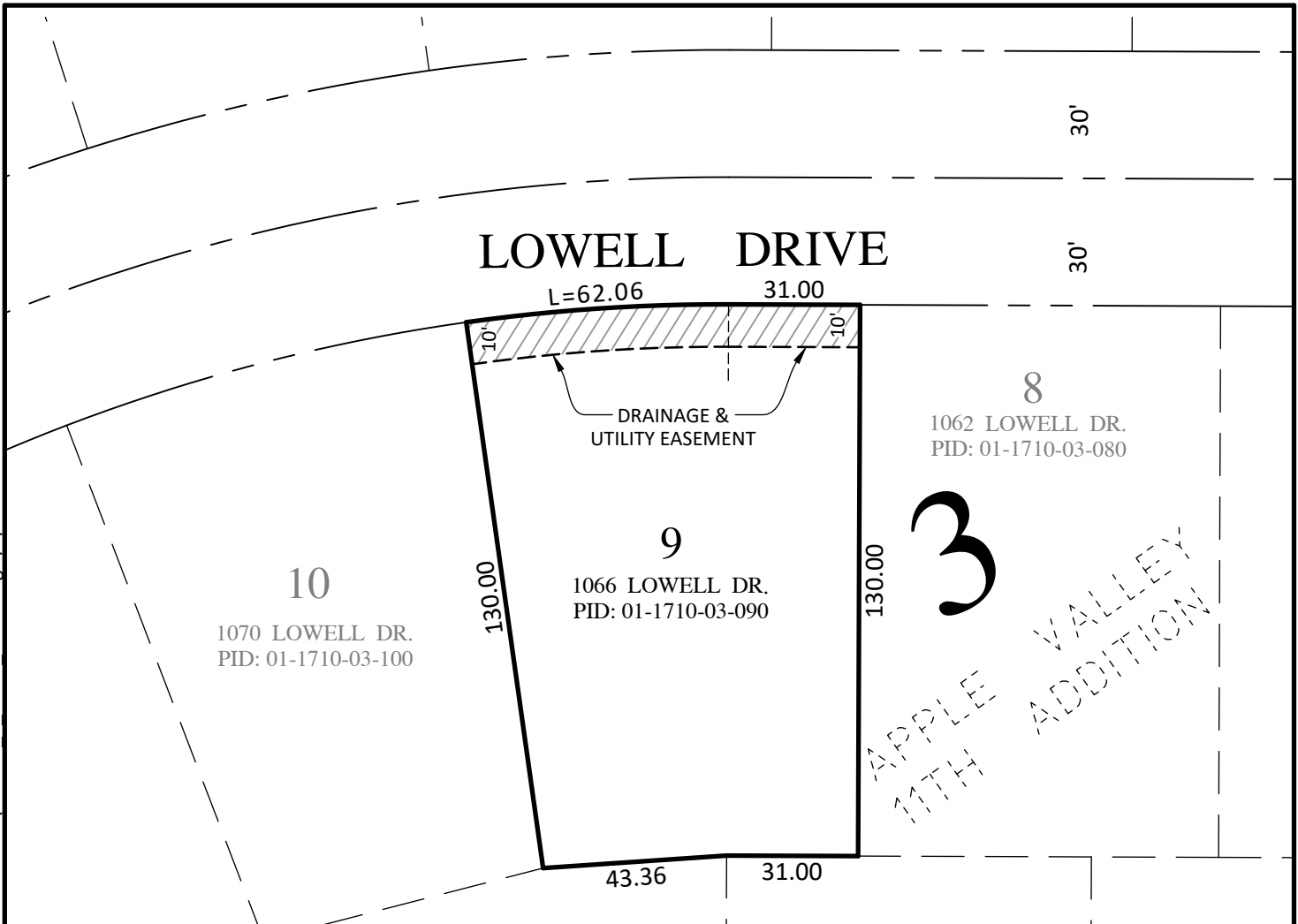
**BOLTON & MENK**

3507 HIGH POINT DRIVE NORTH  
BUILDING 1 - SUITE E130  
OAKDALE, MN 55128  
(651) 704-9970

LOT 11, BLOCK 6  
APPLE VALLEY 12th ADDITION  
DAKOTA COUNTY, MN

FOR: CITY OF APPLE VALLEY

H:\APVA\ON1131087\Survey\EASEMENTS\APPLE VALLEY 11TH ADDITION\11th Add - Block 3 - Lot 9\131087 V ESMT L9B3.dwg 1/9/2024 4:14 PM



## EASEMENT DESCRIPTION

A 10-foot-wide permanent easement for public drainage and utility purposes over, under and across Lot 9, Block 3, APPLE VALLEY 11th ADDITION, according to said plat on file and of record in the office of the County Recorder in and for, Dakota County, Minnesota the northerly line of which is the southerly line of Lowell Drive as dedicated in said plat of APPLE VALLEY 11th ADDITION. Said strip is to extend by its full width from the westerly line of said Lot 9 to the easterly line of said Lot 9.

## SURVEYOR'S CERTIFICATION

I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

*Ron P. Alwin*

Ron P. Alwin  
License Number 17765

01/10/2024  
Date

Other easements, if any,  
are not shown.



SCALE IN FEET



PROPOSED  
DRAINAGE & UTILITY EASEMENT

AREA = 923 Sq Ft or  
0.02 Ac.

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## CERTIFICATE OF EASEMENT 1066 LOWELL DRIVE



**BOLTON  
& MENK**

3507 HIGH POINT DRIVE NORTH  
BUILDING 1 - SUITE E130  
OAKDALE, MN 55128  
(651) 704-9970

LOT 9, BLOCK 3  
APPLE VALLEY 11th ADDITION  
DAKOTA COUNTY, MN

FOR: CITY OF APPLE VALLEY





ITEM:  
COUNCIL MEETING DATE:  
SECTION:

4.l.  
May 8, 2025  
Consent Agenda

<b>Description:</b> Adopt Resolution Approving One-Year Extension of a Setback Variance for Drive-Through Canopy at Chick-Fil-A (7480 153rd Street West)		
<b>Staff Contact:</b> Sydnee Stroeing, Associate Planner		<b>Department / Division:</b> Community Development Department
<b>Applicant:</b> Kimley-Horn & Associates Inc., on behalf of Chick-Fil-A Inc.		<b>Project Number:</b> PC24-06-V
<b>Applicant Date:</b>	<b>60 Days:</b>	<b>120 Days:</b>

**ACTION REQUESTED:**

Adopt the resolution approving a one-year extension of a setback variance for a drive-through canopy at Chick-Fil-A (7480 153rd Street West).

**SUMMARY:**

Kimley-Horn and Associates, Inc., on behalf of Chick-Fil-A, Inc., has requested the extension of a setback variance for a drive-through canopy located at Chick-Fil-A (7480 153rd St W). A variance request for a drive-through canopy on the west side of the existing restaurant building was requested to be reduced from 50' to 25'. The 25' setback variance was approved by the City Council on July 11, 2024, as memorialized in Resolution No. 2024-97. A building permit for the canopy has been applied for and is currently under review. The submitted extension letter states that construction is planned to begin in September 2025.

The City regularly extends approvals for a single year when applicants show a good faith effort to advance the project.

**BACKGROUND:**

N/A

**BUDGET IMPACT:**

N/A

**ATTACHMENTS:**

Applicant Letter  
Resolution

04/21/2025

City of Apple Valley  
7100 147<sup>th</sup> Street West  
Apple Valley, MN 55124

**RE: Chick-fil-A  
Resolution No. 2024-97 Extension  
7480 153<sup>rd</sup> St W,  
Apple Valley, MN**

Dear City of Apple Valley,

In reference to the approved variance for a reduced setback from Cedar Avenue, Resolution No. 2024-97, for the existing Chick-fil-A restaurant located at 7480 153<sup>rd</sup> Street West, Apple Valley, MN 55124, Chick-fil-A, Inc. has prepared this letter to request an extension.

The current expiration date for the setback variance is set for July 11<sup>th</sup>, 2025; however, the construction start date is projected to be in September of 2025. This construction start date was determined based the following:

- Coordination with the Chick-fil-A store operator to adjust staffing and business hours to account for construction work, phasing, and drive-through closure.
- Material delivery timelines.

Therefore, the construction start date cannot be adjusted to occur prior to the current permit expiration date. We appreciate your review of our extension request. Please contact me at (630) 487-3432 or [Jake.Panter@Kimley-Horn.com](mailto:Jake.Panter@Kimley-Horn.com) should you have any questions.

Sincerely,



Jake Panter, P.E.  
Kimley-Horn and Associates, Inc.

CITY OF APPLE VALLEY  
RESOLUTION NO. 2025-

RESOLUTION EXTENDING APPROVAL OF A VARIANCE FOR A REDUCED  
SETBACK FROM CEDAR AVENUE TO CONSTRUCT A CANOPY AT THE  
CHICK-FIL-A RESTAURANT LOCATED AT 7480 153<sup>RD</sup> STREET WEST

WHEREAS, pursuant to Minnesota Statutes 462.357 the City of Apple Valley has adopted, as Title XV of the City Code of Ordinances, zoning regulations to control land uses throughout the City; and

WHEREAS, pursuant to the City's said regulations, a "Variance" is an exception granted by the City Council from the literal provisions of the zoning regulations when a practical difficulty is shown to exist due to unique conditions on the property which do not apply to the area in general; and

WHEREAS, approval of a Variance was requested by Kimley-Horn & Associates, Inc., on behalf of Chick-Fil-A, Inc., for a variance to reduce the setback from Cedar Avenue from 50' to 25' in order to construct a building canopy at the Chick-Fil-A restaurant, located at 7480 153<sup>rd</sup> Street W., and legally described as Lot 2, Block 1, Cub Foods 2<sup>nd</sup> Addition, Dakota County, Minnesota; and

WHEREAS, the Apple Valley Planning Commission reviewed and made a recommendation of approval of the variance request, subject to conditions, at a public meeting held on June 5, 2024, and

WHEREAS, the City Council approved the variance on July 11, 2024, subject to conditions, as listed in Resolution No. 2024-97, and

WHEREAS, the approval of the variance will expire on July 11, 2025, and

WHEREAS, Kimley-Horn & Associates, Inc., on behalf of Chick-Fil-A, Inc., has requested the City to extend the approval of the variance, subject to the same conditions as set forth in Resolution No. 2024-97 for and additional one (1) year period.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Apple Valley, Dakota County, Minnesota, that the variance to reduce the setback from Cedar Avenue from 50' to 25' in order to construct a building canopy at the Chick-Fil-A restaurant is hereby extended to July 11, 2026, subject to all conditions originally listed in Resolution No. 2024-97.

ADOPTED this \_\_th day of \_\_\_\_\_, 2025.

---

Clint Hooppaw, Mayor

ATTEST:

---

Christina M. Scipioni, City Clerk



ITEM:  
COUNCIL MEETING DATE:  
SECTION:

4.J.  
May 8, 2025  
Consent Agenda

**Description:**

Approve Procedures for Administering Project 2024-190, Kelley Park Renovation (2023 Parks Bond Referendum)

**Staff Contact:**

Eric Carlson, Parks & Recreation Director

**Department / Division:**

Parks and Recreation Department

**ACTION REQUESTED:**

Approve procedures for administering Project 2024-190, Kelley Park Renovation (2023 Parks Bond Referendum).

**SUMMARY:**

Attached is a memo from City Attorney Sharon Hills regarding the administration of change orders to 2024-190, Kelley Park Renovation (formerly Project 2024-118). Similar to other signature referendum projects, staff would like to have the ability to approve change orders under \$20,000. The procedure would only apply if 1) a delay in decision making would result in construction delays and an increased cost to the project, and 2) the situation requiring a decision is not a matter involving a large amount of money. The proposed procedure provides a means for a designated City staff member to make an initial determination as to whether a change order is necessary. Upon making that determination, the staff member would provide the contractor with conditional approval and the work could begin. The designated staff member would, in writing, inform the City Administrator and the City Council of the circumstances surrounding the conditional approval and the cost benefit involved with the decision. At the first available opportunity, the City Council would act to either ratify or reject the decision made by the designated staff member.

This process has been used on numerous past City construction projects and worked well in preventing costly construction delays while also keeping the City Council informed and in control of any cost changes.

Parks & Recreation Director Eric Carlson is assisting in managing contracts under this project. He will be meeting at least bi-weekly with the architect and contractor to discuss issues as they arise. Director Carlson will also be informing the City Administrator of any issues on a daily basis.

Staff recommends the City Council approve the proposed policy procedures. Staff also recommends the City Council set a maximum change order amount of \$35,000.00 for earthwork contracts (which have the largest potential for big costs and most impact on construction schedule) and a maximum amount of \$20,000.00 for all other contracts for conditional staff approval. Staff recommends the City Council designate Parks & Recreation Director Eric Carlson as the staff member eligible to coordinate change orders to

construction contracts associated with this Project.

**BACKGROUND:**

For the last several years, the City of Apple Valley has worked with the community to determine the future needs and desires residents have for parks and recreation services. In November 2023, Apple Valley voters approved two separate questions in a special election, authorizing a total of \$73.25 million to invest in parks, trails, natural resources, Kelley Park, Redwood Park, the Apple Valley Family Aquatic Center, the Apple Valley Community Center and Senior Center, a youth baseball/softball complex at Hayes Park, and a community pool at Redwood Park.

It will take four to six years to implement the improvements approved by voters. As we develop projects, we will involve residents in the planning process. Information on plans and construction progress will be provided on our website so residents can see what work is planned for each location and how the referendum dollars are being spent.

**BUDGET IMPACT:**

Funding for this project comes from the successful 2023 Parks Bond Referendum.

**ATTACHMENTS:**

Memo

***MEMORANDUM***

To: Charles Grawe, Assistant City Administrator

From: Sharon K. Hills, City Attorney

Date: March 17, 2025

Re: Procedure for Change Orders  
City Project # 2024-190, Kelley Park

You inquired whether the City can once again adopt a policy for administering change orders to the construction contracts for the above reference city project. With the understanding that only the City Council can bind the City to a contract, you may wish to adopt the following process to handle exigent circumstances as they arise. The types of such situations involve: (1) a decision which if not made immediately would cause delays in the construction and result in an increase cost to the project; or (2) situations which require a decision to be made in matters involving not a large amount of money. The cap amount involved under the circumstances should be set by the City Council. The cap should bear a relation to the full bid cost of the remodel.

For the situations noted above, the Council should designate one member of the City staff to coordinate the change orders to the construction contract. Should there occur a situation in which the provisions of this policy arise, the designated person should determine whether a change order is necessary, and if so, provide conditional approval as required under the circumstances. Immediately or as soon as practical following the granting of conditional approval, the designated person should, in writing, inform the City Administrator and City Council of the circumstances surrounding the conditional approval and the cost and benefit involved in the decision. At the first available opportunity following the conditional approval, the City Council should act to either ratify or reject the decision made by the designated person. Ratification by the Council is not to be in lieu of any formal action required to approve a change order as required under the contract documents. The designated person should assist with the processing of all required change orders in a timely fashion. The contractor should agree to this procedure.

If you have any questions regarding the above or have any suggestions for modifications, please be in contact with me.

SKH/skh



ITEM:  
COUNCIL MEETING DATE:  
SECTION:

4.K.  
May 8, 2025  
Consent Agenda

**Description:**

Adopt Resolution Approving Plans and Specifications for Project 2025-113, Galaxie Avenue & CSAH 42 Entrance Monument Improvements, and Authorizing Advertisement for Receipt of Bids June 3, 2025, at 10:00 a.m.

**Staff Contact:**

Brandon Anderson, City Engineer

**Department / Division:**

Engineering Division

**ACTION REQUESTED:**

Adopt resolution approving plans and specifications for Project 2025-113, Galaxie Avenue & CSAH 42 Entrance Monument Improvements, and authorizing advertisement for receipt of bids June 3, 2025, at 10:00 a.m.

**SUMMARY:**

With the planned 2026 Dakota County CSAH 42 Mill and Overlay scope of work, some ADA upgrades are required at all the intersections along CR 42 from 147<sup>th</sup> Street to Diamond Path. The Galaxie intersection was specifically identified as a design/construction issue (SW corner of Galaxie/CSAH 42) for ADA compliance.

The SW corner entrance monument foundation is not stable and shows signs of serious settlement and degradation. Installing improvements such as B or V type curb and the required ADA upgrades would likely further undermine or impact the failing structure. While reviewing the options for the ADA design, the existing structure's placement has been noted as causing issues with the ability to update push buttons and get adequate clearances for maintenance vehicles and ADA grades to work. Staff is recommending that this structure be replaced prior to the County mill and overlay project in summer 2026.

The proposed updated monument design at this corner will also be used in the future to replace failing monuments at Pennock and CSAH 42 and mimic the existing corner monuments along Cedar Avenue.

The proposed base bid is for the replacement of the monument at the SW quadrant of Galaxie and CSAH 42. A bid alternative is also included for pricing and consideration for replacement of the existing monument at the NW quadrant of Galaxie and CSAH 42.

This project is scheduled for construction in 2025.

**BACKGROUND:**

On May 23, 2024, City Council adopted Resolution Number 2024-86, directing the preparation of plans and specifications for Project 2025-113, Galaxie Avenue & CSAH 42 Entrance Monument Improvements.



**BUDGET IMPACT:**

This Project was not budgeted for in 2025-2026. However, there are savings from the 2025 Road Improvement bid projects that are proposed to be used for funding this project in 2025. Project costs and funding are summarized as follows:

Estimated Project Costs:	Estimated Costs:
Construction Cost (Base Bid)	\$225,000.00
Construction Cost (Bid Alternate)	225,000.00
Indirect Costs	50,000.00
Total Estimated Cost	\$500,000.00
Estimated Project Funding	
Road Improvement Fund - Savings from 2025 Bid Results	\$500,000.00
Total Estimated Funding	\$500,000.00

**ATTACHMENTS:**

Exhibit  
Resolution  
Advertisement for Bid

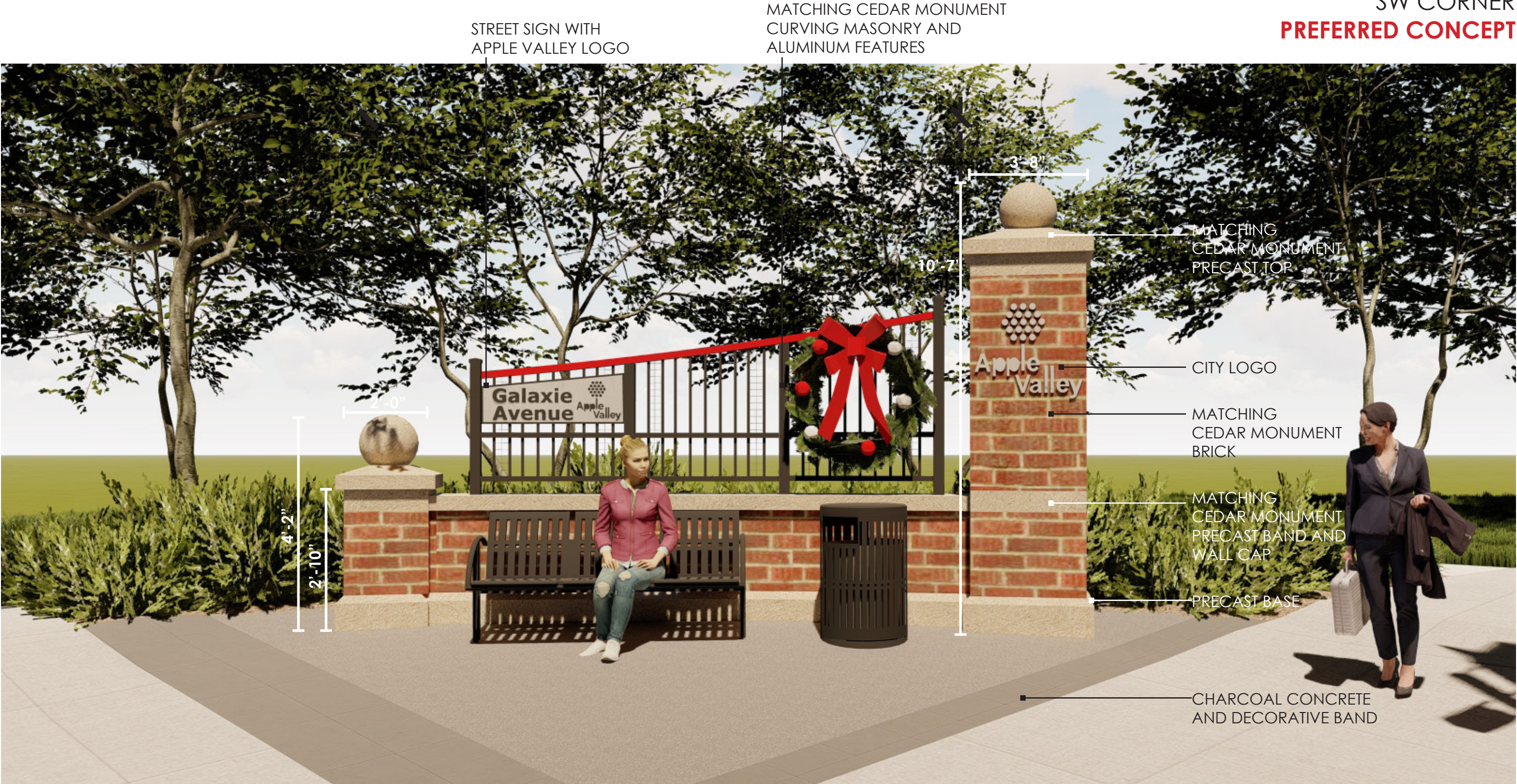


CITY OF APPLE VALLEY  
GALAXIE AVENUE & 150th STREET  
SW CORNER STREETSCAPE  
**EXISTING CONDITIONS**





CITY OF APPLE VALLEY  
GALAXIE AVENUE & 150th STREET  
SW CORNER  
**PREFERRED CONCEPT**





CITY OF APPLE VALLEY  
GALAXIE AVENUE & 150th STREET  
SW CORNER  
**PREFERRED CONCEPT**



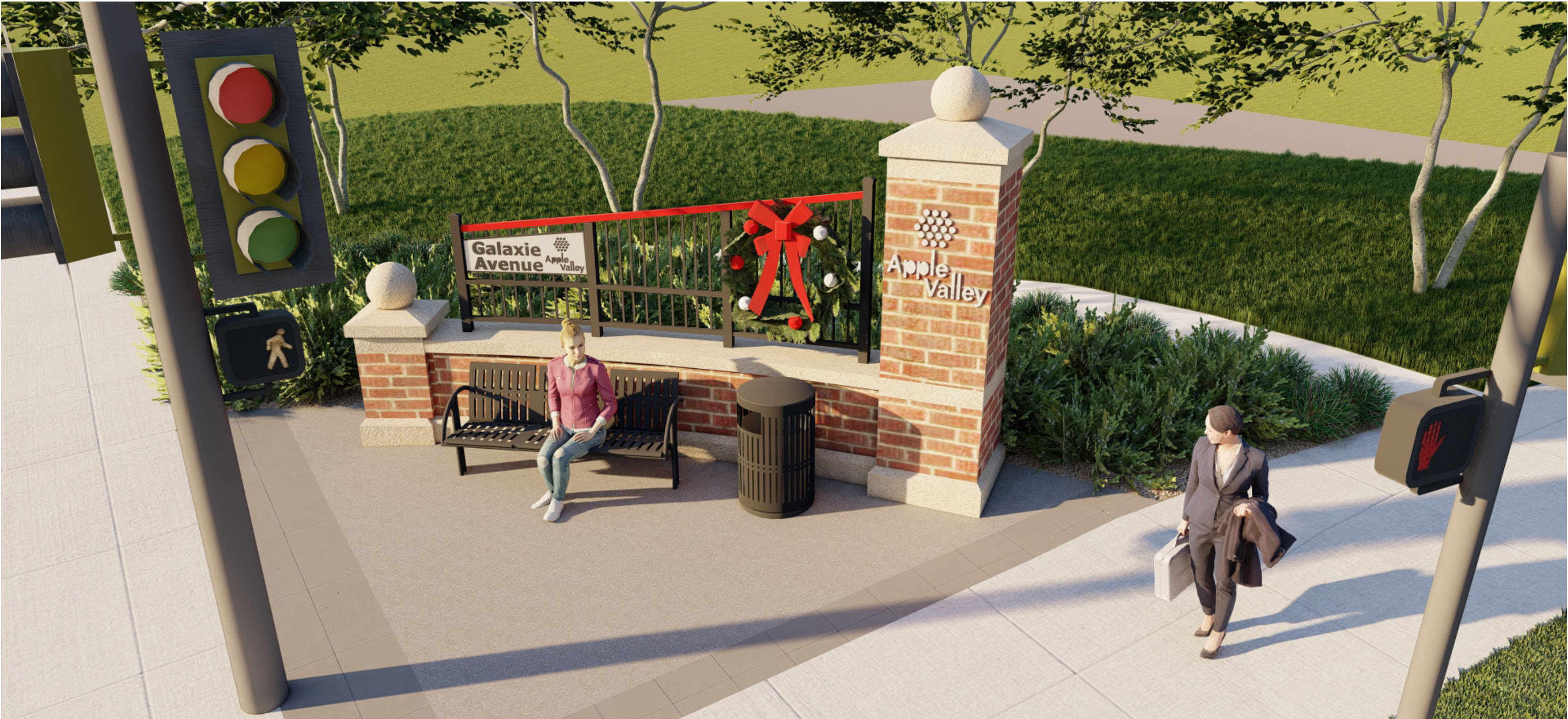


CITY OF APPLE VALLEY  
GALAXIE AVENUE & 150th STREET  
SW CORNER  
**PREFERRED CONCEPT**





CITY OF APPLE VALLEY  
GALAXIE AVENUE & 150th STREET  
SW CORNER  
**PREFERRED CONCEPT**





CITY OF APPLE VALLEY  
RESOLUTION NO. 2025-

RESOLUTION APPROVING PLANS AND SPECIFICATIONS  
AND DIRECTING RECEIPT OF SEALED BIDS FOR  
PROJECT 2025-113, GALAXIE AVENUE & CSAH 42 ENTRANCE MONUMENT  
IMPROVEMENTS

WHEREAS, the Apple Valley City Council has reviewed plans and specifications for Project 2025-113, Galaxie Avenue & CSAH 42 Entrance Monument Improvements; and

WHEREAS, the City Council believes that the interests of the City would be best served by receiving sealed bids based on said plans and specifications.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Apple Valley, Dakota County, Minnesota, as follows:

1. Such plans and specifications for Project 2025-113, Galaxie Avenue & CSAH 42 Entrance Monument Improvements, a copy of which is on file in the office of the City Clerk and made a part hereof, are hereby approved.
2. The City Clerk is hereby authorized to receive sealed bids for Project 2025-113, Galaxie Avenue & CSAH 42 Entrance Monument Improvements at the time and place specified in the form of notice attached hereto as Exhibit A.
3. The City Clerk is further authorized and directed to cause an advertisement for said bids to be posted on the City's website and on the online Quest Construction Data Network, not less than ten (10) days prior to the opening of said bids.

ADOPTED this 8<sup>th</sup> day of May, 2025.

---

Clint Hooppaw, Mayor

ATTEST:

---

Christina M. Scipioni, City Clerk

## SECTION 00 11 13

### ADVERTISEMENT FOR BIDS

Bids will be received electronically online only by the City of Apple Valley, Minnesota, through Quest CDN, until 10:00 A.M., CST, Tuesday, June 3rd, at which time they will be reviewed for the furnishing of all labor, materials, and all else necessary for the following:

**City Project 2025-113 Galaxie Avenue & CSAH 42 Entrance Monument Improvements. This List of Quantities include both the Southwest Streetscape Monument A and Bid Alternate #1 Northwest Streetscape Monument B**

175	SF	Remove Existing Monuments
675	SF	Remove Existing Shrubs
200	SF	Remove Paver Edge
25	LF	Sawcut Paver Edge
480	SF	Remove Concrete Paving
---	LS	Earthworks
---	LS	Erosion Control
---	LS	Traffic Control
17.5	CY	Class 5 Base for Paving
710	SF	1" Temporary Bituminous Paving
235	SF	6" Concrete Paving
9.65	CY	CIP Concrete Footing
12.70	CY	CIP Concrete Foundation Wall
4.50	CY	CIP Concrete Masonry Stem Wall
105	LF	Precast Concrete Masonry Cap 6" thick
30	LF	Precast Concrete Wall Cap 2'-0" x 0'-4"
10	LF	Precast Concrete Strip
2	EA	Precast Concrete Cap A 4'-0" x 4'-0"
2	EA	Precast Concrete Cap B 2'-8" x 2'-8"
335	SF	Brick Veneer
6	EA	Painted 4 1/2" Metal Posts
20	LF	Painted Ornamental Steel Fencing
2	EA	Aluminum Sign, Anodized, 1/2" Thick w/ incised and epoxied logo
2	EA	Aluminum Sign, Anodized City Logo
2	EA	Bench
2	EA	Waste Receptacle
830	SF	Hydroseed
5	EA	Armstrong Gold Maple 2 1/2" BB
47	EA	Sea Green Juniper #5 Container
65	LF	Steel Landscape Edging
---	LS	Site Restoration Allowance
---	LS	Planting Soils and Mulch Allowance

With related items

Digital copies of the Contract Documents can be obtained at [www.questcdn.com](http://www.questcdn.com). The Quest CDN project number is 9658365. Bidders can download the Contract documents for \$40 by searching for the project on Quest CDN website's Project Search page.



Instructions for online bidding are attached. Please contact QuestCDN.com, prior to bidding, at (952) 233-1632 for assistance with free membership registration, downloading, and submitting bids. For electronic bids, electronic bid bonds will also be accepted only through Surety 2000 using contract #9658365. The bid bonds must be payable to the City of Apple Valley in the amount of five percent (5%) of the amount of bid, to be forfeited as liquidated damages in the event that the bid is accepted and the bidder shall fail to promptly enter into a written contract and furnish the required bond.

Any, and all questions bidders may have in connection with this solicitation are to be directed by email only to: Jason Aune, AFLA, email: [jaune@aflandarc.com](mailto:jaune@aflandarc.com).

**No bidder questions will be addressed after 12:00 pm on Friday, May 30, 2025.**

Bid Security in the amount of 5 percent of the amount of the Bid must be submitted through Surety 2000 and accompany each Bid in accordance with the Instructions to Bidders.

The Owner reserves the right to retain the deposits of the 3 lowest Bidders for a period not to exceed 60 days after the date and time set for the Opening of Bids. No Bids may be withdrawn for a period of 30 days after the date and time set for the Opening of Bids.

The successful bidder must be a "responsible contractor." The term "responsible contractor" means a contractor as defined in Minnesota Statutes, section 16C.285, subdivision 3. Any prime contractor, subcontractor, or motor carrier that does not meet the minimum criteria or fails to comply with the verification requirements is not a responsible contractor and is not eligible to be awarded a construction contract for the project or to perform work on the project. A prime contractor, subcontractor, or motor carrier that makes a false statement under oath verifying compliance with the minimum criteria will be ineligible to be awarded a construction contract on the project, and the submission of a false statement may result in termination of a contract awarded to a prime contractor, subcontractor, or motor carrier that submits the false statement. A prime contractor shall include in its verification of compliance a list of all of its first-tier subcontractors that it intends to retain for work on the project. Before execution of a construction contract, a prime contractor shall submit a supplemental verification under oath confirming that all subcontractors and motor carriers that the prime contractor intends to use to perform project work have verified to the prime contractor, through a signed statement under oath by an owner or officer, that they meet the minimum criteria for a responsible contractor.

The Owner reserves the right to reject any and all Bids, to waive irregularities and informalities therein, and further reserves the right to award the Contract to the best interests of the Owner.

Christina M. Scipioni, City Clerk  
City of Apple Valley, Minnesota



ITEM:  
COUNCIL MEETING DATE:  
SECTION:

4.L.  
May 8, 2025  
Consent Agenda

<b>Description:</b> Adopt Resolution Awarding Agreement for Project 2025-105, 2025 Street Improvements	
<b>Staff Contact:</b> Brandon Anderson, City Engineer	<b>Department / Division:</b> Engineering Division

**ACTION REQUESTED:**

Adopt resolution awarding agreement for Project 2025-105, 2025 Street Improvements, to McNamara Contracting, Inc., in the amount of \$1,663,437.00.

**SUMMARY:**

On April 29, 2025, one (1) bid was received for the 2025 Street Improvements project as described within the attached bid tabulation. The Base Bid was \$1,384,396.25 plus alternate bid items 1-2 in the amount of \$279,040.75 for a total bid of \$1,663,437.00.

McNamara Contracting, Inc. submitted the only base bid in the amount of \$1,384,396.25. The Base Bid came in over the estimated cost of \$1,287,309.25 by \$97,087.00.

Two (2) Bid Alternate items were included in the bid.

Bid Alternate No. 1 was submitted in the amount of \$162,045.75. Bid Alternate 1 is recommended for the award at this time and is under the engineer's estimate of \$231,482.00 by \$69,436.25. Scope of work included in bid alternate 1 included additional pavement mill and overlays for some street sections on major roadways that needed additional repair beyond patching as shown on the attached map. This additional scope of work was included in the bidding documents to utilize savings in road improvement funding from other bids.

Bid Alternate No. 2 was submitted in the amount of \$116,995.00. Bid Alternate 2 is recommended for the award at this time and is under the engineer's estimate of \$151,425.00 by \$34,430.00. Scope of work included in bid alternate 2 included additional pavement mill and overlays for some street sections on major roadways that needed additional repair beyond patching as shown on the attached map. This additional scope of work was included in the bidding documents to utilize savings in road improvement funding from other bids.

The combined total of the Base Bid plus Bid Alternates No. 1 and No. 2 of \$1,663,437.00 is under the engineer's estimate of \$1,670,216.00 by \$6,779.00.

The City of Apple Valley 2025 Capital Improvement Program identifies potential street reconstruction and maintenance work. The scope of the project consists of the following:

- Gate Valve Replace/Repair
- Water Main Break Street Patching

- Water Main Break Street Patching
- Dakota County CDA Pedestrian Improvements (re-bid from 2024)
- Intersection/ADA Improvements
  - o Cobblestone Lake Parkway Crosswalks
- Trail Resurfacing
  - o Embury Path from Cobblestone Lake Parkway to 155<sup>th</sup> Street
- 4" Mill & Overlay
  - o Energy Way
- Sidewalk Extension
  - o Energy Way
- Municipal Center Parking Lot West Reconstruction (Future Capital Projects Fund)
  - o The western parking lot will be reconstructed in 2025 and the eastern parking lot of Municipal Center is scheduled for 2026
- Driveway Reconstruction at 320 Palomino Drive (City Well Site)
- Partial pavement patching/mill and overlay of Galaxie Avenue and 140<sup>th</sup> Street

A map of the proposed project area is attached (Figure 1). This project is tentatively scheduled for construction in 2025.

A standard City agreement will be utilized for this project.

#### **BACKGROUND:**

On May 24, 2025, City Council adopted Resolution Number 2025-52, approving plans and specifications and directing receipt of sealed bids for Project 2025-105, 2025 Street Improvements.

On November 12, 2024, City Council adopted Resolution Number 2024-140 directing the preparation of plans and specifications for Project 2025-105, 2025 Street Improvements.

#### **BUDGET IMPACT:**

Project costs and funding included in the preliminary 2025 operating budget are summarized as follows:

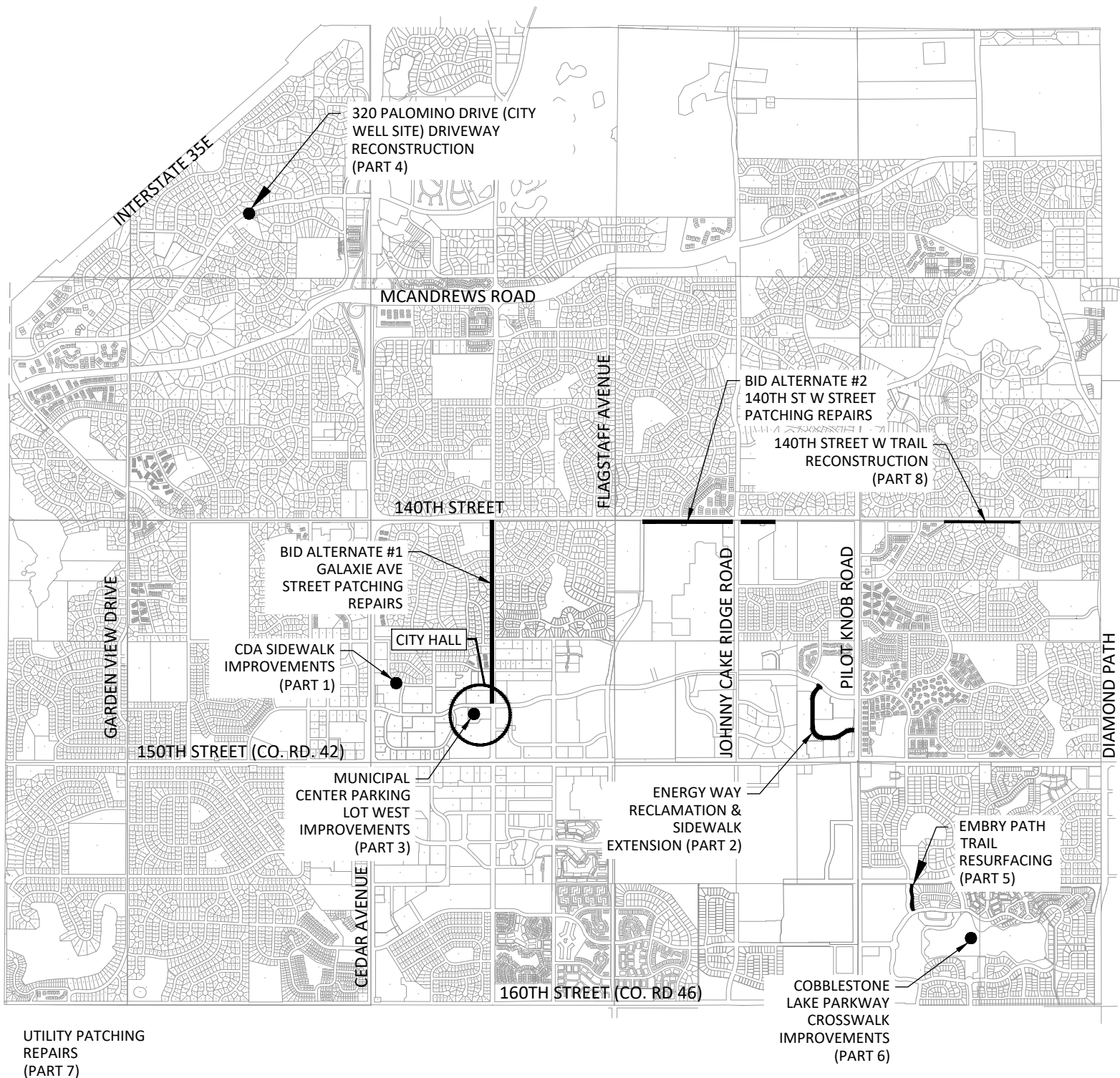
Estimated Costs:	Project	Budgeted Costs:	Awarded Costs:
Construction Cost		\$1,287,309.00	\$1,384,396.25
Construction		150,000.00	150,000.00
Contingency			
Engineering, Contract		200,000.00	200,000.00
Admin, Inspection, Testing, Survey			
Alternate Bid 1		250,000.00	162,045.75
Alternate Bid 2		150,000.00	116,995.00
Total Estimated Cost		\$2,037,309.00	\$2,013,437.00

Estimated Project Funding		
Water Utility	\$160,000.00	\$160,000.00
Sanitary Sewer Fund	175,400.00	225,000.00
Road Improvement Fund	780,000.00	780,000.00
Road Improvement Fund -Savings from 2025 Bids	301,909.00	228,437.00
Municipal Maintenance Fund	200,000.00	200,000.00
Dakota County CDA	70,000.00	70,000.00
Future Capital Projects Fund (City Hall Parking)	350,000.00	350,000.00
Total Estimated Funding	\$ 2,037,309.00	\$2,013,437.00

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## ATTACHMENTS:

Map  
Resolution  
Bid / Quote Tabulation



## 2025 STREET IMPROVEMENTS

Figure 1

2025-105



CITY OF APPLE VALLEY  
RESOLUTION NO. 2025-

A RESOLUTION AWARDDING AGREEMENT FOR PROJECT 2025-105  
2025 STREET IMPROVEMENTS

WHEREAS, pursuant to an advertisement for bids for improvements identified as Project 2025-105, 2025 Street Improvements, bids were received, opened and tabulated according to law and the following bids were received complying with the advertisement: (Tabulation attached as Exhibit A), and;

WHEREAS, it appears McNamara Contracting, Inc., is the lowest responsible bidder.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Apple Valley, Dakota County, Minnesota:

1. That the Mayor and City Clerk are hereby authorized and directed to enter into a contract with McNamara Contracting, Inc., for its base bid plus bid alternate 1 and 2 in the amount of \$1,663,437.00 for the completion of Project 2025-105 according to the plans and specifications heretofore approved by the Council and on file in the office of the City Clerk.

2. The City Clerk is hereby authorized and directed to return to all bidders the deposits made with their bids, except that the deposits of the successful bidder and the next lowest bidder shall be retained until a contract has been signed.

ADOPTED this 8th day of May, 2025.

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Clint Hooppaw, Mayor

ATTEST:

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Christina M. Scipioni, City Clerk



Project Name: Street Improvements  
City Project No.: 2025-105  
Bid Opening: Tuesday, April 29, 2025 at 10:00 A.M., C.S.T.  
Electronic Bid- Quest CDN

*I hereby certify that this is an exact reproduction of bids received.*  
Owner: City of Apple Valley  
Brandon Anderson, P.E.  
Registration No. 43332

					Engineer Estimate		McNamara Contracting	
Section Title	NO.	Item Description	Unit	Est Quantity	Unit Price	Total Price	Unit Price	Total Price
<b>Part 1 - DAKOTA COUNTY CDA PEDESTRIAN IMPROVEMENTS</b>								
	1	MOBILIZATION	LS	1	\$15,000.00	\$15,000.00	\$15,500.00	\$15,500.00
	2	CLEAR	EA	1	\$800.00	\$800.00	\$800.00	\$800.00
	3	GRUB	EA	1	\$302.00	\$302.00	\$300.00	\$300.00
	4	TREE PRUNING	HR	3	\$400.00	\$1,200.00	\$550.00	\$1,650.00
	5	REMOVE CURB AND GUTTER	LF	164	\$15.00	\$2,460.00	\$15.00	\$2,460.00
	6	REMOVE CONCRETE WALK OR DRIVEWAY	SF	220	\$10.00	\$2,200.00	\$10.00	\$2,200.00
	7	REMOVE BITUMINOUS PAVEMENT	SY	109	\$30.00	\$3,270.00	\$23.00	\$2,507.00
	8	REMOVE CONCRETE VALLEY GUTTER	SF	60	\$5.00	\$300.00	\$20.00	\$1,200.00
	9	COMMON EXCAVATION (EV)	CY	100	\$60.00	\$6,000.00	\$60.00	\$6,000.00
	10	AGGREGATE BASE CLASS 5	TN	65	\$75.00	\$4,875.00	\$42.00	\$2,730.00
	11	ADJUST GATE VALVE	EA	2	\$1,000.00	\$2,000.00	\$1,300.00	\$2,600.00
	12	REPAIR IRRIGATION SYSTEM	LS	1	\$1,165.00	\$1,165.00	\$3,000.00	\$3,000.00
	13	BITUMINOUS MATERIAL FOR TACK COAT	GL	2	\$6.00	\$12.00	\$4.00	\$8.00
	14	TYPE SPWEA330B WEAR 2" THICK -LOCAL STREETS	TN	6	\$700.00	\$4,200.00	\$390.00	\$2,340.00
	15	TYPE SPWEA240B WEAR 1.5" THICK - DRIVEWAYS, TRAIL	TN	13	\$300.00	\$3,900.00	\$390.00	\$5,070.00
	16	7 INCH THICK CONCRETE VALLEY GUTTER	SY	31	\$155.00	\$4,805.00	\$160.00	\$4,960.00
	17	CONCRETE CURB AND GUTTER, D412	LF	30	\$32.00	\$960.00	\$55.00	\$1,650.00
	18	CONCRETE CURB AND GUTTER, B612	LF	12	\$38.00	\$456.00	\$52.40	\$628.80
	19	CONCRETE SIDEWALK AND DRIVEWAY	SF	1838	\$10.00	\$18,380.00	\$6.75	\$12,406.50
	20	CONCRETE PEDESTRIAN CURB RAMP	SF	210	\$16.00	\$3,360.00	\$16.25	\$3,412.50
	21	TRUNCATED DOME PANEL	SF	30	\$50.00	\$1,500.00	\$50.00	\$1,500.00
	22	SALVAGE AND REINSTALL CASTING	EA	3	\$1,200.00	\$3,600.00	\$1,500.00	\$4,500.00
	23	TOPSOIL (LV)	CY	100	\$80.00	\$8,000.00	\$50.00	\$5,000.00
	24	SEEDING	AC	0.2	\$1,100.00	\$220.00	\$2,600.00	\$520.00
	25	SEED MIXTURE, MNDOT 25-131	LB	30	\$12.00	\$360.00	\$9.00	\$270.00
	26	FERTILIZER TYPE 3	LB	70	\$6.00	\$420.00	\$2.00	\$140.00
	27	HYDRAULIC SOIL STABILIZER TYPE 1	SY	500	\$5.00	\$2,500.00	\$3.00	\$1,500.00
	28	WATER FOR TURF ESTABLISHMENT	MGAL	16	\$75.00	\$1,200.00	\$50.00	\$800.00
	29	STORM DRAIN INLET PROTECTION	EA	7	\$170.00	\$1,190.00	\$250.00	\$1,750.00
	30	SEDIMENT CONTROL BARRIER	LF	400	\$4.00	\$1,600.00	\$4.00	\$1,600.00
	31	TRAFFIC CONTROL	LS	1	\$1,500.00	\$1,500.00	\$2,000.00	\$2,000.00
<b>Total Part 1 - DAKOTA COUNTY CDA PEDESTRIAN IMPROVEMENTS</b>						<b>\$97,735.00</b>		<b>\$91,002.80</b>

<b>Part 2- ENERGY WAY RECLAMATION &amp; SIDEWALK EXTENSION</b>							
32	MOBILIZATION	LS	1	\$15,000.00	\$15,000.00	\$25,500.00	\$25,500.00
33	CLEAR	EA	1	\$500.00	\$500.00	\$800.00	\$800.00
34	GRUB	EA	1	\$250.00	\$250.00	\$300.00	\$300.00
35	SALVAGE AND REINSTALL PRIVATE SIGN	EA	1	\$50.00	\$50.00	\$400.00	\$400.00
36	REMOVE BITUMINOUS WALK OR DRIVEWAY	SY	117	\$16.00	\$1,872.00	\$20.00	\$2,340.00
37	REMOVE CURB AND GUTTER	LF	237	\$15.00	\$3,555.00	\$15.00	\$3,555.00
38	REMOVE CONCRETE VALLEY GUTTER	SF	844	\$10.00	\$8,440.00	\$3.00	\$2,532.00
39	COMMON EXCAVATION (EV)	CY	463	\$35.00	\$16,205.00	\$60.00	\$27,780.00
40	FULL DEPTH RECLAMATION	SY	9031	\$2.50	\$22,577.50	\$6.00	\$54,186.00
41	MODIFIED CLASS 5 AGGREGATE BASE (P)	SY	9031	\$7.50	\$67,732.50	\$6.00	\$54,186.00
42	AGGREGATE BASE CLASS 5	TN	175	\$30.00	\$5,250.00	\$42.00	\$7,350.00
43	ADJUST GATE VALVE	EA	3	\$1,000.00	\$3,000.00	\$1,300.00	\$3,900.00
44	SALVAGE AND REINSTALL CASTING	EA	19	\$1,200.00	\$22,800.00	\$1,500.00	\$28,500.00
45	FURNISH AND INSTALL CASTING - R-1642	EA	2	\$1,200.00	\$2,400.00	\$1,700.00	\$3,400.00
46	FURNISH AND INSTALL CASTING - R-3067-VB	EA	2	\$1,200.00	\$2,400.00	\$1,700.00	\$3,400.00
47	CONCRETE SIDEWALK AND DRIVEWAY 5" THICK	SF	4092	\$8.00	\$32,736.00	\$8.00	\$32,736.00
48	CONCRETE DRIVEWAY PAVEMENT PER DETAIL STR-5	SF	1970	\$15.00	\$29,550.00	\$16.60	\$32,702.00
49	CONCRETE CURB AND GUTTER, B618	LF	207	\$50.00	\$10,350.00	\$38.25	\$7,917.75
50	CONCRETE PEDESTRIAN CURB RAMP	SF	210	\$16.00	\$3,360.00	\$16.25	\$3,412.50
51	TRUNCATED DOME PANEL	SF	84	\$50.00	\$4,200.00	\$50.00	\$4,200.00
52	BITUMINOUS MATERIAL FOR TACK COAT	GL	451	\$6.00	\$2,706.00	\$4.00	\$1,804.00
53	TYPE SPWEA330C 2" NONWEAR	TN	1173	\$83.00	\$97,359.00	\$86.00	\$100,878.00
54	TYPE SPWEA330C 2" WEAR	TN	1173	\$83.00	\$97,359.00	\$86.00	\$100,878.00
55	TYPE SPWEA330B DRIVEWAY	TN	4	\$400.00	\$1,600.00	\$325.00	\$1,300.00
56	REPAIR IRRIGATION SYSTEM	LS	1	\$5,000.00	\$5,000.00	\$3,000.00	\$3,000.00
57	TOPSOIL (LV)	CY	155	\$40.00	\$6,200.00	\$60.00	\$9,300.00
58	SODDING TYPE LAWN	SY	1467	\$8.00	\$11,736.00	\$9.00	\$13,203.00
59	FERTILIZER TYPE 3	LB	1	\$50.00	\$50.00	\$2.00	\$2.00
60	WATER FOR TURF ESTABLISHMENT	MGAL	115	\$75.00	\$8,625.00	\$50.00	\$5,750.00
61	STORM DRAIN INLET PROTECTION	EA	8	\$300.00	\$2,400.00	\$250.00	\$2,000.00
62	4" DOUBLE SOLID LINE PAINT (WR)	LF	2169	\$1.25	\$2,711.25	\$2.10	\$4,554.90
63	4" SOLID LINE PAINT (WR)	LF	3702	\$1.00	\$3,702.00	\$1.05	\$3,887.10
64	24" SOLID LINE PAINT (WR)	LF	47	\$10.00	\$470.00	\$15.75	\$740.25
65	TRAFFIC CONTROL	LS	1	\$1,500.00	\$1,500.00	\$7,700.00	\$7,700.00
<b>Total Part 2 - ENERGY WAY RECLAMATION &amp; SIDEWALK EXTENSION</b>				<b>\$493,646.25</b>		<b>\$554,094.50</b>	
<b>Part 3 - MUNICIPAL CENTER PARKING LOT WEST IMPROVEMENTS</b>							
66	MOBILIZATION	LS	1	\$17,000.00	\$17,000.00	\$7,000.00	\$7,000.00
67	REMOVE BITUMINOUS PAVEMENT	SY	1561	\$10.00	\$15,610.00	\$5.00	\$7,805.00
68	REMOVE CURB AND GUTTER	LF	200	\$8.00	\$1,600.00	\$15.00	\$3,000.00
69	REMOVE CONCRETE	SF	2467	\$5.00	\$12,335.00	\$2.00	\$4,934.00
70	CLEARING	EA	2	\$600.00	\$1,200.00	\$800.00	\$1,600.00



71	GRUBBING	EA	2	\$300.00	\$600.00	\$300.00	\$600.00
72	COMMON EXCAVATION	CY	715	\$35.00	\$25,025.00	\$35.00	\$25,025.00
73	SUBGRADE EXCAVATION	CY	100	\$50.00	\$5,000.00	\$35.00	\$3,500.00
74	SELECT GRANULAR BORROW (CV)	CY	100	\$30.00	\$3,000.00	\$35.00	\$3,500.00
75	SANDY CLAY LOAM TOPSOIL BORROW (LV)	CY	6	\$50.00	\$300.00	\$50.00	\$300.00
76	COMPOST GRADE 2	CY	6	\$50.00	\$300.00	\$50.00	\$300.00
77	AGGREGATE BASE CLASS 5	TN	1245	\$30.00	\$37,350.00	\$36.00	\$44,820.00
78	ADJUST FRAME AND RING CASTING	EA	1	\$450.00	\$450.00	\$1,100.00	\$1,100.00
79	CONCRETE CURB AND GUTTER, B618	LF	200	\$60.00	\$12,000.00	\$47.10	\$9,420.00
80	8" CONCRETE (DRIVE)	SF	17137	\$10.00	\$171,370.00	\$10.65	\$182,509.05
81	5" CONCRETE (SIDEWALK)	SF	2200	\$9.00	\$19,800.00	\$8.40	\$18,480.00
82	CONCRETE CURB DESIGN V4	LF	50	\$20.00	\$1,000.00	\$47.70	\$2,385.00
83	4" X 48" BOLLARD (THREDED BASE, SURFACE MOUNTED)	EA	2	\$600.00	\$1,200.00	\$1,000.00	\$2,000.00
84	6" X 48" BOLLARD (SURFACE MOUNTED)	EA	4	\$600.00	\$2,400.00	\$800.00	\$3,200.00
85	STABILIZED CONSTRUCTION ENTRANCE	EA	1	\$500.00	\$500.00	\$375.00	\$375.00
86	STORM DRAIN INLET PROTECTION	EA	2	\$250.00	\$500.00	\$250.00	\$500.00
87	SODDING TYPE LAWN	SY	100	\$20.00	\$2,000.00	\$9.00	\$900.00
88	FERTILIZER TYPE 3	LB	3	\$5.00	\$15.00	\$2.00	\$6.00
89	TURF ESTABLISHMENT	LS	1	\$1,000.00	\$1,000.00	\$2,500.00	\$2,500.00
90	4" SOLID LINE PAINT (WR)	LF	970	\$1.30	\$1,261.00	\$2.00	\$1,940.00
91	PAVEMENT MESSAGE	SF	4	\$38.00	\$152.00	\$105.00	\$420.00
92	TRAFFIC CONTROL	LS	1	\$1,000.00	\$1,000.00	\$1,000.00	\$1,000.00
TOTAL PART 3 - MUNICIPAL CENTER PARKING LOT WEST IMPROVEMENTS				\$333,968.00		\$329,119.05	

<b>Part 4 - 320 PALOMININO DRIVE (CITY WELL SITE) DRIVEWAY RECONSTRUCTION</b>							
93	MOBILIZATION	LS	1	\$10,000.00	\$10,000.00	\$5,000.00	\$5,000.00
94	REMOVE BITUMINOUS PAVEMENT	SY	11	\$50.00	\$550.00	\$13.00	\$143.00
95	REMOVE BITUMINOUS WALK OR DRIVEWAY	SY	217	\$30.00	\$6,510.00	\$13.00	\$2,821.00
96	REMOVE CURB AND GUTTER	LF	50	\$15.00	\$750.00	\$15.00	\$750.00
97	REMOVE CASTING	EA	1	\$200.00	\$200.00	\$200.00	\$200.00
98	SALVAGE AND REINSTALL MAILBOX	EA	1	\$500.00	\$500.00	\$400.00	\$400.00
99	SALVAGE AND REINSTALL CASTING	EA	1	\$1,200.00	\$1,200.00	\$1,500.00	\$1,500.00
100	COMMON EXCAVATION (EV)	CY	35	\$50.00	\$1,750.00	\$80.00	\$2,800.00
101	AGGREGATE BASE CLASS 5	TN	75	\$50.00	\$3,750.00	\$42.00	\$3,150.00
102	BITUMINOUS MATERIAL FOR TACK COAT	GL	1	\$50.00	\$50.00	\$4.00	\$4.00
103	TYPE SPWEA240B 2" WEAR - STREET	TN	2	\$500.00	\$1,000.00	\$1,000.00	\$2,000.00
104	TYPE SPWEA240B 2" NON-WEAR - STREET	TN	2	\$500.00	\$1,000.00	\$1,000.00	\$2,000.00
105	TYPE SPWEA240B WEAR 3" THICK - TRAILS	TN	6	\$200.00	\$1,200.00	\$200.00	\$1,200.00
106	TYPE SPWEA240B WEAR 3" THICK - DRIVEWAY	TN	35	\$150.00	\$5,250.00	\$200.00	\$7,000.00
107	FURNISH AND INSTALL CASTING - R-3382	EA	1	\$1,600.00	\$1,600.00	\$2,200.00	\$2,200.00
108	CONNECT TO EXISTING STRUCTURE	EA	1	\$1,500.00	\$1,500.00	\$1,600.00	\$1,600.00
109	12" RCP CLASS V	LF	57	\$90.00	\$5,130.00	\$122.00	\$6,954.00
110	CONCRETE STOOL	EA	2	\$4,500.00	\$9,000.00	\$6,500.00	\$13,000.00

111	CONCRETE CURB AND GUTTER, B618	LF	50	\$70.00	\$3,500.00	\$82.40	\$4,120.00
112	TOPSOIL (LV)	CY	25	\$75.00	\$1,875.00	\$50.00	\$1,250.00
113	SODDING TYPE LAWN	SY	141	\$10.00	\$1,410.00	\$9.00	\$1,269.00
114	FERTILIZER TYPE 3	LB	8	\$25.00	\$200.00	\$2.00	\$16.00
115	WATER FOR TURF ESTABLISHMENT	MGAL	11	\$75.00	\$825.00	\$50.00	\$550.00
116	STORM DRAIN INLET PROTECTION	EA	3	\$250.00	\$750.00	\$250.00	\$750.00
117	TRAFFIC CONTROL	LS	1	\$2,000.00	\$2,000.00	\$1,000.00	\$1,000.00
TOTAL PART 4 - 320 PALOMINO DRIVE (CITY WELL SITE) DRIVEWAY RECONSTRUCTION				\$61,500.00		\$61,677.00	
PART 5 - EMBRY PATH TRAIL RESURFACING							
118	MOBILIZATION	LS	1	\$5,000.00	\$5,000.00	\$2,000.00	\$2,000.00
119	FULL DEPTH RECLAMATION	SY	637	\$12.00	\$7,644.00	\$10.00	\$6,370.00
120	TYPE SPWEA330B WEAR 3" THICK TRAIL	TN	112	\$135.00	\$15,120.00	\$125.00	\$14,000.00
121	TOPSOIL (LV)	CY	30	\$35.00	\$1,050.00	\$50.00	\$1,500.00
122	HYDRAULIC SOIL STABILIZER TYPE 1	SY	965	\$8.00	\$7,720.00	\$3.00	\$2,895.00
123	SEEDING	SY	966	\$5.00	\$4,830.00	\$1.00	\$966.00
124	SEED MIXTURE 25-131	LB	43	\$15.00	\$645.00	\$9.00	\$387.00
125	FERTILIZER TYPE 3	LB	60	\$22.00	\$1,320.00	\$2.00	\$120.00
126	WATER FOR TURF ESTABLISHMENT	LS	1	\$2,500.00	\$2,500.00	\$3,000.00	\$3,000.00
127	TRAFFIC CONTROL	LS	1	\$1,500.00	\$1,500.00	\$1,500.00	\$1,500.00
TOTAL PART 5 - EMBRY PATH TRAIL RESURFACING						\$47,329.00	\$32,738.00
PART 6 - COBBLESTONE LAKE PARKWAY CROSSWALK IMPROVEMENTS							
128	MOBILIZATION	LS	1	\$5,000.00	\$5,000.00	\$500.00	\$500.00
129	PAVEMENT MARKING REMOVAL	LF	1300	\$2.50	\$3,250.00	\$2.25	\$2,925.00
130	SIGN PANEL	SF	206.4	\$52.50	\$10,836.00	\$44.00	\$9,081.60
131	24" SOLID LINE MULTI COMP (WR)	LF	77	\$10.00	\$770.00	\$20.00	\$1,540.00
132	CROSSWALK MULTI COMP (WR)	SF	2484	\$5.00	\$12,420.00	\$10.00	\$24,840.00
133	TRAFFIC CONTROL	LS	1	\$2,500.00	\$2,500.00	\$500.00	\$500.00
TOTAL PART 6 - COBBLESTONE LAKE PARKWAY CROSSWALK IMPROVEMENTS						\$34,776.00	\$39,386.60
PART 7 - STREET PATCHING REPAIRS							
134	MOBILIZATION	LS	1	\$6,000.00	\$6,000.00	\$4,000.00	\$4,000.00
135	REMOVE CURB AND GUTTER	LF	100	\$14.00	\$1,400.00	\$15.00	\$1,500.00
136	REMOVE CONCRETE WALK OR DRIVEWAY	SF	300	\$5.00	\$1,500.00	\$10.00	\$3,000.00
137	REMOVE CONCRETE VALLEY GUTTER	SF	90	\$9.00	\$810.00	\$20.00	\$1,800.00
138	REMOVE BITUMINOUS PAVEMENT	SY	300	\$30.00	\$9,000.00	\$13.00	\$3,900.00
139	SAW BITUMINOUS PAVEMENT	LF	400	\$5.00	\$2,000.00	\$10.00	\$4,000.00
140	COMMON EXCAVATION (EV)	CY	35	\$53.00	\$1,855.00	\$6.00	\$210.00
141	SUBGRADE PREPERATION	SY	300	\$25.00	\$7,500.00	\$50.00	\$15,000.00
142	AGGREGATE BASE CLASS 5	TN	35	\$25.00	\$875.00	\$0.42	\$14.70
143	BITUMINOUS MATERIAL FOR TACK COAT	GL	75	\$3.00	\$225.00	\$4.00	\$300.00

144	TYPE SPWEA330B WEAR FOR PATCHING	TN	170	\$180.00	\$30,600.00	\$180.00	\$30,600.00
145	CONCRETE PEDESTRIAN CURB RAMP	SF	100	\$15.00	\$1,500.00	\$25.00	\$2,500.00
146	TRUNCATED DOME PANEL	SF	20	\$50.00	\$1,000.00	\$50.00	\$1,000.00
147	CONCRETE SIDEWALK AND DRIVEWAY 5" THICK	SF	300	\$13.00	\$3,900.00	\$35.00	\$10,500.00
148	CONCRETE CURB AND GUTTER, B618	LF	50	\$52.00	\$2,600.00	\$64.75	\$3,237.50
149	CONCRETE CURB AND GUTTER, D412	LF	50	\$44.00	\$2,200.00	\$64.75	\$3,237.50
150	7 INCH THICK CONCRETE VALLEY GUTTER	SY	9	\$165.00	\$1,485.00	\$390.00	\$3,510.00
151	SALVAGE AND REINSTALL CASTING	EA	3	\$360.00	\$1,080.00	\$1,500.00	\$4,500.00
152	TRAFFIC CONTROL	LS	1	\$2,500.00	\$2,500.00	\$1,500.00	\$1,500.00
TOTAL PART 7 - STREET PATCHING REPAIRS						\$78,030.00	\$94,309.70
PART 8 - 140TH STREET W TRAIL RECONSTRUCTION							
153	MOBILIZATION	LS	1	\$10,000.00	\$10,000.00	\$10,000.00	\$10,000.00
154	REMOVE CONCRETE WALK OR DRIVEWAY	SF	40	\$20.00	\$800.00	\$20.00	\$800.00
155	REMOVE CURB AND GUTTER	LF	10	\$100.00	\$1,000.00	\$15.00	\$150.00
156	REMOVE BITUMINOUS PAVEMENT	SY	40	\$30.00	\$1,200.00	\$20.00	\$800.00
157	REMOVE CONCRETE VALLEY GUTTER	SF	310	\$5.00	\$1,550.00	\$3.00	\$930.00
158	COMMON EXCAVATION (EV)	CY	105	\$35.00	\$3,675.00	\$60.00	\$6,300.00
159	AGGREGATE BASE CLASS 5	TN	583	\$25.00	\$14,575.00	\$42.00	\$24,486.00
160	TYPE SPWEA330C 2" NON WEAR - STREET	TN	13	\$200.00	\$2,600.00	\$201.00	\$2,613.00
161	TYPE SPWEA330C 2" WEAR - STREET	TN	13	\$200.00	\$2,600.00	\$201.00	\$2,613.00
162	TYPE SPWEA240B 3" WEAR - TRAIL	TN	268	\$100.00	\$26,800.00	\$148.00	\$39,664.00
163	BITUMINOUS MATERIAL FOR TACK COAT	GL	5	\$5.00	\$25.00	\$4.00	\$20.00
164	CONCRETE CURB AND GUTTER, B618	LF	10	\$35.00	\$350.00	\$65.00	\$650.00
165	CONCRETE SIDEWALK AND DRIVEWAY 5" THICK	SF	55	\$20.00	\$1,100.00	\$16.20	\$891.00
166	CONCRETE PEDESTRIAN CURB RAMP	SF	157	\$25.00	\$3,925.00	\$19.80	\$3,108.60
167	TRUNCATED DOME PANEL	SF	48	\$60.00	\$2,880.00	\$50.00	\$2,400.00
168	7 INCH THICK CONCRETE VALLEY GUTTER	SY	85	\$100.00	\$8,500.00	\$113.00	\$9,605.00
169	SALVAGE AND REINSTALL CASTING	EA	7	\$1,200.00	\$8,400.00	\$1,500.00	\$10,500.00
170	TOPSOIL (LV)	CY	620	\$20.00	\$12,400.00	\$50.00	\$31,000.00
171	HYDRAULIC SOIL STABILIZER TYPE 1	SY	2870	\$3.50	\$10,045.00	\$3.00	\$8,610.00
172	SEEDING	SY	2870	\$1.50	\$4,305.00	\$0.40	\$1,148.00
173	SEED MIXTURE 25-131	AC	371	\$15.00	\$5,565.00	\$4.00	\$1,484.00
174	FERTILIZER	LB	506	\$5.00	\$2,530.00	\$2.00	\$1,012.00
175	WATER FOR TURF ESTABLISHMENT	MGAL	264	\$35.00	\$9,240.00	\$50.00	\$13,200.00
176	STORM DRAIN INLET PROTECTION	EA	3	\$300.00	\$900.00	\$250.00	\$750.00
177	12" SOLID LINE PAINT (WR)	LF	92	\$5.00	\$460.00	\$16.00	\$1,472.00
178	24" SOLID LINE PAINT (WR)	LF	16	\$25.00	\$400.00	\$32.00	\$512.00
179	STREET SWEEPER (WITH PICK UP BROOM)	HR	5	\$200.00	\$1,000.00	\$270.00	\$1,350.00
180	TRAFFIC CONTROL	LS	1	\$3,500.00	\$3,500.00	\$6,000.00	\$6,000.00

<b>TOTAL PART 8 - 140th STREET W TRAIL RECONSTRUCTION</b>				<b>\$140,325.00</b>		<b>\$182,068.60</b>	
<b>Alternate Bid 1 - PART 9 - GALAXIE AVE STREET PATCHING REPAIRS</b>							
181	MOBILIZATION	LS	1	\$4,200.00	\$4,200.00	\$4,200.00	\$4,200.00
182	TRAFFIC CONTROL	LS	1	\$1,700.00	\$1,700.00	\$2,700.00	\$2,700.00
183	2" SURFACE MILL	SY	9455	\$8.00	\$75,640.00	\$3.00	\$28,365.00
184	TYPE SP 12.5 SPWEB440F	TN	1080	\$130.00	\$140,400.00	\$110.00	\$118,800.00
185	TACK COAT	GAL	780	\$5.00	\$3,900.00	\$3.00	\$2,340.00
186	4" SOLID YELLOW	LF	945	\$1.00	\$945.00	\$1.50	\$1,417.50
187	4" DOUBLE YELLOW	LF	917	\$1.00	\$917.00	\$2.25	\$2,063.25
188	4" BROKEN WHITE (10 FEET PAINT 40 FEET SPACE (1 CYCLE))	LF	840	\$3.50	\$2,940.00	\$2.00	\$1,680.00
189	4" BROKEN YELLOW (10 FEET PAINT 40 FEET SPACE (1CYCLE))	LF	240	\$3.50	\$840.00	\$2.00	\$480.00
<b>TOTAL Alternate Bid 1 - PART 9 - GALAXIE AVE STREET PATCHING REPAIRS</b>				<b>\$231,482.00</b>		<b>\$162,045.75</b>	
<b>Alternate Bid 2 - PART 10 - 140TH ST W STREET PATCHING</b>							
190	MOBILIZATION	LS	1	\$4,200.00	\$4,200.00	\$4,200.00	\$4,200.00
191	TRAFFIC CONTROL	LS	1	\$1,700.00	\$1,700.00	\$2,700.00	\$2,700.00
192	4" SURFACE MILL	SY	3620	\$10.00	\$36,200.00	\$5.00	\$18,100.00
193	TYPE SP 12.5 SPWEB440F	TN	825	\$130.00	\$107,250.00	\$110.00	\$90,750.00
194	TACK COAT	GAL	415	\$5.00	\$2,075.00	\$3.00	\$1,245.00
<b>TOTAL Alternate Bid 2 - PART 10 - 140TH ST W STREET PATCHING</b>				<b>\$151,425.00</b>		<b>\$116,995.00</b>	
<b>TOTAL PART 1 - DAKOTA COUNTY CDA PEDESTRIAN IMPROVEMENTS</b>				<b>\$97,735.00</b>		<b>\$91,002.80</b>	
<b>TOTAL PART 2-ENERGY WAY RECLAMATION &amp; SIDEWALK EXTENSION</b>				<b>\$493,646.25</b>		<b>\$554,094.50</b>	
<b>TOTAL PART 3 - MUNICIPAL CENTER PARKING LOT WEST IMPROVEMENTS</b>				<b>\$333,968.00</b>		<b>\$329,119.05</b>	
<b>TOTAL PART 4 - 320 PALOMINO DRIVE (CITY WELL SITE) DRIVEWAY RECONSTRUCTION</b>				<b>\$61,500.00</b>		<b>\$61,677.00</b>	
<b>PART 5 - EMBRY PATH TRAIL RESURFACING</b>				<b>\$47,329.00</b>		<b>\$32,738.00</b>	
<b>PART 6 - COBBLESTONE LAKE PARKWAY CROSSWALK IMPROVEMENTS</b>				<b>\$34,776.00</b>		<b>\$39,386.60</b>	
<b>PART 7 - STREET PATCHING REPAIRS</b>				<b>\$78,030.00</b>		<b>\$94,309.70</b>	
<b>PART 8 - 140TH STREET W TRAIL RECONSTRUCTION</b>				<b>\$140,325.00</b>		<b>\$182,068.60</b>	
<b>TOTAL BASE BID</b>				<b>\$1,287,309.25</b>		<b>\$1,384,396.25</b>	
<b>TOTAL Alternate Bid 1 - PART 9 - GALAXIE AVE STREET PATCHING REPAIRS</b>				<b>\$231,482.00</b>		<b>\$162,045.75</b>	
<b>TOTAL Alternate Bid 2 - PART 10 - 140TH ST W STREET PATCHING</b>				<b>\$151,425.00</b>		<b>\$116,995.00</b>	
<b>TOTAL ALTERNATE BID</b>				<b>\$382,907.00</b>		<b>\$279,040.75</b>	
<b>TOTAL BASE BID + ALTERNATE BID</b>				<b>\$1,670,216.25</b>		<b>\$1,663,437.00</b>	
Contractor						McNamara Contracting Inc	

Address	16700 Chippendale Avenue
Address	Rosemount, MN 55068
Phone	651-322-5500
Representative	Mike McNamara
Title	President
Bid Bond	5.00%



ITEM:  
COUNCIL MEETING DATE:  
SECTION:

4.M.  
May 8, 2025  
Consent Agenda

**Description:**

Adopt Resolution Awarding Agreement for Project 2025-109, Central Village Street Improvements

**Staff Contact:**

Brandon Anderson, City Engineer

**Department / Division:**

Engineering Division

**ACTION REQUESTED:**

Adopt resolution awarding agreement for Project 2025-109, Central Village Street Improvements, to Northwest Asphalt, Inc., in the amount of \$1,370,450.00.

**SUMMARY:**

On April 15, 2025, two (2) bids were received for the Central Village Street Improvements project as described within the attached bid tabulation. Base Bids ranged from \$1,275,885.00 to \$1,325,136.30. Northwest Asphalt, Inc. submitted the low bid in the amount of \$1,275,885.00. The low bid was \$552,915.00 under the Engineer's estimate of \$1,828,800.00.

One (1) Bid Alternate item was included in the bid, which included:

1. Founders Lane Trailhead

Bid Alternate No. 1 was submitted in the amount of \$94,565.00. Bid Alternate 1 is recommended for inclusion of award at this time.

The award contract amount including Alternate Bid No. 1 is \$1,370,450.00.

A standard City agreement will be utilized for this project.

**BACKGROUND:**

On July 25, 2024, City Council adopted Resolution Number 2024-104, directing the preparation of plans and specifications for Project 2025-109, Central Village Street Improvements.

On March 13, 2025 City Council adopted Resolution 2025-39, approving plans and specifications and directing receipt of sealed bids for Project 2025-109, Central Village Street Improvements.

**BUDGET IMPACT:**

Project costs and funding included in the 2025 operating budget are summarized as follows:

Estimated Project Costs:	Estimated Costs	Awarded Costs
Construction Cost	\$1,723,800	\$1,275,885.00

Construction Contingency	182,880	182,880.00
Engineering, Contract	274,320	274,320.00
Admin, Inspection, Testing, Survey		
Bid Alternate No. 1	105,000	94,565.00
Total Estimated Cost	\$2,286,000	\$1,827,650.00

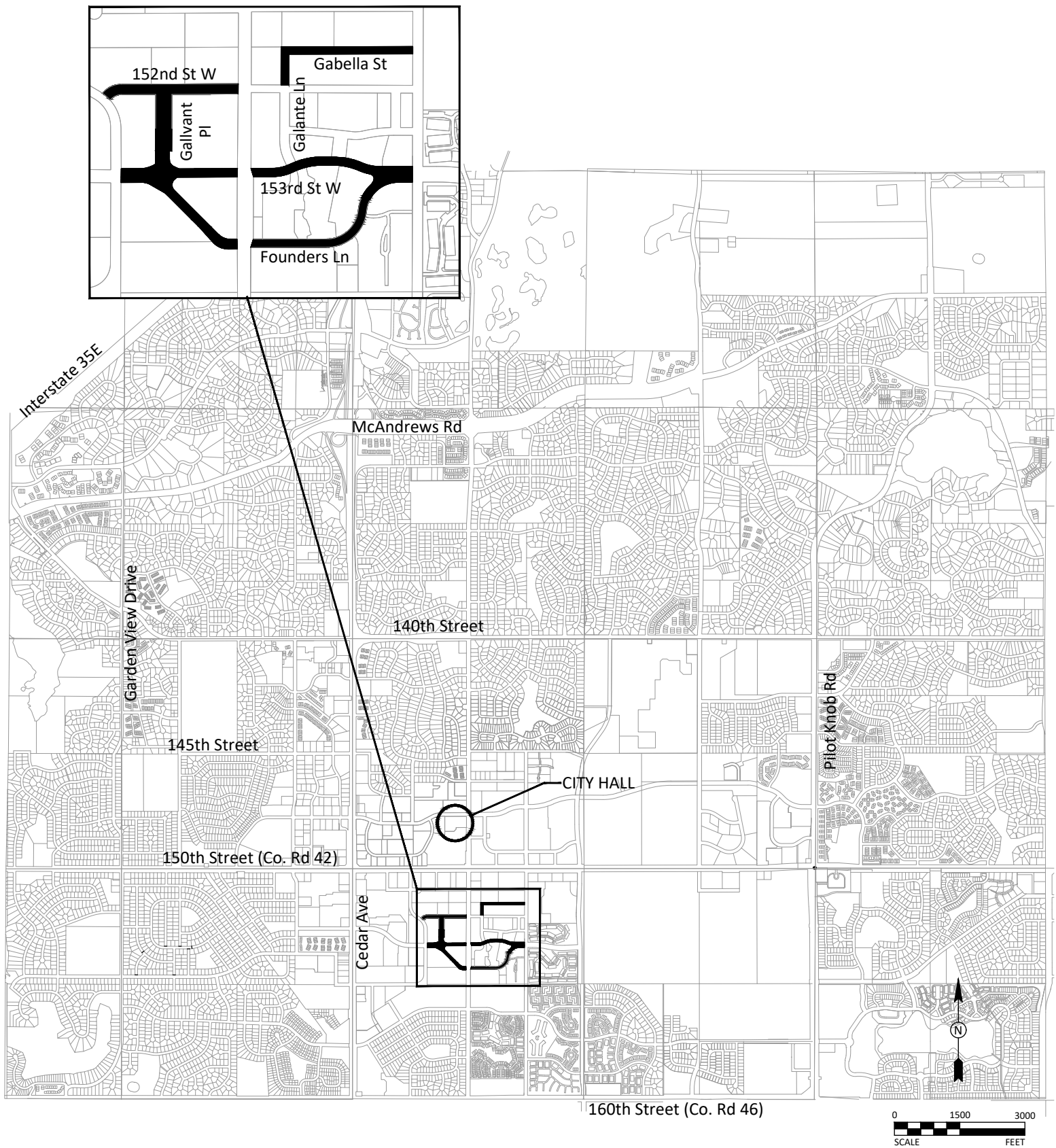
Estimated Project Funding		
Founders Trail Head (Private Installation)	\$105,000	\$105,000.00
MSA Construction	875,000	661,650.00
Storm Sewer Utility	46,000	46,000.00
Road Improvement Fund	1,135,000	890,000.00
Street Light	125,000	125,000.00
Total Estimated Funding	\$2,286,000	\$1,827,650.00

## **ATTACHMENTS:**

Map

Resolution

Bid / Quote Tabulation

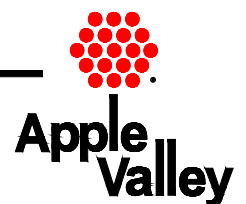


## CENTRAL VILLAGE STREET IMPROVEMENTS

2025-109

City of Apple Valley

Figure 1





CITY OF APPLE VALLEY  
RESOLUTION NO. 2025-

A RESOLUTION AWARDING AGREEMENT FOR PROJECT 2025-109  
CENTRAL VILLAGE STREET IMPROVEMENTS

WHEREAS, pursuant to an advertisement for bids for improvements identified as Project 2025-109, Central Village Street Improvements, bids were received, opened and tabulated according to law and the following bids were received complying with the advertisement: (Tabulation attached as Exhibit A), and;

WHEREAS, it appears Northwest Asphalt, Inc., is the lowest responsible bidder.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Apple Valley, Dakota County, Minnesota:

1. That the Mayor and City Clerk are hereby authorized and directed to enter into a contract with Northwest Asphalt, Inc., for its base bid, including alternate bid 1, in the amount of \$1,370,450.00, for the completion of Project 2025-109 according to the plans and specifications heretofore approved by the Council and on file in the office of the City Clerk.

2. The City Clerk is hereby authorized and directed to return to all bidders the deposits made with their bids, except that the deposits of the successful bidder and the next lowest bidder shall be retained until a contract has been signed.

ADOPTED this 8th day of May, 2025.

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Clint Hooppaw, Mayor

ATTEST:

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Christina M. Scipioni, City Clerk



Project Name: CENTRAL VILLAGE STREET IMPROVEMENTS

City Project No.: 2025-109

Bid Opening: Tuesday, April 15, 2025 11:00 a.m. CST

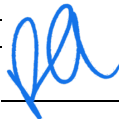
Electronic Bid- Quest CDN

I hereby certify that this is an exact reproduction of bids received.

Owner: City of Apple Valley

Brandon Anderson, P.E.

Registration No. 43332



				Engineer Estimate		Northwest		McNamara Contracting, Inc.		
Section										
Title	NO.	Item Description	Unit	Est Quantity	Unit Price	Total Price	Unit Price	Total Price	Unit Price	Total Price
Part 1 - CENTRAL VILLAGE IMPROVEMENTS										
	1	MOBILIZATION	LUMP SUM	1	\$81,000.00	\$81,000.00	\$56,379.72	\$56,379.72	\$30,000.00	\$30,000.00
	2	CLEARING	EACH	6	\$650.00	\$3,900.00	\$965.00	\$5,790.00	\$1,800.00	\$10,800.00
	3	GRUBBING	EACH	4	\$350.00	\$1,400.00	\$580.00	\$2,320.00	\$525.00	\$2,100.00
	4	REMOVE CONCRETE CURB AND GUTTER	LIN FT	2,580	\$10.00	\$25,800.00	\$11.76	\$30,340.80	\$20.00	\$51,600.00
	5	REMOVE BITUMINOUS PAVEMENT	SQ YD	5,050	\$9.00	\$45,450.00	\$6.38	\$32,219.00	\$7.00	\$35,350.00
	6	REMOVE CONCRETE WALK, DRIVEWAY, OR MEDIAN	SQ FT	11,430	\$3.50	\$40,005.00	\$1.75	\$20,002.50	\$3.00	\$34,290.00
	7	REMOVE CONCRETE VALLEY GUTTER	SQ FT	2,950	\$5.50	\$16,225.00	\$2.95	\$8,702.50	\$3.50	\$10,325.00
	8	REMOVE WATERMAIN	LIN FT	125	\$20.00	\$2,500.00	\$32.00	\$4,000.00	\$40.00	\$5,000.00
	9	REMOVE CHAIN LINK FENCE AND POSTS	LIN FT	400	\$25.00	\$10,000.00	\$12.30	\$4,920.00	\$15.00	\$6,000.00
	10	SALVAGE RETAINING WALL	SQ FT	1,300	\$15.00	\$19,500.00	\$17.00	\$22,100.00	\$14.25	\$18,525.00
	11	COMMON EXCAVATION (EV)	CU YD	240.00	\$35.00	\$8,400.00	\$38.60	\$9,264.00	\$45.00	\$10,800.00
	12	STREET SWEEPER (WITH PICKUP BROOM)	HOUR	53	\$200.00	\$10,600.00	\$190.00	\$10,070.00	\$200.00	\$10,600.00
	13	AGGREGATE BASE CLASS 5	TON	385	\$35.00	\$13,475.00	\$29.62	\$11,403.70	\$40.00	\$15,400.00
	14	MILL BITUMINOUS SURFACE (2.0")	SQ YD	20,310	\$3.00	\$60,930.00	\$1.40	\$28,434.00	\$1.90	\$38,589.00
	15	DOWEL BAR	EACH	724	\$15.00	\$10,860.00	\$13.12	\$9,498.88	\$12.00	\$8,688.00
	16	CONCRETE PAVEMENT 7.0"	SQ YD	770	\$140.00	\$107,800.00	\$124.80	\$96,096.00	\$88.00	\$67,760.00
	17	BITUMINOUS MATERIAL FOR TACK COAT	GAL	2,060	\$4.00	\$8,240.00	\$3.65	\$7,519.00	\$1.00	\$2,060.00
	18	[SPWEB340E]	TON	3,620	\$115.00	\$416,300.00	\$81.45	\$294,849.00	\$83.50	\$302,270.00
	19	INSTALL SALVAGED RETAINING WALL	SQ FT	720	\$55.00	\$39,600.00	\$28.20	\$20,304.00	\$33.50	\$24,120.00
	20	MODULAR BLOCK RETAINING WALL	SQ FT	40	\$100.00	\$4,000.00	\$44.80	\$1,792.00	\$50.00	\$2,000.00
	21	15" RC PIPE SEWER, CLASS 5, 0'-10' DEEP	LIN FT	35	\$80.00	\$2,800.00	\$92.36	\$3,232.60	\$160.00	\$5,600.00
	22	ADJUST GATE VALVE	EACH	5	\$400.00	\$2,000.00	\$495.00	\$2,475.00	\$625.00	\$3,125.00
	23	ADJUST GATE VALVE BOX SECTION	EACH	2	\$750.00	\$1,500.00	\$605.00	\$1,210.00	\$805.00	\$1,610.00
	24	CONNECT TO EXISTING WATERMAIN	EACH	2	\$2,000.00	\$4,000.00	\$1,200.00	\$2,400.00	\$2,475.00	\$4,950.00
	25	FURNISH AND INSTALL 6" GATE VALVE AND BOX	EACH	1	\$3,500.00	\$3,500.00	\$4,636.50	\$4,636.50	\$4,275.00	\$4,275.00
	26	6" WATERMAIN DUCTILE IRON CL 52, INCL V-BIO	LIN FT	15	\$90.00	\$1,350.00	\$128.00	\$1,920.00	\$375.00	\$5,625.00
	27	DUCTILE IRON FITTINGS	LB	70	\$17.00	\$1,190.00	\$27.25	\$1,907.50	\$30.00	\$2,100.00
	28	BARRIER	EACH	2	\$4,000.00	\$8,000.00	\$936.20	\$1,872.40	\$5,025.00	\$10,050.00
	29	CSTG, HDPE ADJ RINGS & I&I BARRIER OVER EXISTING	EACH	1	\$5,000.00	\$5,000.00	\$5,865.25	\$5,865.25	\$11,700.00	\$11,700.00
	30	CSTG, HDPE ADJ RINGS & I&I BARRIER OVER EXISTING	EACH	1	\$5,000.00	\$5,000.00	\$5,639.75	\$5,639.75	\$12,850.00	\$12,850.00
	31	& I&I BARRIER	EACH	26	\$750.00	\$19,500.00	\$906.50	\$23,569.00	\$600.00	\$15,600.00
	32	I&I BARRIER	EACH	6	\$1,500.00	\$9,000.00	\$1,254.25	\$7,525.50	\$1,550.00	\$9,300.00
	33	PATCH STRUCTURE DOGHOUSE	EACH	1	\$500.00	\$500.00	\$475.00	\$475.00	\$400.00	\$400.00
	34	RECONSTRUCT 4' DIA DRAINAGE STRUCTURE	LIN FT	3	\$850.00	\$2,550.00	\$558.32	\$1,674.96	\$1,825.00	\$5,475.00
	35	RECONSTRUCT 6' DIA DRAINAGE STRUCTURE	LIN FT	9	\$1,500.00	\$12,750.00	\$786.42	\$6,684.57	\$1,750.00	\$14,875.00
	36	5" CONCRETE WALK	SQ FT	4,860	\$12.00	\$58,320.00	\$8.62	\$41,893.20	\$8.50	\$41,310.00
	37	PATTERN)	SQ FT	2,700	\$28.00	\$75,600.00	\$15.21	\$41,067.00	\$14.00	\$37,800.00
	38	CONCRETE CURB AND GUTTER, B618	LIN FT	2,430	\$38.00	\$92,340.00	\$33.91	\$82,401.30	\$31.25	\$75,937.50
	39	CONCRETE CURB AND GUTTER, B612	LIN FT	80	\$37.00	\$2,960.00	\$30.40	\$2,432.00	\$27.00	\$2,160.00
	40	CONCRETE CURB AND GUTTER, D412	LIN FT	70	\$37.00	\$2,590.00	\$32.50	\$2,275.00	\$28.00	\$1,960.00
	41	7" CONCRETE VALLEY GUTTER	SQ YD	222	\$125.00	\$27,750.00	\$151.20	\$33,566.40	\$112.50	\$24,975.00
	42	CONCRETE DRIVEWAY PAVEMENT PER DETAIL STR-5	SQ FT	1,250	\$16.00	\$20,000.00	\$17.10	\$21,375.00	\$13.50	\$16,875.00
	43	CONCRETE APPROACH NOSE	SQ FT	110	\$18.00	\$1,980.00	\$23.48	\$2,582.80	\$14.00	\$1,540.00
	44	CONCRETE PEDESTRIAN CURB RAMP	SQ FT	2,800	\$19.00	\$53,200.00	\$15.50	\$43,400.00	\$16.50	\$46,200.00
	45	TRUNCATED DOME PANEL	SQ FT	260	\$65.00	\$16,900.00	\$78.00	\$20,280.00	\$55.00	\$14,300.00
	46	TEMPORARY CHAIN LINK FENCE	LIN FT	400	\$15.00	\$6,000.00	\$22.50	\$9,000.00	\$27.00	\$10,800.00
	47	7' HT. VINYL PRIVACY FENCE AND POSTS	LIN FT	400	\$175.00	\$70,000.00	\$98.60	\$39,440.00	\$220.00	\$88,000.00
	48	TRAFFIC CONTROL	LUMP SUM	1	\$45,000.00	\$45,000.00	\$22,650.00	\$22,650.00	\$16,000.00	\$16,000.00
	49	EROSION CONTROL SUPERVISOR	LUMP SUM	1	\$4,000.00	\$4,000.00	\$2,650.00	\$2,650.00	\$500.00	\$500.00
	50	STORM DRAIN INLET PROTECTION	EACH	50	\$250.00	\$12,500.00	\$185.00	\$9,250.00	\$175.00	\$8,750.00
	51	SANDY CLAY LOAM TOPSOIL BORROW (LV)	CU YD	314	\$55.00	\$17,270.00	\$68.00	\$21,352.00	\$50.00	\$15,700.00
	52	COMPOST GRADE 2 (LV)	CU YD	314	\$55.00	\$17,270.00	\$72.68	\$22,821.52	\$55.00	\$17,270.00
	53	FERTILIZER TYPE 3	LB	230	\$3.00	\$690.00	\$1.20	\$276.00	\$1.10	\$253.00
	54	SODDING TYPE LAWN	SQ YD	1,150	\$12.00	\$13,800.00	\$18.69	\$21,493.50	\$6.50	\$7,475.00
	55	SEEDING	ACRE	0	\$5,000.00	\$2,300.00	\$3,615.00	\$1,662.90	\$1,150.00	\$529.00
	56	HYDRAULIC MULCH MATRIX	LB	1,180	\$5.00	\$5,900.00	\$3.95	\$4,661.00	\$2.50	\$2,950.00
	57	SEED MIXTURE 25-131	LB	130	\$10.00	\$1,300.00	\$6.20	\$806.00	\$6.75	\$877.50
	58	WATER FOR TURF ESTABLISHMENT	MGAL	222	\$50.00	\$11,100.00	\$40.00	\$8,880.00	\$100.00	\$22,200.00
	59	LANDSCAPE ROCK (3" RIVER ROCK)	CU YD	65	\$200.00	\$13,000.00	\$48.65	\$3,162.25	\$175.00	\$11,375.00
	60	4" SOLID LINE PAINT (2 APPLICATIONS)	LIN FT	7,464	\$4.00	\$29,856.00	\$1.58	\$11,793.12	\$0.70	\$5,224.80
	61	4" DOUBLE SOLID LINE PAINT (2 APPLICATIONS)	LIN FT	900	\$2.00	\$1,800.00	\$3.15	\$2,835.00	\$1.40	\$1,260.00
	62	4" BROKEN LINE PAINT (2 APPLICATIONS)	LIN FT	300	\$1.50	\$450.00	\$1.58	\$474.00	\$0.70	\$210.00
	63	6" SOLID LINE PAINT (2 APPLICATIONS)	LIN FT	550	\$4.00	\$2,200.00	\$2.10	\$1,155.00	\$1.05	\$577.50
	64	6" BROKEN LINE PAINT (2 APPLICATIONS)	LIN FT	85	\$5.00	\$425.00	\$2.10	\$178.50	\$1.05	\$89.25
	65	12" SOLID LINE PAINT (2 APPLICATIONS)	LIN FT	45	\$8.00	\$360.00	\$18.90	\$850.50	\$5.80	\$261.00
	66	12" DOTTED LINE PAINT (2 APPLICATIONS)	LIN FT	55	\$10.00	\$550.00	\$18.90	\$1,039.50	\$5.80	\$319.00
	67	24" SOLID LINE PREFORM THERMO GROUND IN	LIN FT	220	\$35.00	\$7,700.00	\$22.05	\$4,851.00	\$30.50	\$6,710.00
	68	GROUND IN	SQ FT	517	\$30.00	\$15,510.00	\$25.72	\$13,297.24	\$30.00	\$15,510.00
	69	CROSSWALK PREFORM THERMOPLASTIC GROUND IN	SQ FT	2,323	\$23.00	\$53,429.00	\$14.18	\$32,940.14	\$15.25	\$35,425.75
Total Part 1 - CENTRAL VILLAGE IMPROVEMENTS					\$1,688,675.00		\$1,275,885.00		\$1,325,136.30	
Part 2- ALTERNATE BID NO. 1 (FOUNDERS LANE TRAILHEAD)										
	70	MOBILIZATION	LUMP SUM	1	\$5,000.00	\$5,000.00	\$4,800.00	\$4,800.00	\$4,000.00	\$4,000.00
	71	FURNISH AND INSTALL PERGOLA STRUCTURE 12' X 12'	EACH	1	\$35,000.00	\$35,000.00	\$9,850.00	\$9,850.00	\$42,500.00	\$42,500.00
	72	SITE GRADING AND SUBGRADE PREPARATION	LUMP SUM	1	\$7,500.00	\$7,500.00	\$17,265.70	\$17,265.70	\$7,800.00	\$7,800.00
	73	PERGOLA REINFORCED CONCRETE FOOTING	EACH	4	\$1,000.00	\$4,000.00	\$1,500.00	\$6,000.00	\$1,450.00	\$5,800.00
	74	5" CONCRETE WALK	SQ FT	365	\$8.00	\$2,920.00	\$9.05	\$3,303.25	\$9.60	\$3,504.00
	75	5" INTEGRAL COLOR CONCRETE WALK	SQ FT	425	\$15.00	\$6,375.00	\$16.50	\$7,012.50	\$13.75	\$5,843.75
	76	BENCH TYPE A	EACH	2	\$5,500.00	\$11,000.00	\$2,455.00	\$4,910.00	\$7,000.00	\$14,000.00
	77	BENCH TYPE B	EACH	1	\$7,000.00	\$7,000.00	\$2,165.00	\$2,165.00	\$7,300.00	\$7,300.00
	78	BICYCLE RACKS	EACH	2	\$600.00	\$1,200.00	\$1,200.00	\$2,400.00	\$450.00	\$900.00
	79	BICYCLE FIX-IT STATION	EACH	1	\$2,500.00	\$2,500.00	\$5,400.00	\$5,400.00	\$2,050.00	\$2,050.00
	80	LANDSCAPE EDGER	LIN FT	109	\$8.00	\$872.00	\$19.25	\$2,098.25	\$12.75	\$1,389.75
	81	DECIDUOUS TREE 3" CAL. B&B	EACH	5	\$850.00	\$4,250.00	\$836.00	\$4,180.00	\$1,100.00	\$5,500.00
	82	ORNAMENTAL TREE 6' HT B&B	EACH	1	\$700.00	\$700.00	\$985.00	\$985.00	\$1,175.00	\$1,175.00

83	DECIDUOUS SHRUB #2 CONTAINER	EACH	29	\$60.00	\$1,740.00	\$65.30	\$1,893.70	\$75.00	\$2,175.00
84	PERENNIAL #1 CONTAINER	EACH	136	\$20.00	\$2,720.00	\$42.10	\$5,725.60	\$31.50	\$4,284.00
85	SILT FENCE, MACHINE SLICED	LIN FT	235	\$5.00	\$1,175.00	\$3.00	\$705.00	\$4.75	\$1,116.25
86	TEMPORARY CONSTRUCTION ENTRANCE	CU YD	10	\$80.00	\$800.00	\$82.65	\$826.50	\$250.00	\$2,500.00
87	12" DEPTH PLANTING SOIL	CU YD	74	\$75.00	\$5,550.00	\$72.00	\$5,328.00	\$73.00	\$5,402.00
88	TURF ESTABLISHMENT	LUMP SUM	1	\$2,500.00	\$2,500.00	\$8,950.00	\$8,950.00	\$1,200.00	\$1,200.00
89	AGGREGATE BASE CLASS 5	TON	21	\$35.00	\$735.00	\$36.50	\$766.50	\$100.00	\$2,100.00
Total Part 2 - ALTERNATE BID NO. 1 (FOUNDERS LANE TRAILHEAD)				\$103,537.00		\$94,565.00		\$120,539.75	

TOTAL PART 1 - CENTRAL VILLAGE IMPROVEMENTS	\$1,688,675.00	\$1,275,885.00	\$1,325,136.30
TOTAL PART 2-ALTERNATE BID NO. 1 (FOUNDERS LANE	\$103,537.00	\$94,565.00	\$120,539.75
TOTAL BASE BID+ALTERNATE BID	\$1,792,212.00	\$1,370,450.00	\$1,445,676.05
Contractor		Northwest	McNamara Contracting, Inc.
Address		1451 Stagecoach Road	16700 Chippendale Ave
Address		Shakopee, MN 55379	Rosemount, MN 55068
Phone		952-445-1003	651-322-5500
Representative		Debra Hendrickson	Mike McNamara
Title		Vice President	President
Bid Bond		5.00%	5.00%



ITEM:  
COUNCIL MEETING DATE:  
SECTION:

4.N.  
May 8, 2025  
Consent Agenda

**Description:**

Approve Professional Services Agreement with Surprise Endurance, LLC, for Physical Fitness and Wellness Training

**Staff Contact:**

Greg Dahlstrom, Deputy Police Chief

**Department / Division:**

Police Department

**ACTION REQUESTED:**

Approve professional services agreement with Surprise Endurance, LLC, for physical fitness and wellness training and authorize Police Chief Francis to sign the agreement on behalf of the City.

**SUMMARY:**

In November of 2024, the Council approved a six-month pilot program with Surprise Fitness. The pilot was a success with officers participating in twice weekly group workouts. Officers have participated in over 40 workouts with average attendance between 10-16 department members. In addition, 14 officers are currently engaged in individual training plans to better their individual health. These metrics suggest this is the most successful wellness initiative in our department history.

This updated agreement has been reviewed and approved by the City Attorney's office with a cost of \$14,400 for 12 months of service.

**BACKGROUND:**

In 2022, our department began our peer support program launching our mental health and peer support. This program has become successful, and officers have been impacted by these services in a positive way.

Beyond mental health services, departments have learned that physical fitness is a large aspect of overall wellness. Taking care of an officer's mental and physical health has shown to have long lasting positive impacts that carry over to the job. Further, we know that wellness programs have a direct impact on recruitment, retention and a reduction in worker's compensation claims. Most importantly, it also signals the department's intent to provide career-long support for those who enter our ranks.

**BUDGET IMPACT:**

The 12-month program cost is \$14,400. The funding will be coded as follows:

2025 Peer Support Budget: \$7,000

Consultant Services: \$7,400

**ATTACHMENTS:**

Agreement

## AGREEMENT FOR FITNESS SERVICES

This Agreement for Fitness Services ("Agreement") is made and entered into as of \_\_\_\_\_, 2025, by and between the City of Apple Valley, a Minnesota municipal corporation (hereinafter referred to as "City"), and Surprise Endurance LLC L.L.C, a Minnesota limited liability company, (hereinafter referred to as "Company"). (City and Company are hereinafter referred to as the "Parties.")

**WHEREAS**, the City seeks to enhance the physical fitness and functional readiness of its law enforcement staff; and

**WHEREAS**, the Company specializes in developing individualized personal training plans and conducting team workouts tailored to meet the specific needs of law enforcement personnel.

**NOW, THEREFORE**, in consideration of the mutual covenants and agreements contained herein, the Parties agree as follows:

1. **SCOPE OF SERVICES.** The Company shall provide a fitness program for the City's police department.
2. **COMPENSATION.** Upon execution of this Agreement, the City agrees to pay to the Company a lump-sum payment of Fourteen Thousand Four Hundred and no/100 Dollars (\$14,400.00).
3. **DURATION.** This Agreement shall commence on \_\_\_\_\_, 2025, and shall continue for a period of six (12) months. This Agreement may be terminated by any Party at any time without penalty by giving notice of such termination to each of the other Parties. Any termination under this Section 3 shall become effective 90 days after delivery of such notice, or such later time (not to exceed the invoice term as may be agreed upon by both Parties. The City acknowledges and agrees that the City is not relieved of any payment obligations for cancellations unless the Parties otherwise agree in writing.
4. **GOVERNING LAW.** This Agreement shall be governed by and construed in accordance with the laws of the State of Minnesota.
5. **ENTIRE AGREEMENT.** This Agreement constitutes the entire understanding between the Parties and supersedes all prior discussions, agreements, or understandings of any kind.
6. **INDEMNIFICATION.** Notwithstanding, nothing contained in this Agreement shall be deemed a waiver of any tort limits under Minn. Stat. Chap. 466.

**IN WITNESS WHEREOF**, the Parties hereto have executed this Agreement as of the date first above written.

[Signature pages to follow.]



## AGREEMENT FOR FITNESS SERVICES

**(Signature page for City)**

City of Apple Valley, a Minnesota  
Municipal corporation

By: \_\_\_\_\_  
Nick Francis  
Its: Chief of Police

STATE OF MINNESOTA )  
 )ss.  
COUNTY OF DAKOTA )

The foregoing instrument was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_, 2025, by Nick Francis, the Chief of Police of the City of Apple Valley, a Minnesota municipal corporation on behalf of the municipal corporation.

Notary Public



## AGREEMENT FOR FITNESS SERVICES

**(Signature page for Company)**

Surprise Endurance LLC L.L.C.,  
a Minnesota limited liability company

By: \_\_\_\_\_  
Johnny A. Surprise  
Its: Chief Manager

STATE OF MINNESOTA )  
 )ss.  
COUNTY OF DAKOTA )

The foregoing instrument was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_, 2025, by Johnny A. Surprise, the Chief Manager of Surprise Endurance LLC L.L.C., a Minnesota limited liability company, on behalf of the limited liability company.

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Notary Public





ITEM:  
COUNCIL MEETING DATE:  
SECTION:

4.O.  
May 8, 2025  
Consent Agenda

**Description:**

Approve Agreement with Keys Well Drilling Company, for Project 2024-136, Well 16  
Recommissioning

**Staff Contact:**

Brian Skok, Public Works Superintendent - Utilities

**Department / Division:**

Utilities Division

**ACTION REQUESTED:**

Approve agreement with Keys Well Drilling Company, for Project 2024-136, Well 16  
Recommissioning, in the amount of \$125,286.00.

**SUMMARY:**

On April 18, 2025, quotations were received for Well 16 recommissioning Part A. This work includes supply and install of: a Well pump and motor, 147' of 10" column piping, new flow meter and a new aquifer level probe. A summary of the base bid results of the quotation process are provided below and the bid tabulation is also attached.

Company

Keys Well Drilling Company  
E.H. Renner & Sons, Inc.  
Bergerson-Caswell, Inc.  
Mark J. Traut Wells, Inc.

Quotation

\$125,286.00  
Did not submit  
Did not submit  
Did not submit

A standard City agreement will be utilized for this project.

**BACKGROUND:**

On March 28, 2024, the Council authorized Project 2024-136 recommissioning Well 16. Well 16 was taken out of service in 2012 as a precautionary measure due to a fuel spill at a private storage facility located approximately 1/2 mile to the east. A study was conducted in 2016 to determine if Well 16 had been affected. The City found that the spill did not affect Well 16 and that it could be used again. In 2020, the Department of Natural Resources (DNR) approved Apple Valley resuming use of Well 16. Keys Well Drilling Company is qualified to perform maintenance work on the wells.

**BUDGET IMPACT:**

Funding for recommissioning Well 16 is included in the 2025 Public Works Utilities Division Water Fund Operating Budget, \$331,000

Expenses

Part A

Mechanical (Part A)	\$125,286.00
Construction Contingency	5,000.00

Total Estimated Cost

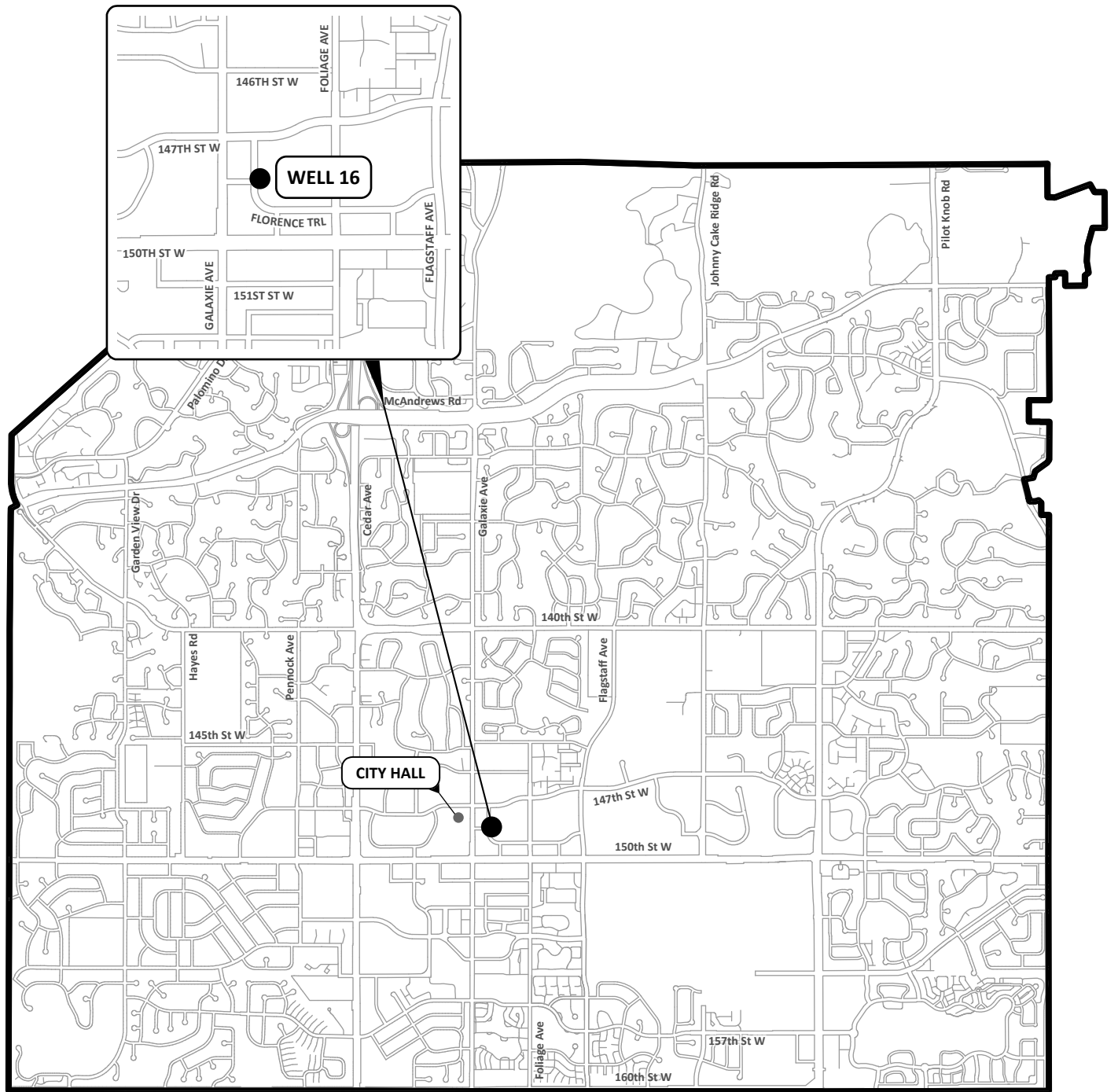
\$130,286.00

**ATTACHMENTS:**

Bid / Quote Tabulation  
Map

BID TABULATION  
PROJECT 2024-136  
Well 16 Recommissioning (Mechanical)

ITEM	Keys Well Drilling Company				
Well 16 Pump & Mechanical Rehabilitation	\$125,286.00	\$0.00	\$0.00	\$0.00	\$0.00
TOTAL BID	\$125,286.00	\$0.00	\$0.00	\$0.00	\$0.00



## 2024-136 WELL 16 RECOMMISSIONING

CITY OF APPLE VALLEY

FIGURE 1



ITEM:  
COUNCIL MEETING DATE:  
SECTION:

4.P.  
May 8, 2025  
Consent Agenda

<b>Description:</b> McDonalds at Orchard Place (15460 English Avenue)		
<b>Staff Contact:</b> Sydnee Stroeing, Associate Planner		<b>Department / Division:</b> Community Development Department
<b>Applicant:</b> McDonald's USA, LLC		<b>Project Number:</b>
<b>Applicant Date:</b>	<b>60 Days:</b>	<b>120 Days:</b>

**ACTION REQUESTED:**

1. Adopt resolution completing the vacation of easements on Outlot A, Orchard Place 4th Addition.
2. Adopt resolution approving the final plat and development agreement for McDonalds at Orchard Place.
3. Approve storm water maintenance agreement, on Lot 2, Block 1, McDonalds at Orchard Place, for a proposed McDonald's restaurant

**SUMMARY:**

McDonald's USA, LLC, requests approval of a vacation of drainage and utility easements, final plat, and development agreement for McDonalds at Orchard Place. The approval of the storm water maintenance agreement between AV-MCD 2025, LLC, (property owner) and the City is also included in this report as a separate action. The plat shows the subdivision of the 2.52-acre Outlot A, Orchard Place 4th Addition parcel generally located at the northwest corner of Pilot Knob Road and 155th Street West. The plat establishes two lots -- a 1.01-acre lot to the north and a 1.51-acre lot to the south.

**Vacation:** The vacation is requested to vacate all drainage and utility easements over Outlot A, Orchard Place 4th Addition. The public hearing for the vacation was held on April 24, 2025. There were no public comments during the public hearing.

**Final Plat:** The final plat shows a total of two lots being created. Lot 2 will be the site of the recently approved McDonald's restaurant. There is no proposed use for Lot 1 at this time. The final plat is consistent with the preliminary plat approved on February 27, 2025. New easements are dedicated with the approval of the final plat.

**Development Agreement:** The terms of the development agreement have been approved by all parties. Park dedication will be satisfied with a cash-in-lieu of land dedication.

**Storm Water Maintenance Agreement:** The new Storm Water Maintenance Agreement is

between the owners of Lot 2, Block 1, McDonalds at Orchard Place, AV-MCD 2025, LLC, and the City of Apple Valley. This agreement provides for conditions and standards related to on-site storm water improvements and devices and addresses continued management and responsibilities of such devices or measures.

**BACKGROUND:**

At the February 27, 2025, City Council meeting, the following approvals regarding the development were approved:

1. Rezone - an ordinance rezoning Outlot A, Orchard Place 4th Addition from "SG" (Sand and Gravel) to "RB" (Retail Business).
2. Subdivision by Preliminary Plat - a resolution approving the subdivision of Outlot A, Orchard Place 4th Addition into two lots by McDonalds at Orchard Place.
3. CUP and variance - a resolution approving a conditional use permit for a Class-II restaurant with drive-through and an 800 ft.-variance to reduce the required separation distance for Class-II restaurants from a residential use on Lot 2, Block 1, McDonalds at Orchard Place.
4. Site Plan/Building Permit Authorization - a resolution approving a site plan/building permit authorization for a 3,859 sq. ft. McDonald's restaurant on Lot 2, Block 1, McDonalds at Orchard Place.

**BUDGET IMPACT:**

N/A

**ATTACHMENTS:**

Resolution  
Resolution  
Agreement  
Agreement



CITY OF APPLE VALLEY  
RESOLUTION NO. 2025 - \_\_\_\_

A RESOLUTION VACATING PUBLIC GROUNDS

WHEREAS, pursuant to the requirements of Minnesota Statutes Chapter 412.851, the City Council of Apple Valley held a public hearing on April 24<sup>th</sup>, 2025, with respect to the vacation of certain public grounds described in the attached Notice of Completion of Public Grounds, and

WHEREAS, it appears it will be in the best interest of the City of Apple Valley and the public to vacate said grounds as such grounds are no longer needed to serve a public purpose.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Apple Valley, Dakota County, Minnesota, that:

1. The vacation of the public grounds described in the Notice of Completion of Vacation of Public Grounds, attached, is hereby approved.
2. The City Clerk shall present said Notice of Completion of Vacation of Public Grounds to the County Auditor and County Surveyor and then file a copy with the County Recorder pursuant to law.

ADOPTED this \_\_\_\_ day of \_\_\_\_\_, 2025.

\_\_\_\_\_  
Clint Hooppaw, Mayor

ATTEST:

\_\_\_\_\_  
Christina M. Scipioni, City Clerk

NOTICE OF COMPLETION

OF VACATION OF PUBLIC GROUNDS IN THE  
CITY OF APPLE VALLEY, DAKOTA COUNTY, MINNESOTA

TO WHOM IT MAY CONCERN:

NOTICE IS HEREBY GIVEN, that pursuant to the resolution of the City Council on \_\_\_\_\_, 2025, the City Council of the City of Apple Valley, Dakota County, Minnesota, passed a resolution vacating the following described public grounds in Apple Valley, to-wit:

ATTACHED HERETO AS EXHIBIT A

Notice is further given that the vacation proceedings were completed by the City Council on the \_\_\_\_ day of \_\_\_\_\_, 2025.

A copy of the Resolution of Vacation of Public Grounds is attached hereto as Exhibit A and incorporated herein.

IN WITNESS WHEREOF, I have set my hand this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, as Clerk of the City of Apple Valley, Dakota County, Minnesota.

(SEAL)

\_\_\_\_\_  
Christina M. Scipioni, City Clerk

STATE OF MINNESOTA                    )  
  ) ss.  
  )

On this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, before me a notary public within and for Dakota County, Minnesota, personally appeared Christina M. Scipioni, City Clerk of the City of Apple Valley, Dakota County, Minnesota, known to be the person described in and who executed the foregoing instrument and acknowledged that she executed the same as her free act and deed with the authorization and under the direction of the City Council of the City of Apple Valley, Dakota County, Minnesota.

\_\_\_\_\_  
Notary Public

This document drafted by:  
Christina M. Scipioni, City Clerk  
City of Apple Valley

7100 West 147th Street  
Apple Valley, Minnesota 55124

EXHIBIT A  
DESCRIPTION OF EASEMENTS TO BE VACATED

**Existing Parcel Legal Description:**

Outlot A, Orchard Place 4th Addition, according to the recorded plat thereof, Dakota County, Minnesota.

**Description of 10' and 15' Easement to be Vacated:**

That part of Outlot A, Orchard Place 4th Addition, according to the recorded plat thereof, Dakota County, Minnesota, being further described as follows:

The entirety of the 10-foot-wide Drainage and Utility Easement along the east line of Outlot A and the entirety of the 10-foot-wide and 15-foot-wide Drainage and Utility Easement along the south line of Outlot A, Orchard Place 4th Addition, Dakota County, Minnesota.

Said easement contains 7,030 square feet, more or less.

**Description of 15'x65.06' Easement to be Vacated:**

That part of Outlot A, Orchard Place 4th Addition, according to the recorded plat thereof, Dakota County, Minnesota, being further described as follows:

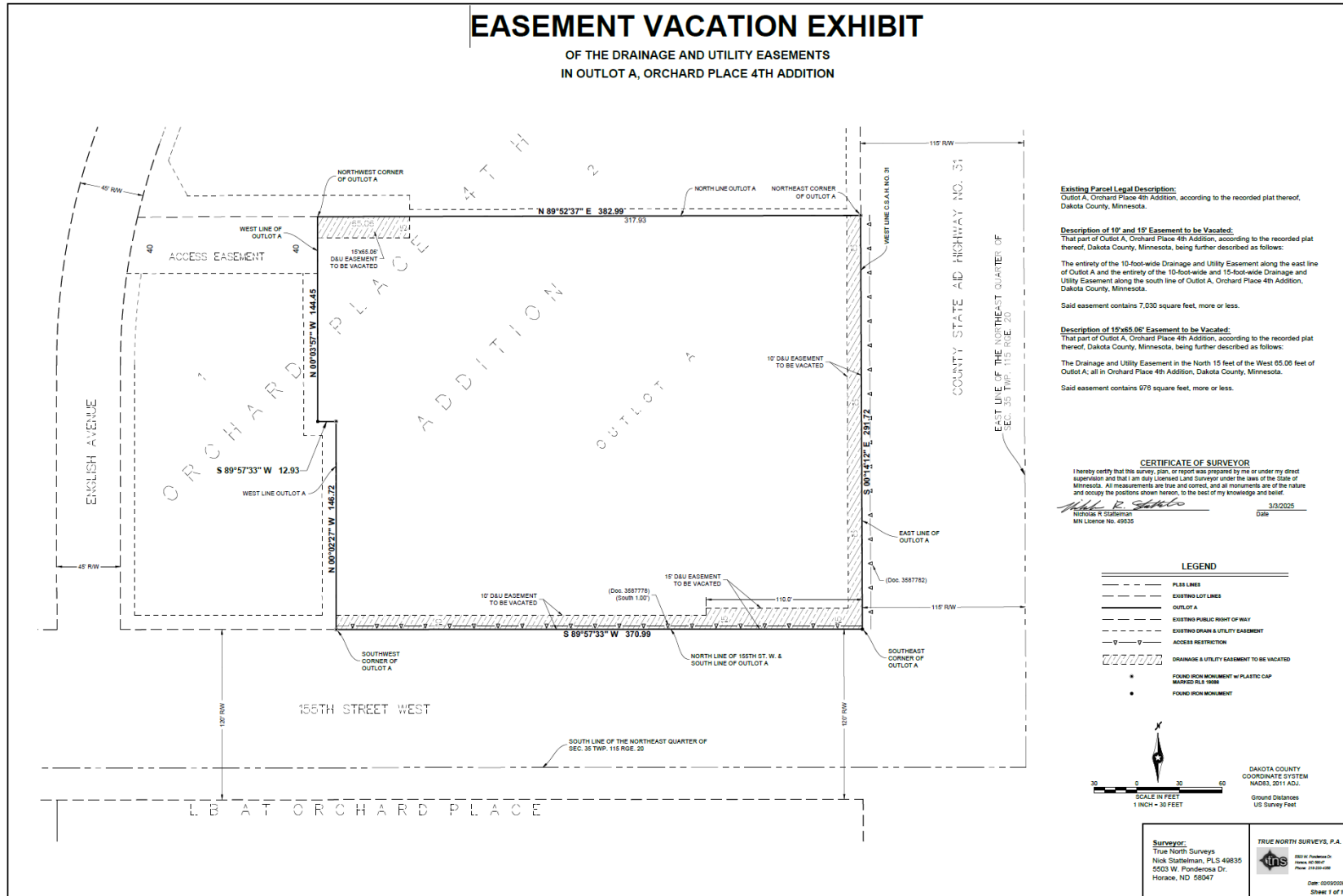
The Drainage and Utility Easement in the North 15 feet of the West 65.06 feet of Outlot A; all in Orchard Place 4th Addition, Dakota County, Minnesota.

Said easement contains 976 square feet, more or less.

# EXHIBIT A.1 EASEMENTS TO BE VACATED

## EASEMENT VACATION EXHIBIT

OF THE DRAINAGE AND UTILITY EASEMENTS  
IN OUTLOT A, ORCHARD PLACE 4TH ADDITION



CITY OF APPLE VALLEY  
RESOLUTION NO. 2025 - \_\_\_\_

APPROVAL OF FINAL PLAT AND DEVELOPMENT AGREEMENT  
MCDONALDS AT ORCHARD PLACE

WHEREAS, pursuant to Minnesota Statutes 462.358, the City of Apple Valley adopted, as Chapter 153 of the City Code, regulations to control the subdivision of land within its borders; and

WHEREAS, pursuant to Chapter 153 of the City Code, the City Planning Commission held a public hearing on an application from McDonalds USA, LLC (the “Applicant”) for the subdivision of land by plat on January 15, 2025; and

WHEREAS, the City Planning Commission found the preliminary plat to be in conformance with the standards of Chapter 153 of the City Code and recommended its approval on January 15, 2025, subject to conditions, which was subsequently approved by the City Council on February 27, 2025; and

WHEREAS, pursuant to Chapter 153 of the City Code, a subdivision agreement between the Applicant and the City detailing the installation of the required improvements in the subdivision and the method of payment was prepared.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Apple Valley, Dakota County, Minnesota, that the development agreement and final plat of McDonalds at Orchard Place is hereby approved and that the Mayor and City Clerk are authorized to sign the same, to wit:

MCDONALDS AT ORCHARD PLACE

BE IT FURTHER RESOLVED, that the plat shall be filed with the Dakota County Recorder within sixty (60) days of the release from the City Offices and that failure to record within the time frame shall render the approval null and void.

ADOPTED this 8th day of May, 2025.

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Clint Hooppaw, Mayor

ATTEST:

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Christina M. Scipioni, City Clerk

## CERTIFICATE

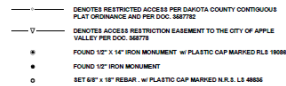
As Apple Valley City Clerk, I hereby certify that the foregoing is a true and correct copy of a resolution adopted by the City Council and the final plat described therein is hereby released for recording with the Dakota County Recorder this \_\_\_\_ day of \_\_\_\_\_, 2025.

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Christina M. Scipioni, City Clerk

## MCDONALDS AT ORCHARD PLACE

Date: 04/18/2025





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**DEVELOPMENT AGREEMENT**

**Between**

**AV-MCD 2025, LLC**

**And**

**McDONALD'S USA, LLC**

**And**

**CITY OF APPLE VALLEY, MN**

**for**

**McDONALDS AT ORCHARD PLACE**

**on**

**LOTS 1 AND 2, BLOCK 1, McDONALDS AT ORCHARD PLACE**

**DAKOTA COUNTY, MINNESOTA**

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## A G R E E M E N T

WHEREAS, the City of Apple Valley, Dakota County, Minnesota, ("City"), has been requested by McDonald's USA, LLC, an Delaware limited liability company ("Developer") and AV-MCD 2025, LLC, a Minnesota limited liability company ("Owner") (City, Developer and Owner are collectively referred to as the "Parties") to approve a two-lot subdivision for Lot 1, Block 1, McDonald's at Orchard Place, Dakota County, Minnesota ("Lot 1") and Lot 2, Block 1, McDonald's at Orchard Place, Dakota County, Minnesota (collectively the "Property"), as shown on **Exhibit "A"** attached hereto and incorporated herein; and

WHEREAS, Developer will lease Lot 2 from the Owner and Developer intends to develop Lot 2 into a new 13,859 sq. ft. McDonald's restaurant (the "Development") as depicted on the site and civil plans attached hereto and incorporated herein; and

NOW, THEREFORE, in consideration of the mutual agreements of the Parties, it is hereby agreed by and between the Parties as follows:

1. Subject to the terms and conditions of this Development Agreement ("Agreement"), City hereby approves the issuance of a building permit and any related permits for the Development.
2. The Property is governed by the terms and conditions of City's Zoning Ordinances (the "Ordinance"). Any use of the Property shall be in accordance with the provisions of the Ordinance.
3. Developer shall comply with the conditions of Building Permit Authorization set forth in City of Apple Valley Resolution No. 2025-34, a copy of which is attached hereto as **Exhibit "B"** and incorporated herein.

Developer Improvements

4. Subject to the provisions hereunder, Developer shall, in a manner acceptable to the City Engineer, install the utility improvements and grade the Property and install improvements within the Property, in accordance with and under the following conditions:

A. To complete all improvements in conformance with the plans and specifications submitted by Developer and approved by City, including but not limited to the following plans prepared by Kimley Horn, dated March 11, 2025 (the "Plans"), and any subsequent revisions as required by the City Engineer:

C3.0 SITE PLAN

C4.3 SWPPP

C5.0 GRADING PLAN

C6.0 UTILITY PLAN

C6.1 -C6.2 UTILITY DETAILS

C7.0- C7.3 CONSTRUCTION DETAILS

C8.0 SIGNING AND STIRPING PLAN

L1.0-L2.0 LANDSCAPING PLAN AND DETAILS

B. To construct sidewalk(s) and driveways with concrete or bituminous material in accordance with City construction standards.

C. To seal or cause to be sealed any wells that may exist on the Property in accordance with State, County, and local laws.

D. To install a protective box and cover over each sewer cleanout and water shutoff, to City specifications.

E. To install all lot monuments for the Development upon or before April, 20, 2026.

F. To install and maintain all materials (trees, shrubs, and sod) identified in the City approved landscape plan for Lot 2.

G. Developer agrees to comply with all requirements of the Natural Resources management regulations as set forth in Chapter 152 of the Apple Valley City Code prior to, during and after the development of the Property. Developer further agrees to submit to City for its approval a Natural Resources Management Plan prior to any construction or land-disturbing activity in connection with the development of the Property. Developer shall implement and comply with all terms and conditions of the approved Plan prior to and during any construction or land-disturbing activity, including, but not limited to, maintaining the performance security required in Chapter 152 of the Apple Valley City Code.

H. To install each item noted in this Section 4 at the Developer's sole cost and expense, in accordance with all plans reviewed and approved by City.

I. To attend a preconstruction meeting with representatives of City and to require the attendance of all contractors and subcontractors, prior to commencement of construction.

J. Developer will not bury any pipe, install bituminous surface, nor pour concrete pursuant to implementing the Plans, without the specific approval of the City Inspector, prior to the work being performed.

K. All "on-site" inspections by City will be done at the sole cost and expense of Developer, by persons supplied by City.

L. Developer shall repair all damage to City streets, curbs, gutters, utilities, and other municipal improvements caused by or resulting from the development of the Property, at the Developer's sole cost and expense.

M. Prior to issuance of Certificate of Occupancy for the Development, Developer shall provide the City Engineer as-built plans that demonstrate that all constructed

sanitary, water, and storm water conveyance structures and management facilities sub-surface infiltration practice) conform to design and/or construction plans, as approved by City. As-built volumes (for detention and retention) shall be provided for the subsurface infiltration practice. Developer shall submit to the City Engineer certification that the storm water management facilities have been installed in accord with the approved plans and specifications. This certification shall be provided by a Professional Engineer licensed in the State of Minnesota.

N. To pay City's reasonable costs related to this Agreement, including but not limited to administration, engineering, legal fees, inspection, and enforcement. City shall submit invoices to Developer, or its successors or assigns with detailed descriptions of the services rendered by City in accordance with this Agreement. Developer shall deposit the sum of Ten Thousand and 00/100 Dollars (\$10,000.00) with City toward payment of such costs. If the City's reasonable costs exceed the deposit, Developer, or its successors or assigns shall reimburse City within thirty (30) days of billing. Should the actual costs be less than the amount of the deposit, upon completion of the improvements described in this Section 4 and receipt of written notice from the Developer requesting return of the remaining funds, the amount remaining on deposit shall be returned to Developer.

O. Other than in the case of an emergency, if Developer causes any material violation of the terms of this Agreement to occur, City shall give written notice to Developer with a copy to the Owner of such violation and Developer shall have 20 business days, or a different period of not less than 20 business days if the violation cannot be cured within 20 business days, as may be set forth in the notice, to cure such violation. Failure of Developer to complete such cure shall allow the City to stop and enjoin all construction on the Property until authorization to

proceed is given by the City. The Developer shall hold the City harmless from any damages, causes of action, or claims related to the construction being stopped by the City.

5. The Building Permit for the Development shall not be released by the City until Developer has deposited with City cash or one or more letters of credit in the total amount of **One Hundred Ninety-Eight Thousand and One Hundred Twenty-five and no/ Dollars (\$198,125.00)** (the "Financial Security") securing the full performance of this Agreement. The bank or financial institution issuing a Financial Security is subject to the reasonable approval of the City Attorney. The form of the Financial Security shall be either a cash deposit or a letter of credit issued to City as the beneficiary. Developer shall be required to maintain the Financial Security with City, until it is released as provided for in this Agreement. The amount of the Financial Security was calculated as follows:

#### **DEVELOPER IMPROVEMENTS**

<b><u>Item</u></b>	<b><u>Amount</u></b>
<b>Lot 2, Block 1, McDonald's at Orchard Place:</b>	
Privately Installed Public Infrastructure Improvements (Approx 100 feet of 8" watermain @\$80/LF) (Approx 100 feet of 8" sanitary sewer @\$80/LF) (Approx 100 feet of 18" storm sewer@\$80/LF) (Misc Manholes, Gate Valves, Fittings @ \$16,000).....	\$40,000
Private Infrastructure Improvements (street and utility removals/repairs, sidewalk/trail repairs).....	\$50,000
Landscape (2.5% of Means Building Value of \$2,500,000).....	\$62,500
Subdivision Monuments.....	\$2,500
Asbuilding and Record Plans.....	\$3,500
<b>Subtotal Public and Private Improvements .....</b>	<b>\$158,500</b>
<b>Subtotal Security (125%) of Estimated Public and Private Improvements.....</b>	<b>\$198,125</b>
<b>Total Financial Guaranty.....</b>	<b>\$198,125</b>

This breakdown is for historical reference only. It is not a restriction on the use of the Financial Security.

(i) **Financial Security under Default.** In the event of a default by Developer which is not cured within twenty business (20) days after written notice from City or within a different period as may be set forth in City's notice, City may draw down the Financial Security to pay for all reasonable costs and expenses incurred by City to enforce this Agreement including the costs incurred by City in connection with the collection of the Financial Security. City's cost may include any remediation or completion of Developer's obligations under this Agreement. City may draw on the Financial Security, without further notice, after a default has occurred under this Agreement, which has not been cured within any applicable cure period.

(ii) **Claims to Financial Security.** If City receives claims from subcontractors or materialmen for work performed in or intended for easements dedicated to the public as required by this Agreement and money due has not been paid, City shall give notice to Developer and to the Owner of such claim and Developer or Owner shall have 90 days to make payment or provide City with documentation showing such claim to be unwarranted and its intent to take legal action to remove such claim. If Developer or Owner fails to provide such written notice to City, Developer hereby authorizes City, at City's discretion, to commence an Interpleader action pursuant to Rule 22 of the Minnesota Rules of Civil Procedure for the District Courts at the expense of Developer, to include court costs and reasonable attorney fees. Developer further authorizes City to draw upon the Financial Security in the amount of one hundred twenty-five percent (125%) of the claim together with attorneys' fees and court costs, and to deposit the funds in compliance with the Rule.

(iii) **Reduction of Financial Security.** So long as Developer is not in default of the terms and conditions of this Agreement, upon a written request by Developer and City's verification of satisfactory compliance at the time of inspection or acceptance by the City of any installed Developer Improvements, a like percentage of that portion of the Financial Security covering those specific completed Developer Improvements (Section 4) shall be released to Developer; except however the final twenty percent (20%) of the Financial Security shall be held by City until a final acceptance by City of all Developer Improvements and the receipt by City of all as-builts required under this Agreement. At the time of final inspection of all Developer Improvements, if it is determined by City that the plans and specifications for the Developer Improvements were not strictly adhered to or that work was done without City inspection, City may require that Developer post a cash escrow equal to one hundred twenty-five percent (125%) of the estimated amount necessary to correct the deficiency or to protect against deficiencies arising therefrom. Such additional cash escrow shall remain in force until the corrective work is completed and accepted by the City which shall not exceed three (3) years.

6. No occupancy of any building located upon Lot 2 shall occur until water, sanitary sewer, and a paved driving surface are available for use to the new building.

7. Prior to the release of the building permit for the Development, the Developer shall:

- A. Deliver to City the Financial Security (Section 4 – noted above and herein).
- B. Deposit the funds to the City (Section 4 - noted above and herein).
- C. Pay the following trunk charges for **Lot 2** outlined in (i), (ii) and (iii) in the

total amount of **\$27,088.62**:

<u>Item</u>	<u>Calculation</u>	<u>Amount Due</u>
(i) Sanitary Sewer Connection Fees (Trunk Charge):	\$395.00/SAC Unit x 11 SAC =	<b>\$4,345.00</b>



(ii) Water Utility Connection Fees (Trunk Charge):	\$3,455.00/acre x 1.51 acres =	<b>\$5,217.05</b>
(iii) Storm Sewer Connection Fees (Trunk Charge):	\$11,607.00/acre x 1.15 acres =	<b>\$17,526.57</b>
<b>TOTAL</b>		<b>\$27,088.62</b>

The trunk charges for the proposed **Lot 1** of the Final Plat consisting of **1.01** acres are to be deferred until **Lot 1** develops and are not the responsibility of Developer but shall be the responsibility of Owner or third party identified as the “developer” for Lot 1 in a future development agreement specific to Lot 1. The **estimated fees** are:

<u>Item</u>	<u>Calculation</u>	<u>Amount Due</u>
(i) Sanitary Sewer Connection Fees (Trunk Charge):	\$395.00/SAC Unit x SAC =	<b>Cost to be calculated after SAC determination</b>
(ii) Water Utility Connection Fees (Trunk Charge):	\$3,455.00/acre x 1.01 acres =	<b>\$3,489.55</b>
(iii) Storm Sewer Connection Fees (Trunk Charge):	\$11,607.00/acre x 1.01 acres =	<b>\$11,723.07</b>
<b>TOTAL</b>		<b>\$TBD</b>

8. In addition to the trunk charges noted herein, upon submission of a building permit application, Developer agrees to pay City for the public services furnished to the Development, in an amount as determined below upon the basis of units (per building) as determined by the City Engineer, which amount shall be paid in the following manner:

A. Sewer Availability Charge - The rate per unit is based on the year in which the building permit is issued per SAC unit in an amount due and owing to the Metro Waste Control as determined by it, together with \$446.00 due and owing to the City per SAC unit. The person who applies for a building permit shall pay, at the time of the issuance of the permit, an amount

equal to the rates times the number of units. This fee is subject to change if the obligation of City to the Metropolitan Waste Control Commission changes.

B. Water System, Supply and Storage Charge - The rate per unit is based on the year in which the building permit is issued (presently \$1,209.00 per SAC unit). The person who applies for a building permit shall pay, at the time of the issuance of the permit, an amount equal to the rate times the number of units.

9. The Developer shall pay a cash contribution for Lot 2 of Four Thousand Eight Hundred and Eighty-three and no/100 Dollars (\$4,883.00) in satisfaction of the City's park dedication requirements as provided for by the City Code. The charge is calculated as follows:

Commercial Sq. ft. =	3859 ÷ 1,000 = 3.8590
Multiply by 2 per 1,000 sq. ft.	7.7180
Multiply by person equivalent: .1	1.9295

Multiply by acres to be dedicated: .00955		0.01842673	Acres to be dedicated
<b>Cash in Lieu of Land</b>			
Multiply by Land Value	Industrial	\$265,000	\$4,883.08
Rounded to nearest dollar			\$4,883.00

This contribution shall be paid to the City before the City releases the final plat for recording. The park dedication fee for Lot 1 shall be payable at the time the building permit is issued. For the avoidance of doubt, in no event shall Developer be responsible for connection fees associated with public services to be provided to Lot 1 of the Property.

10. The Parties mutually recognize and agree that storm water pond dedication requirements, as provided in Chapter 153 of the City Code, shall be satisfied by dedication of drainage and utility easements on the Plat.

11. Developer agrees to install all utilities underground in the Development, specifically including electrical, communications and gas services. Developer shall extend sanitary, storm sewer and water main connections to the Property with stub-outs for future service

connection to Lot 1. Developer hereby represents that all utility services will be available for a building prior to occupancy of any dwelling in that respective building.

12. Developer agrees to install and pay for a public (or private) street lighting system for the Development, in accordance with City and Dakota Electric Company standards.

13. Developer agrees to provide City with as-built surveys for any building constructed within the Development on the Property, prior to the issuance of the Certificate of Occupancy for that building.

14. Developer and/or Owner shall deliver to City copies of the recorded documents to evidence that Developer has complied with its recording obligations under this Agreement.

15. Developer and Owner hereby specifically release the members of the City Council from any personal liability in connection with handling funds pursuant to the terms of this Agreement, and further agrees to indemnify and hold the members of the City Council harmless from any claim, of any and every nature whatsoever, because of this Agreement, the Plat, and the development of the Property.

The Parties mutually recognize and agree that all terms and conditions of this Agreement shall run with the Property and shall be binding upon the respective heirs, administrators, successors and assigns of Developer and Owner.

16. Notices. All notices required or desired to be given under this Agreement shall be in writing and may be delivered by deposit in the United States mail, postage prepaid, as certified mail, return receipt requested, or sent by overnight courier, and addressed as follows:

If to City:	City of Apple Valley
	Attn: Brandon S. Anderson, City Engineer
	7100 147 <sup>th</sup> Street West
	Apple Valley, MN 55124

With a copy to: Dougherty, Molenda, Solfest, Hills & Bauer P.A.  
Attn: Robert B. Bauer, City Attorney  
14985 Glazier Avenue, Suite 525  
Apple Valley, MN 55124

If to Owner: AV-MCD 2025, LLC  
Attn: Jeff Carriveau, Manager  
2655 Cheshire Lane North  
Plymouth, MN 55447-4906

With a Copy to: Gerstein-Timm, PLLC  
Attn: Beth G. Timm, Esq.  
1000 Prairie Center Drive, Suite 210  
Eden Prairie, MN 55344

If to Developer: McDonalds USA, LLC  
Attn: US Legal Department, LC 022-0734  
110 North Carpenter Street  
Chicago, IL 60607

Any notice delivered by overnight courier or delivered by United States certified mail shall be deemed given as of the time it is deposited with the overnight carrier or United States mail. The addresses to which notices are to be delivered may be changed by giving notice of such change in accordance with this notice provision.

IN WITNESS WHEREOF, the Parties have hereunto set their hands.

[Signature Pages Follow]

**DEVELOPMENT AGREEMENT**

**McDonalds at Orchard Place**

[Signature Page of Owner]

**OWNER:**

**AV-MCD 2025, LLC,  
a Minnesota limited liability company**

By: \_\_\_\_\_



Jeffrey J. Carriveau  
Its: Manager

STATE OF MINNESOTA    )  
  ) ss.  
COUNTY OF HENNEPIN)

This instrument was acknowledged before me this 29<sup>th</sup> day of April, 2025, by Jeffrey J. Carriveau, the Manager of AV-MCD 2025, LLC, a Minnesota limited liability company, on behalf of the limited liability company.



  
\_\_\_\_\_  
Notary Public

**DEVELOPMENT AGREEMENT**

**McDonalds at Orchard Place**

[Signature Page of Developer]

**McDonalds USA, LLC, a Delaware limited liability company**

By: Brian T. Sheedy  
Brian T. Sheedy  
Its: Senior Counsel

STATE OF Illinois )  
COUNTY OF Cook ) ss.

This instrument was acknowledged before me this 29th day of April, 2025, by Brian T. Sheedy, the Senior Counsel of McDonalds USA, LLC, a Delaware limited liability company, on behalf of the limited liability company.



Lauren Tracy Reuss  
Notary Public



**DEVELOPMENT AGREEMENT**

**McDonalds at Orchard Place**

[Signature Page of City]

**City of Apple Valley,  
a Minnesota municipal corporation**

\_\_\_\_\_  
By: Clint Hooppaw  
Its: Mayor

\_\_\_\_\_  
By: Christina M. Scipioni  
Its: City Clerk

STATE OF MINNESOTA    )  
                                      ) ss.  
COUNTY OF DAKOTA    )

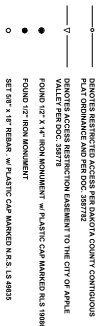
On this \_\_\_\_\_ day of \_\_\_\_\_, 2025, before me a Notary Public within and for said County, personally appeared Clint Hooppaw and Christina M. Scipioni, who being each by me duly sworn, each did say that they are respectively the Mayor and Clerk of the City of Apple Valley, the municipality named in the foregoing instrument, and that the seal affixed on behalf of said municipality by authority of its City Council, and said Mayor and Clerk acknowledged said instrument to be the free act and deed of said municipality.

\_\_\_\_\_  
Notary Public

This instrument was drafted by:

Dougherty, Molenda, Solfest, Hills & Bauer P.A.  
14985 Glazier Avenue, Suite 525  
Apple Valley, Minnesota 55124  
(952) 432-3136  
RBB: 42297

# MCDONALDS AT ORCHARD PLACE



Sheet 1 of 1

## EXHIBIT "B"

### CITY OF APPLE VALLEY RESOLUTION NO. 2025-34

#### A RESOLUTION AUTHORIZING ISSUANCE OF A BUILDING PERMIT FOR MCDONALDS USA, LLC AND ATTACHING CONDITIONS THERETO

WHEREAS, pursuant to Minnesota Statutes 462.357 the City of Apple Valley has adopted, as Title XV of the City Code of Ordinances, zoning regulations to control land uses throughout the City; and

WHEREAS, said regulations provide that issuance of a building permit for commercial, industrial, institutional and multiple residential uses require the specific review and approval of development plans by the Apple Valley Planning Commission and City Council; and

WHEREAS, approval of a building permit authorization of proposed 3,859 square foot McDonalds Class-II Restaurant has been requested by McDonalds USA, LLC, applicant and Rockport, LLC, property owner, on property legally described as Outlot A, Orchard Place 4th Addition, and to be platted as Lot 2, Block 1, McDonalds at Orchard Place, Dakota County, Minnesota; and

WHEREAS, the Apple Valley Planning Commission reviewed the development plans and recommended approval at its regular meeting on January 15, 2025.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Apple Valley, Dakota County, Minnesota, that the issuance of a building permit for McDonald's Class-II Restaurant is hereby authorized, subject to all applicable City Codes and standards, and the following conditions:

1. If the Building Permit is not paid for and issued within one (1) year of the date of approval, the approval shall lapse.
2. Construction shall occur in conformance with the site plan dated January 24, 2025, including parking lot paving and a non-surmountable concrete curb and gutter.
3. Construction shall occur in conformance with the landscape plans dated January 24, 2025, (including sodded/seeded public boulevard area up to each street curblane); 'subject to submission of a detailed landscape planting price list for verification of the City's 2½% landscaping requirement at the time of building permit application.
4. Construction shall occur in conformance with the elevation plans dated December 17, 2024.
5. Subject to all conditions noted in the City Engineer's memo dated February 18, 2025, on file with the City.

6. Subject to all conditions noted in the Building Official's memo dated December 19, 2024, on file with the City.
7. Final pedestrian connection design shall be reviewed and approved by the City Engineer.
8. All necessary mechanical protrusions visible to the exterior shall be screened or handled in accordance with Section 155.346 (3) (a) (b) of the city code.
9. Site grading shall occur in conformance with a Natural Resources Management Plan (NRMP) which shall include final grading plan to be submitted for review and approval by the City Engineer; subject to the applicant submitting a copy of the General Storm Water Permit approval from the Minnesota Pollution Control Agency pursuant to Minnesota Rules 7100.1000 - 7100.1100 regarding the State NPDES Permit prior to commencement of grading activity.
10. Infiltration areas shall be constructed in conformance with the City standards and the property owner shall execute a maintenance agreement or other suitable agreement to be filed with the deed that ensures the perpetual maintenance of infiltration areas.
11. Site and building lighting shall consist of downcast, shoebox lighting fixtures or wallpacks with deflector shields which confine light to the property and shall be installed in conformance with Section 155.353 of the city code.
12. Approval of a signage plan is not included with this site plan and building permit authorization. A separate application and signage plan in conformance with the sign regulations must be submitted for review and approval to the City prior to the erection of any signs.
13. Construction and earthmoving activities shall be limited to the hours of 7:00 a.m. to 7:00 p.m. Monday through Friday. Weekend construction hours shall be limited to Saturdays during the hours of 8:00 a.m. to 5:00 p.m.
14. Prior to issuance of a building permit, a construction staging and construction personnel parking plan shall be submitted and approved by the City.
15. Earthmoving activities shall not occur when wind velocity exceeds thirty (30) miles per hour. Watering to control dust shall occur as needed and whenever directed by the Apple Valley Building Official or Zoning Administrator.
16. Issuance of a Building Permit and a final certificate of occupancy is contingent upon the project being constructed in conformance with all the preceding conditions as well as all applicable performance standards of the current zoning regulations. In the event that a certificate of occupancy is requested prior to

completion of all required site improvements, a suitable financial guarantee in the amount of 125% of the estimated cost of the unfinished improvements shall be required along with an agreement authorizing the City or its agents to enter the premises and complete the required improvements if they are not completed by a reasonably stipulated deadline, with the cost of such City completion to be charged against the financial guarantee.

17. The ongoing use and occupancy of the premises is predicated on the ongoing maintenance of the structure and all required site improvements as listed in the preceding. No alteration, removal, or change to the preceding building plans or required site improvements shall occur without the express authorization of the City. Site improvements which have deteriorated due to age or wear shall be repaired or replaced in a timely fashion.

BE IT FURTHER RESOLVED that such issuance is subject to a finding of compliance of the construction plans with the Minnesota State Building Code, as determined by the Apple Valley Building Official, and with the Minnesota State Uniform Fire Code, as determined by the Apple Valley Fire Marshal.

ADOPTED this 27th day of February, 2025.

  
\_\_\_\_\_  
Clint Hooppaw, Mayor

ATTEST:

  
\_\_\_\_\_  
Christina M. Scipioni, City Clerk

## **STORM WATER MAINTENANCE AGREEMENT**

This AGREEMENT is made between AV-MCD 2025, LLC, a Minnesota limited liability company (the "Owner"), in favor of the City of Apple Valley, a Minnesota municipal corporation (the "City"). The Owner and the City shall jointly be referred to as the "Parties."

WHEREAS, the Owner is the fee owner of real property legally described as follows:

Lot 2, Block 1, McDonalds at Orchard Place, according to the recorded plat thereof, Dakota County, Minnesota (the "Property").

WHEREAS, the City Council approved a site plan and authorized a building permit for improvements upon the Property. The building permit authorization is subject to conditions as set forth in the City Council's Resolution No. 2025 - 34, which includes, but is not limited to, the requirement that all construction and site improvements be in conformance with the approved site plan (the "Site Plan"), and in conformance with City Code. The Site Plan is attached hereto as **Exhibit "A"** and incorporated herein; and

WHEREAS, the City requires the Owner to install pre-treatment devices such as a SAFL Baffle on portions of the Property in accordance with the approved plans and specifications, including but not limited to the following plans prepared by Kimley Horn, (Exhibits A – B), together with The Preserver Operation & Maintenance Manual of Momentum Environmental (Exhibit C) (collectively the Exhibits are referred to as the "Specifications"):

<b>Exhibit A</b>	Sheet C5.0	Site Layout
<b>Exhibit B</b>	Sheet C6.2	Utility Details
<b>Exhibit C</b>	O&M Manual	O&M Manual

WHEREAS, the purpose of installing and maintaining an on-site storm water management system and to promote the water quality and volume control of the City's water bodies; and



WHEREAS, the Owner and the City desire to make certain mutual provisions to memorialize the allocation of responsibilities and obligations for the construction and maintenance of the Structure, as between the Parties, on the terms and conditions hereinafter set forth; and

NOW, THEREFORE, in consideration of the foregoing recitals, and the covenants and agreements on the part of each Party to the other, as hereinafter set forth, the Parties agree as follows:

1. **Construction and Maintenance.**

1.1 **Construction Requirements.** The Structure shall be constructed and maintained in accordance with the Plans and Specifications.

1.2 **Maintenance Obligation.** The Owner shall maintain and repair, when necessary, the Structure in accordance with the terms and conditions set forth in this Agreement. If at any time the Structure fails to conform to the standards and the Specifications set forth herein, the Owner shall immediately correct the non-conformance in accordance with a City-approved remediation plan and schedule. The Owner shall submit to the City a proposed remediation plan and schedule to repair the stormwater basin to the standards set forth herein. If the City approves the proposed remediation plan and schedule, the Owner shall perform the remediation in compliance therewith.

1.3 **Snow and Leaves Removal and Prohibited Storage.**

The Owner shall sweep clean the driveway and parking area on the Property in April or May each year to remove from the Property all sand and salt deposited on the driveway and parking area. The Owner shall remove all tree leaves from the Property after they fall to the ground in October or November each year.

1.4 **Maintenance Costs.** The Owner shall incur and pay all costs associated with maintaining and repairing the stormwater basins.

2. **Inspections.**

2.1 **Annual Inspections.** The Owner shall conduct annual inspections of the Structure, at the Owner's sole cost and expense, to ensure the Structure is maintained. If necessary, the Owner shall repair the Structure if it is not in conformance with the standards set forth herein. The Structure shall have excess sediment removed upon inspection reporting the existence of an excess in sediment.

2.2 **City Notification and Independent Inspection.** The City shall be notified at least 48 hours prior to the annual inspections or any maintenance of the device and, at the sole cost of the City, a representative of the City may observe any inspection or maintenance. The City shall have right of entry onto the Property to inspect the device at any time, but the City shall use reasonable efforts to notify the Owner of its intent to enter the Property to inspect.

2.3 **Inspection and Maintenance Report.** The owner shall submit a report to the City, no later than two (2) weeks after any annual inspection or maintenance of the Structure, providing the following information:

- a. Date and time of inspection
- b. Log of findings
- c. Date and time of maintenance
- d. Log of maintenance performed.

3. **Remediation and Waiver of Rights.**

3.1 **Remediation Plan.** If the City determines that the Structure does not conform to the requirements of the Specifications or this Agreement, the City shall notify the Owner of the deficiency in writing. The Owner shall submit a proposed remediation plan and schedule to the City within thirty (30) days after receipt of such notice. If the proposed remediation plan and schedule are not acceptable to the City, the City shall notify the Owner of the deficiency, and the Owner shall submit a revised plan to the City within fourteen (14) days after receipt of such notice.

3.2 **Failure to Repair.** If the Owner fails to submit a proposed remediation plan and schedule to the City as prescribed above, or fails to implement a City-approved remediation plan to bring the Structure into compliance with the Specifications, then at the sole cost and expense of the Owner, the City shall have the right, but no obligation, to prepare a remediation plan for the Structure and complete all work necessary to correct the Structure so as to bring it into compliance with the Specifications.

3.3 **Reimbursement to the City.** The Owner shall reimburse the City within thirty (30) days after receipt of an invoice from the City for all costs incurred by the City in connection with preparing a remediation plan for the Structure and all work completed by the City to bring the Structure back into compliance with the Specifications.

3.4 **Waiver of Rights.** If the Owner does not timely reimburse the City, the City may recover its costs by levying a special assessment against the Property. The Owner, on behalf of itself and its successors and assigns, hereby acknowledges the benefit of such maintenance to the Property and waives any rights to hearings or notice of hearings relating to the levying of any City assessments or the right to contest the assessments under Minnesota Statutes § 429.081.

3.5 **Right of Entry.** The City shall have the right to enter the property to inspect and to implement the terms of this Paragraph 3. The City shall not be subject to or liable for any claims of trespass by the Owner.

4. **Standards for Performance.** Any act of construction, maintenance, or repair to be performed under this Agreement shall be performed in a good and workmanlike manner pursuant to sound engineering practices and in compliance with all applicable governmental requirements.

5. **Amendment, Release or Termination.**

Notwithstanding anything herein to the contrary, no amendment, release, or termination of any of the provisions of this Agreement shall be effective or may be filed of record unless the City consents to the amendment, release, or termination. Such consent must be evidenced by a resolution duly approved by the City Council, or successor body. The Owner, on behalf of itself and its successors and assigns, expressly acknowledges, and agrees that the City has no obligation whatsoever to approve or act upon any proposed amendment, release, or termination, may withhold or delay consent for any reason or no reason whatsoever, any may condition consent upon such terms as the City deems desirable. The Owner, on behalf of itself and its successors and assigns, further agrees, and covenants, consistent with this acknowledgment, not to institute any legal proceedings against the City on the grounds that the City failed to respond appropriately to a proposed amendment, release, or termination and to indemnify the City against any expense, including litigation costs, which the City incurs as a result of any violation by that party of this covenant. The City may, at any time, give up the right to approval granted hereunder, said action to be evidenced by City Council resolution or other format approved by the City Attorney.

6. **Duration.** This Agreement shall constitute a covenant running with the land and shall be binding upon and inure to the benefit of the Parties, and their successors and assigns.

7. **Recording Agreement.** The Owner shall record this Agreement against the Property with the Dakota County Recorder's Office within thirty (30) days of full execution and shall provide the City with verification of recording within ninety (90) day of full execution of this Agreement.

8. **Governing Law.** The laws of the State of Minnesota shall govern the interpretation, validity, performance, and enforcement of this Agreement.

[Signature pages to follow.]

**STORMWATER MAINTANENCE AGREEMENT**

**McDonalds at Orchard Place**

[Signature Page of Owner]

AV-MCD 2025, LLC  
A Minnesota Limited Liability Company

  
By: Jeffrey J. Carriveau  
Its: Manager

STATE OF MINNESOTA    )  
  ) ss.  
COUNTY OF HENNEPIN    )

The foregoing document was acknowledged before me this 29<sup>th</sup> day of April, 2025, by Jeffrey J. Carriveau, the Manager of AV-MCD 2025, LLC, a Minnesota limited liability company, on behalf of the limited liability company.



  
Notary Public

**STORMWATER MAINTENANCE AGREEMENT**

**McDonalds at Orchard Place**

[Signature Page of City]

**City of Apple Valley,  
a Minnesota municipal corporation**

\_\_\_\_\_  
By: Clint Hooppaw  
Its: Mayor

\_\_\_\_\_  
By: Christina M. Scipioni  
Its: City Clerk

STATE OF MINNESOTA    )  
  ) ss.  
COUNTY OF DAKOTA    )

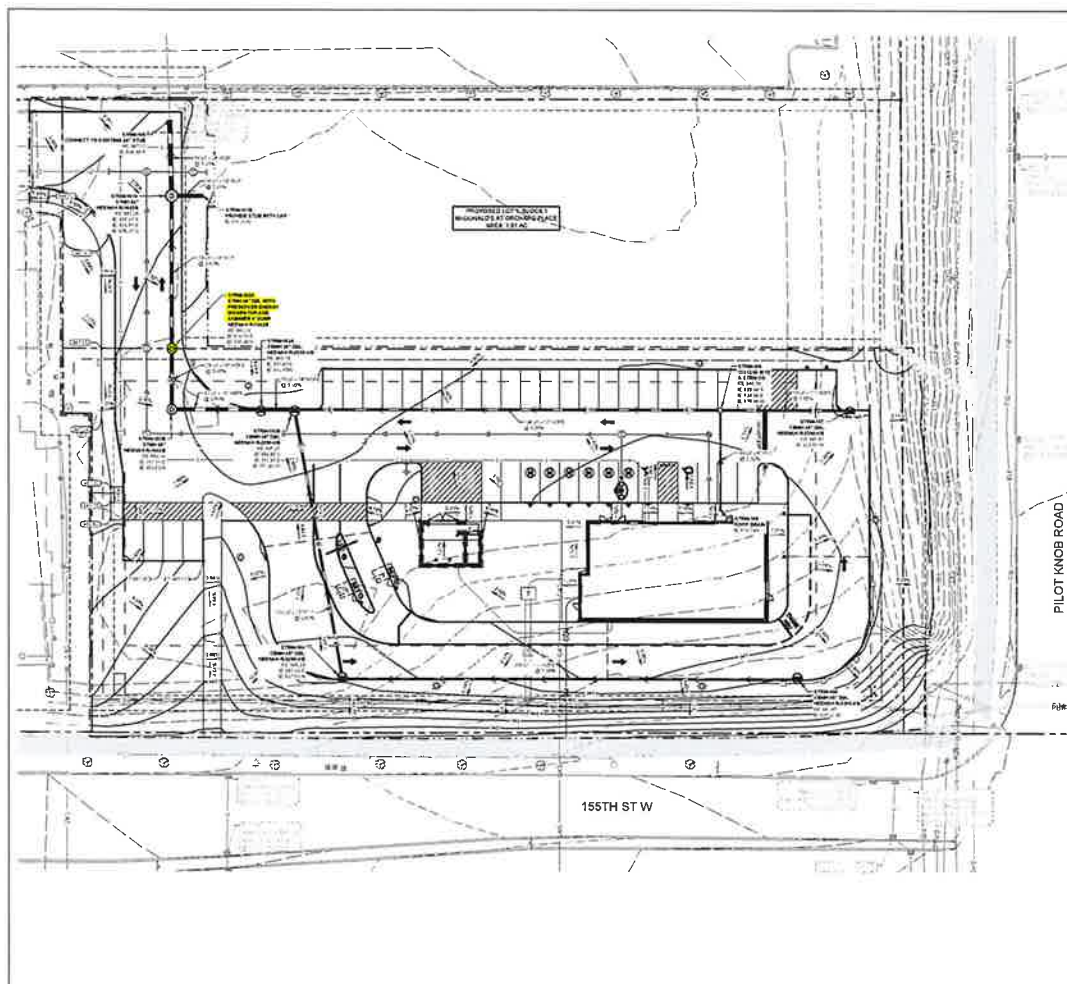
On this \_\_\_\_\_ day of \_\_\_\_\_, 2025, before me a Notary Public within and for said County, personally appeared Clint Hooppaw and Christina M. Scipioni, who being each by me duly sworn, each did say that they are respectively the Mayor and Clerk of the City of Apple Valley, the municipality named in the foregoing instrument, and that the seal affixed on behalf of said municipality by authority of its City Council, and said Mayor and Clerk acknowledged said instrument to be the free act and deed of said municipality.

\_\_\_\_\_  
Notary Public

This instrument was drafted by:

Dougherty, Molenda, Solfest, Hills & Bauer P.A.  
14985 Glazier Avenue, Suite 525  
Apple Valley, Minnesota 55124  
(952) 432-3136  
RBB: 42297

(sheet C5.0 EXHIBIT A  
Site Layout- Attached)



**LEGEND**

	PROPOSED L&L
	LOCUS OF DISCONTINUITY
	GROUNDWATER FLOWLINE
	PROPOSED NEW L&L
	PROPOSED NEW L&L
	PROPOSED HYDRAULIC HEAD (1000 FT. HEAD)
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Sheet C6.2

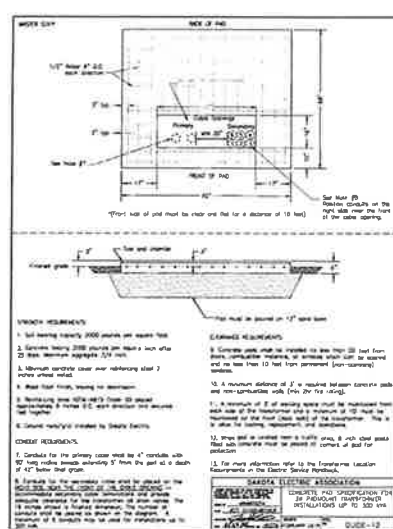
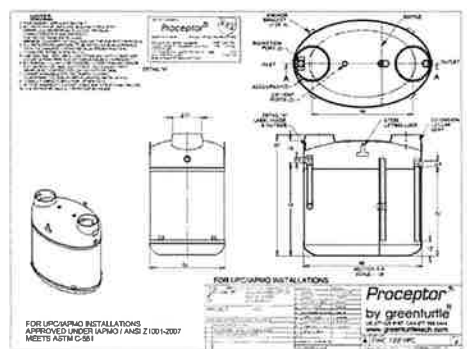
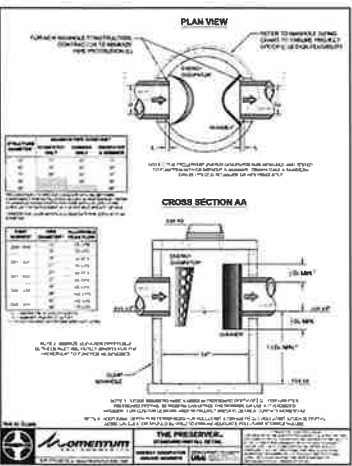
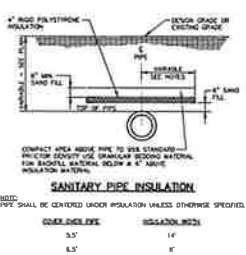
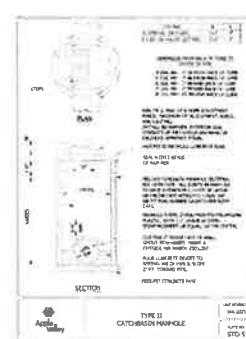
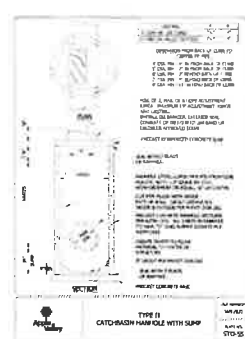
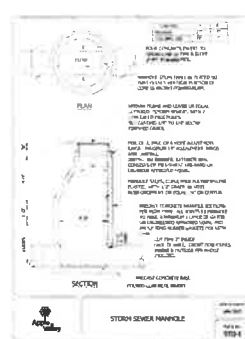
EXHIBIT B  
Utility Details- Attached

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EX-B



O&M Manual

EXHIBIT C  
O&M Manual- Attached

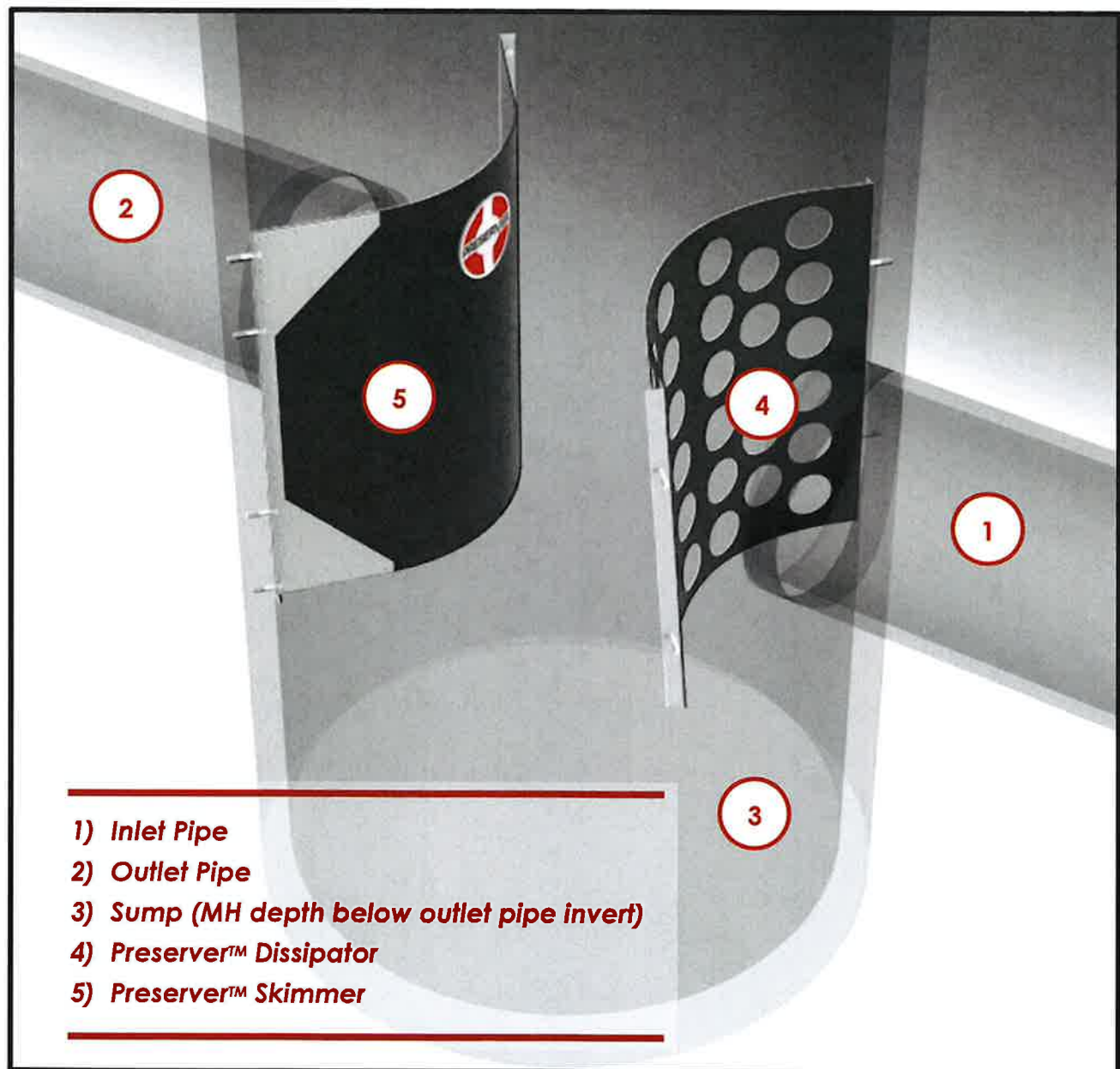


Patent Pending



SIMPLE • EFFECTIVE • AFFORDABLE • STORMWATER SOLUTIONS

## Preserver™ Inspection & Maintenance Manual



- 
- 1) Inlet Pipe
  - 2) Outlet Pipe
  - 3) Sump (MH depth below outlet pipe invert)
  - 4) Preserver™ Dissipator
  - 5) Preserver™ Skimmer
-

## 1. Inspection & Maintenance Introduction

Proper inspection and maintenance of any stormwater treatment device is critical to its performance and longevity. Keeping that unavoidable fact in mind, ease of maintenance was a key element in the design of The Preserver™. The Preserver™ components have been designed to provide ease of access, and maximize accessibility to the structure without the need for confined space entry. Inspection and maintenance can be performed quickly, easily, and inexpensively. In addition, cleanout of the structure requires little or no more than vacuuming.

Following the guidance provided in this document will help to ensure proper function and maximize the benefits provided by The Preserver™.



## 2. Inspection<sup>1</sup>

### Frequency

Following installation of Preserver™ components, structures should be inspected often until a maintenance frequency can be determined. At a minimum, inspections are recommended twice annually, in the Spring and Fall. Depending on your local climate, the Spring inspection should follow snowmelt, blossom/seed fall, Spring street cleaning, and will ideally occur prior to heavy rainfall. Fall inspection should follow leaf fall, Fall street cleaning, and will ideally occur prior to snow/rainfall.

---

1) An "Inspection and Maintenance Log" sheet is available for download at [www.MomentumEnv.com](http://www.MomentumEnv.com).

## Inspection Items

Noteworthy items during inspection include (but are not limited to):

- Pollutant depths<sup>2</sup>
  - Oil/floatables
  - Sediment/  
settleable solids
- Site conditions<sup>3</sup>
  - Stabilized
  - Construction activity
  - Equipment  
wash-down
  - Erosion
  - Winter sanding
- Whether maintenance/  
cleaning was performed
- Pollutant composition
  - Hydrocarbons
    - Oil
    - Gas
    - Grease
  - Trash
  - Organics
- Water level (below outlet  
invert indicates leaking)
- Structural condition
  - Casting condition
  - Chimney condition
    - Adjusting ring  
deterioration
    - Leaking/proper seal
  - Spalling concrete
  - Preserver™ components
    - Condition
    - Connections
    - Debris accumulation

## 3. Maintenance

### Frequency

Annual maintenance of treatment structures is common, and is typically performed in the Fall following leaf fall and street cleaning, and ideally occurs prior to snow/rainfall. However, each site is unique, and structure-specific maintenance may be more or less frequent. The maintenance frequency should be determined as described in Section 2. At a minimum, pollutant storage volumes must not be exceeded (Section 4).

### Execution<sup>4,5</sup>

Structure cleanout will typically require no more than vacuuming out the water and debris contained in the structure. Water can be sprayed to dislodge and/or move debris for vacuum collection. Following cleanout, the structural condition should be determined. Any repairs determined necessary should be done as soon as possible. Contact Momentum should Preserver™ replacement parts be needed.



- 
- 2) When measuring sediment depth, the tape/rod should be lowered slowly until minimal resistance is detected.
  - 3) When noting site conditions, the entire treatment structure's drainage area should be included.
  - 4) Collected pollutants must be disposed of properly.
  - 5) Should physical access be determined necessary, confined space entry procedures must be followed.

## 4. Storage Volumes

Use the table and methodology below to determine allowable pollutant storage volumes for The Preserver™. The methodology below assumes that circular pipe and stock Preserver™ components are used – please contact Momentum if customized components or calculations are needed for your project.

Structure Diameter (ft)	Structure Footprint <sup>1</sup> (sf)	Storage Volume Per Foot of Depth* (cf)	Storage Volume Per Foot of Depth <sup>1</sup> (gal.)
4'	12.6	12.6	94.0
5'	19.6	19.6	146.9
6'	28.3	28.3	211.5
7'	38.5	38.5	287.9
8'	50.3	50.3	376.0
9'	63.6	63.6	475.9
10'	78.5	78.5	587.5
12'	113.1	113.1	846.0

\*Adjust footprint and storage volume values accordingly for square and rectangular structures.

Cleanout depths vary according to outlet pipe diameter:

- Maximum Oil/Floatables Depth =  $\frac{1}{2}$  x outlet pipe diameter
- Maximum Sediment Depth = sump depth – outlet pipe diameter

### Example:

- 5' diameter structure
- 4' sump depth
- 18" outlet pipe diameter

#### ***Oil/Floatables Storage:***

Maximum Oil/Floatables Depth =  $\frac{1}{2}$  x 18" = 9" or 0.75'

Maximum Oil/Floatables Volume = 0.75' (max. depth) x 146.9 gal. (5' structure diameter volume/ft) = 110.2 gallons

#### ***Sediment/Settleable Solids Storage:***

Maximum Sediment Depth = 4' (sump depth) – 18" (outlet pipe dia.) = 2.5'

Maximum Sediment Volume = 2.5' (max. depth) x 19.6 cf (5' structure diameter volume/ft) = 49.0 cubic feet





# Preserver™ Inspection & Maintenance Log

Site ID: \_\_\_\_\_

Structure ID: \_\_\_\_\_

Structure Diameter: \_\_\_\_\_ Sump Depth: \_\_\_\_\_ Outlet Pipe Diameter: \_\_\_\_\_

Date	Initials	Oil/ Floatables Depth	Sediment Depth	Cleaned?		Notes <sup>3</sup> :
				Y	N	
				Y	N	
				Y	N	
				Y	N	
				Y	N	
				Y	N	
				Y	N	
				Y	N	
				Y	N	
				Y	N	
				Y	N	

## NOTES:

- 1) Following installation, structures should be inspected a minimum of twice annually, in the Spring and Fall. Depending on your local climate, the Spring inspection should follow snowmelt, blossom/seed fall, Spring street cleaning, and will ideally occur prior to heavy rainfall. Fall inspection should follow leaf fall, Fall street cleaning, and will ideally occur prior to snow/rainfall.
- 2) Owners should plan for annual Fall maintenance. Once sufficient inspections have been logged to determine a trend, maintenance can be adjusted accordingly.
- 3) Noteworthy items during inspection/maintenance may include: site conditions (stabilized, construction, erosion, etc.), pollutant composition (oils, trash, organics, etc.), low water-level (leaking structure), structural condition (cracking, spalling concrete, Preserver™ components, etc.), etc.
- 4) Refer to "Preserver™ Inspection and Maintenance Manual" for additional guidance and requirements.

4928-8437-7402, v. 1



ITEM:  
COUNCIL MEETING DATE:  
SECTION:

4.Q.  
May 8, 2025  
Consent Agenda

**Description:**

Approve Change Order No. 11 for Project 2021-172, Police Garage

**Staff Contact:**

Charles Grawe, Assistant City Administrator

**Department / Division:**

Administration / Information Technologies

**ACTION REQUESTED:**

Approve Change Order No. 11 for Project 2021-172, Police Garage to various contractors in various amounts, and authorize the Mayor and City Clerk to sign contract documents.

**SUMMARY:**

Project 2021-172, Police Garage, is using construction management services. As a result, the bid specification created 37 separate bid/quote categories and 37 separate contracts. In addition, the City has a construction management contract with RJM.

Attached is a proposal for Change Order No. 11 to the project contracts. The change order covers six issues summarized below. These issues result in changes to ten of the contracts. The resulting changes to each contract are line itemized on the attached summary sheet.

The total budget impact for the entire change is an addition of \$36,835.15. The changes to the individual contract sums prior to the approval of the change and after the approval of the change order are detailed on the attached summary sheet.

The project is under budget. Due to timing and scheduling, staff may grant prior approval of some of these items to keep the project moving on schedule. If prior staff approval is given, an explanation will be noted with the issue description.

**BACKGROUND:**

Item 1: Regrade patio and add railing for ADA compliance, bury two light poles. There is a large concrete sidewalk or patio between the building and the parking lot. Issues were identified with the slope of the sidewalk that had to be addressed for ADA compliance. Due to the slopes involved, a railing was required. That same contractor would also install the light poles that will require the direct bury installation method, rather than the concrete base mounted method.

Due to coordination and timing issues involved in this work, staff granted authorization to proceed with the patio work to keep the project on schedule.

Item 2: Breakroom carpet layout revisions. The building flooring is a combination of polished concrete and carpet tiles. After further review, it was determined that it would be preferable for a portion of the breakroom to have carpet tiles rather than the polished

concrete. This cost is for the additional carpet tiles.

Item 3: Irrigation update to include boulevard area. The original irrigation plans only included areas within the perimeter fence. Public Works requested extension of the irrigation system to the areas between the fence and the street to ease maintenance of the boulevard area.

Item 4: Locker room revisions to locker layout. The locker room have long banks of lockers. Each locker has a set width, but there is a small additional space between the lockers. Over a long span, the collective amount of the additional spaces can become significant. In order to preserve required hallway space around the lockers, a few adjustments were made to the layout of the lockers which resulted in the elimination of a few lockers. This is a credit for the eliminated lockers.

Due to coordination and timing issues involved in this work, staff granted authorization to proceed with the locker revisions to keep the project on schedule.

Item 5: Add generator annunciator panel at Door 190C. The building has an emergency generator which has a primary purpose of powering the building during an electrical outage. A critical feature is a panel which alerts staff to generator issues like low fuel level. This change adds an annunciator panel in a highly traveled area of the building so that staff can be aware of a problem like a low fuel level as quickly as possible.

Item 6: Relocate fire alarm annunciator panel to Door 190B. The original plans had the fire alarm panel near the west entrance. However, during the review process, the Fire Department requested that the panel be located near the south entrance where the fire sprinkler risers and other water valves are located to ease Fire response to fire or sprinkler flow alarms.

**BUDGET IMPACT:**

The total budget impact for the entire change is an addition of \$36,835.15. See the attached summary for the list of cost changes by issue and by contract.

**ATTACHMENTS:**

Change Order Document(s)

## Project 2021-172, Police Garage (Police Operations Building)

### Change Order Budget Impact Summary Sheet

Change Order Number: 11  
Council Meeting Date: 8-May-25

#### Costs by Construction Issue

Item(s)	Change	Amount	Summary	Prior Staff Approval?
1	Addition	\$ 19,835.74	Regrade patio and add railing for ADA compliance, bury two light poles	yes
2	Addition	\$ 775.70	Breakroom carpet layout revisions	no
3	Addition	\$ 12,036.29	Irrigation update to include boulevard area	no
4	Deduction	\$ (4,076.58)	Locker room revisions to locker layout	yes
5	Addition	\$ 4,186.00	Add generator annunciator panel at Door 190C	no
6	Addition	\$ 4,078.00	Relocate fire alarm annunciator panel to Door 190B	no
<b>Total Cost Changes</b>		<b>\$ 36,835.15</b>		

#### Costs by Contract

Costs by Contract	Contractor	Contract Change Information			CO#
		Previous Amount	Change	New Amount	
3F Sealed, Polished, and Stained Concrete	QC Companies	\$ 48,955.00	\$ (940.00)	\$ 48,015.00	2
9B Metal Stud Framing and Gypsum Board Assemblies	Mulcahy Nickolaus LLC	\$ 229,648.00	\$ 360.00	\$ 230,008.00	2
9L Carpet & Resilient Base	Sonus Interiors, Inc.	\$ 39,260.00	\$ 1,691.00	\$ 40,951.00	2
10F Lockers	Midwest Lockers, LLC	\$ 230,776.45	\$ (3,946.75)	\$ 226,829.70	2
	NAC Mechanical and Electrical Services	\$ 1,037,855.00	\$ 13,549.00	\$ 1,051,404.00	5
26D Electrical, Communications, Safety & Security					
31B Earthwork	Rachel Contracting, LLC	\$ 607,085.20	\$ 2,580.00	\$ 609,665.20	7
32D Site Concrete	McNamara Contracting Inc.	\$ 173,602.82	\$ 2,899.00	\$ 176,501.82	4
32F Fences & Gates	Action Fence, Inc.	\$ 299,260.00	\$ 8,080.00	\$ 307,340.00	3
32M Landscape Irrigation	Hoffman & McNamara Nursery and Land	\$ 72,692.00	\$ 11,652.95	\$ 84,344.95	2
Const. Man. Fee	RJM Construction	\$ 252,667.01	\$ 566.95	\$ 253,233.96	11
Const. Man. Reimburseables	RJM Construction	\$ 3,861.04	\$ 343.00	\$ 4,204.04	11
<b>Total Cost Changes</b>			<b>\$ 36,835.15</b>		



ITEM:  
COUNCIL MEETING DATE:  
SECTION:

4.R.  
May 8, 2025  
Consent Agenda

<b>Description:</b> Approve Change Order No. 1 to Professional Services Agreement with Johnson Laffen Galloway Architects, Ltd., d/b/a JLG Architects, for Project 2024-187, Family Aquatic Center Improvements (2023 Parks Bond Referendum)	
<b>Staff Contact:</b> Eric Carlson, Parks & Recreation Director	<b>Department / Division:</b> Parks and Recreation Department

**ACTION REQUESTED:**

Approve the following Change Order to the professional services agreement with Johnson Laffen Galloway Architects, Ltd., d/b/a JLG Architects, for Project 2024-187, Family Aquatic Center Improvements (2023 Parks Referendum):

1. Change Order No. 1 in the amount of an additional \$30,000 for increased scope of aquatic mechanical and pool structure work.

**SUMMARY:**

The City hired JLG Architects for the design and development of construction documents for \*Project 2024-187, Family Aquatic Center Improvements. As the design process of this project progressed, additional needs were identified to enhance functionality, safety, and user experience within the aquatic facility. A change order with JLG has been initiated to address the increased scope of design work related to the pool mechanical system, pool shell, and pool play features. This change order ensures that all necessary updates and improvements are incorporated into the project, maintaining the overall quality and long-term performance of the pool amenities. Staff recommends increasing the contract with JLG Architects by \$30,000 to account for this increased design work.

CO 1: Increased pool mechanical and structural work (add \$30,000.00)

Total change: Addition of \$30,000.00

\*Project 2024-187, Family Aquatic Center Improvements, was formerly known as Project 2024-115, Family Aquatic Center Improvements.

**BACKGROUND:**

For the last several years, the City of Apple Valley has worked with the community to determine the future needs and desires residents have for parks and recreation services. In November 2023, Apple Valley voters approved two separate questions in a special election, authorizing a total of \$73.25 million to invest in parks, trails, natural resources, Kelley Park, Redwood Park, Hayes Arena, the Apple Valley Family Aquatic Center, the Apple Valley Community Center and Senior Center, a youth baseball/softball complex at Hayes Park, and a community pool at Redwood Park.

It will take four to six years to implement the improvements approved by voters. As we develop projects, we will involve residents in the planning process. Information on plans and construction progress will be provided on our website so residents can see what work is planned for each location and how the referendum dollars are being spent.

**BUDGET IMPACT:**

Funding for this project comes from the successful 2023 Parks Bond Referendum.

**ATTACHMENTS:**

Change Order Document(s)



# AIA® Document G802® – 2017

## ***Amendment to the Professional Services Agreement***

---

**PROJECT:** *(name and address)*

23427 - Apple Valley Family Aquatics  
Center

**AGREEMENT INFORMATION:**

Date:  
January 11, 2024

**AMENDMENT INFORMATION:**

Amendment Number:  
001  
Date:  
April 16, 2025

**OWNER:** *(name and address)*

City of Apple Valley  
7100 147th St. West  
Apple Valley, MN 55124

**ARCHITECT:** *(name and address)*

JLG Architects  
230 S. Main Ave.  
Sioux Falls, SD 57104

---

The Owner and Architect amend the Agreement as follows:

Additional design scope of aquatic features and equipment increasing the original aquatics budget by approximately \$600,000.00:

Replace strainers at main pool - pressure testing for pool leak.

New filters at lazy river building.

New VFDs at lazy river building.

New heaters at lazy river building.

Miscellaneous added scope of work.

Refinish pool gutter grating.

Rail powder coating.

Pool apron replacement.

New VFD's for play feature/waterslide pumps at main pool building.

The Architect's compensation and schedule shall be adjusted as follows:

Compensation Adjustment:

Cost of this additional design work = \$30,000.00.

Schedule Adjustment:

None.

---

**ARCHITECT** *(Signature)*

BY: Herm Harms, Project Manager

*(Printed name, title, and license number if required)*

---

**OWNER** *(Signature)*

BY: Clint Hooppaw, Mayor

*(Printed name and title)*

---

*Date*

---

*Date*

---

**OWNER** *(Signature)*

BY: Christina M. Scipioni, City Clerk

---

*(Printed name and title)*

---

*Date*



ITEM:  
COUNCIL MEETING DATE:  
SECTION:

4.S.  
May 8, 2025  
Consent Agenda

**Description:**

Approve Acceptance and Final Payment on Agreement with Nordic Services, Inc., d/b/a Nordic Mechanical Services, for Fire Station 1 HVAC Replacement

**Staff Contact:**

Matt Nelson, Fire Chief

**Department / Division:**

Fire Department

**ACTION REQUESTED:**

Approve acceptance and final payment on agreement with Nordic Services, Inc., d/b/a Nordic Mechanical Services, for Fire Station 1 HVAC replacement, in the amount of \$22,060.00.

**SUMMARY:**

Nordic Services, Inc., d/b/a Nordic Mechanical Services has satisfactorily completed the replacement of some HVAC equipment located at Fire Station 1. It is the Fire Department's recommendation that City Council approve final payment to Nordic Services, Inc., d/b/a Nordic Mechanical Services for their work.

The scope of work under the contract included the replacement of one of the radiant heaters located in the ambulance apparatus bays with a new burner head assembly, as well as the replacement of the A/C unit located on the second floor in the middle of the station, and the furnace and A/C unit that services the ambulance side of the building.

**BACKGROUND:**

The agreement with Nordic Services, Inc., d/b/a Nordic Mechanical Services was approved at the January 9, 2025 City Council Meeting.

**BUDGET IMPACT:**

Funding for this project was approved in the 2024 budget and will come from the Fire Facilities Fund.

**ATTACHMENTS:**

Final Pay Documents

CITY OF APPLE VALLEY  
APPLICATION FOR PAYMENT

DATE: Jan 9th 2025 FOR PERIOD: Final  
PROJECT: Fire station #1 unit replacement FROM: 1/9/25 TO: 3/14/25  
CONTRACTOR: Nordic Services Inc REQUEST FOR PAYMENT NO. 1  
ADDRESS: 11965 Larc Industrial Blvd 600  
Burnsville mn 55337

SUMMARY:

1.	Original Contract Amount	\$ <u>22,060.00</u>
2.	Change Order - ADDITION	\$ _____
3.	Change Order - DEDUCTION	\$ _____
4.	Revised Contract Amount	\$ <u>22,060.00</u>
5.	Total Completed and Stored to Date	\$ <u>22,060.00</u>
6.	Less Retainage <u>0</u> %	\$ <u>22,060.00</u>
7.	Total Earned Less Retainage	\$ _____
8.	Less Amount Paid Previously	\$ _____
9.	AMOUNT DUE THIS CURRENT REQUEST	\$ <u>22,060.00</u>

The undersigned Contractor certifies that to the best of his knowledge, information and belief, the work covered by this application for payment has been completed in accordance with the contract documents, that all amounts have been paid by him for work for which previous payments were received from the City and that current payment shown herein is now due.

Contractor: Nordic Services Inc.

By: \_\_\_\_\_

Recommended for Payment

By: Matt Nelson

Title: Fire Chief

Date: 4/24/2025

ATTACH ITEMIZED INVOICE





ITEM:  
COUNCIL MEETING DATE:  
SECTION:

4.T.  
May 8, 2025  
Consent Agenda

**Description:**

Approve Claims and Bills

**Staff Contact:**

Ron Hedberg, Finance Director

**Department / Division:**

Finance Department

**ACTION REQUESTED:**

Approve claims and bills.

**SUMMARY:**

Attached for City Council review and approval are check registers for recent claims and bills.

**BACKGROUND:**

N/A

**BUDGET IMPACT:**

Check registers dated April 16, 2025, and April 23, 2025, in the amounts of \$938,167.89, and \$920,094.52, respectively.

**ATTACHMENTS:**

Claims and Bills

Claims and Bills

3/24/2025 -- 4/18/2025

Check #	Date	Amount	Supplier / Explanation	PO #	Doc No	Inv No	Account No	Subledger	Account Description	Business Unit
<b>34347</b>	<b>4/18/2025</b>		<b>101557 AAA CREDIT SCREENING SVCS LLC</b>							
		33.00	CREDIT SCREENING		487267	223783	1210.6249		OTHER CONTRACTUAL SERVICES	POLICE FIELD OPERATIONS/PATROL
		33.00								
<b>34348</b>	<b>4/18/2025</b>		<b>100101 ACE HARDWARE</b>							
		1.69-	DISCOUNT		487572	350130100291	1350.6333		GENERAL-CASH DISCOUNTS	FIRE VEHICLE MAINTENANCE
		16.99	INSULATED TERMINAL RING		487572	350130100291	1350.6215		EQUIPMENT-PARTS	FIRE VEHICLE MAINTENANCE
		1.59-	DISCOUNT		487570	350135100274	1210.6333		GENERAL-CASH DISCOUNTS	POLICE FIELD OPERATIONS/PATROL
		15.99	PATROL SUPPLIES		487570	350135100274	1210.6229		GENERAL SUPPLIES	POLICE FIELD OPERATIONS/PATROL
		29.70								
<b>34349</b>	<b>4/18/2025</b>		<b>153995 AMAZON CAPITAL SERVICES</b>							
		53.44	CLEANING PRODUCTS FOR CMF		487565	1GY416FW1TVH	1540.6229		GENERAL SUPPLIES	CMF BUILDINGS & GROUNDS MNTC
		73.20	FLOOR WAXING SUPPLY CMF		487564	1QNQPNC19XLT	1540.6229		GENERAL SUPPLIES	CMF BUILDINGS & GROUNDS MNTC
		201.84	CLEANING SUPPLIES CMF PO 737		487278	1XRR7QFCHLMC	1540.6229		GENERAL SUPPLIES	CMF BUILDINGS & GROUNDS MNTC
		328.48								
<b>34350</b>	<b>4/18/2025</b>		<b>153544 B32 ENGINEERING GROUP, INC.</b>							
		2,550.00	H ARENA ENGINEERING FINAL PAY		487574	3377	2308.6235	PR230064	CONSULTANT SERVICES	HAYES ARENA
		2,550.00								
<b>34351</b>	<b>4/18/2025</b>		<b>101559 BARR ENGINEERING COMPANY</b>							
		12,608.00	A.V. ADDTN STORM STUDY		487145	23191551005	5505.6235	2024163D	CONSULTANT SERVICES	STORM DRAIN MNTC/RPR/SUMPS
		7,664.50	GRANT PREPARATION AV ADDITIONS		487146	23191557002	5505.6235	2024163D	CONSULTANT SERVICES	STORM DRAIN MNTC/RPR/SUMPS
		20,272.50								
<b>34352</b>	<b>4/18/2025</b>		<b>142897 BOLTON &amp; MENK, INC.</b>							
		755.00	EASEMENT DESCRIPTIONS		487149	358211	4752.6235	2022111E	CONSULTANT SERVICES	ELECTRIC FRANCHISE
		7,813.50	CONST. STAKING 140TH/ERICKSON		487150	358213	5365.6235	2025127S	CONSULTANT SERVICES	SEWER MGMT/REPORTS/DATA ENTRY
		6,359.50	FINAL DESIGN-STORM '24 UT IMP		487151	358215	5505.6235	2024102D	CONSULTANT SERVICES	STORM DRAIN MNTC/RPR/SUMPS
		10,069.00	FINAL DESIGN 2025 STREET & UT1		487152	358216	2027.6235	2025101R	CONSULTANT SERVICES	ROAD ESCROW
		1,432.00	FEASIBILITY STUDY AV ADDN'S		487153	358217	2027.6235	2023108R	CONSULTANT SERVICES	ROAD ESCROW
		8,055.00	FINAL DESIGN CENTRAL VILLAGE		487257	358218	2027.6235	2025109R	CONSULTANT SERVICES	ROAD ESCROW
		2,506.00	FINAL DESIGN-STORM EVR-P11		487258	358220	5505.6235	2023133D	CONSULTANT SERVICES	STORM DRAIN MNTC/RPR/SUMPS
		984.50	FINAL DESIGN JCRR 156TH-FAIRCH		487259	358221	4502.6235	2025112G	CONSULTANT SERVICES	IMPROVEMENTS-ASSESSED
		37,974.50								
<b>34353</b>	<b>4/18/2025</b>		<b>151767 CONFLUENCE</b>							
		40,364.23	REDWOOD DESIGN THRU 3-20-25		487573	31516	2360.6235	PR230064	CONSULTANT SERVICES	REDWOOD PARK
		40,364.23								



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34354	4/18/2025		100128 DAKOTA ELECTRIC ASSOCIATION						Continued...	
		60.39	COBBLESTONE LK PKY LIGHTS		487242	200001029347MAR 25	5805.6545		NON-TAXABLE MISC FOR RESALE	STREET LIGHT UTILITY FUND
		254.43	QUARRY POINT TOWER MAR		487243	200001036888MAR 25	5320.6255		UTILITIES-ELECTRIC	WATER WELL/BOOSTER STN MNT/RPR
		241.91	VALLEYWOOD MAINT BLDG MAR		487245	200001348960MAR 25	2230.6255		UTILITIES-ELECTRIC	GOLF SHOP BUILDING MAINTENANCE
		260.70	VALLEYWOOD RESERVOIR MAR		487244	200002244242MAR 25	5320.6255		UTILITIES-ELECTRIC	WATER WELL/BOOSTER STN MNT/RPR
		74.03	SIGNAL 140TH/GARDENVIEW MAR		487231	200003037769MAR 25	5805.6255		UTILITIES-ELECTRIC	STREET LIGHT UTILITY FUND
		53.89	SIGNAL 140TH/HAYES MAR		487230	200003037777MAR 25	5805.6255		UTILITIES-ELECTRIC	STREET LIGHT UTILITY FUND
		178.47	15298 153RD ST LIGHTS MAR		487246	200003155579MAR 25	5805.6545		NON-TAXABLE MISC FOR RESALE	STREET LIGHT UTILITY FUND
		54.13	15850 DRAWSTONE TRL LIGHTS MAR		487247	200003472842MAR 25	5805.6545		NON-TAXABLE MISC FOR RESALE	STREET LIGHT UTILITY FUND
		57.55	15750 DIAMOND WAY LIGHTS MAR		487279	200003472859MAR 25	5805.6545		NON-TAXABLE MISC FOR RESALE	STREET LIGHT UTILITY FUND
		39.60	15745 COBBLESTONE LK PKY LIGHT		487280	200003472867MAR 25	5805.6545		NON-TAXABLE MISC FOR RESALE	STREET LIGHT UTILITY FUND
		19.52	158TH/DIAMOND PATH MOONLIGHT		487281	200003472875MAR 25	5805.6545		NON-TAXABLE MISC FOR RESALE	STREET LIGHT UTILITY FUND
		90.59	COBBLESTONE LK PKY LIGHTS		487282	200003571957MAR 25	5805.6545		NON-TAXABLE MISC FOR RESALE	STREET LIGHT UTILITY FUND
		51.15	FOUNDERS/GALAXIE SIGNAL MAR		487232	200003777430MAR 25	5805.6545		NON-TAXABLE MISC FOR RESALE	STREET LIGHT UTILITY FUND
		35.42	GALAXIE/FOUNDER LN SPRKLR		487233	200003919925MAR 25	1610.6255		UTILITIES-ELECTRIC	STREET/BOULEVARD REPAIR & MNTC
		327.85	15281 FOUNDERS BLVD LIGHTS MAR		487234	200004198750MAR 25	5805.6545		NON-TAXABLE MISC FOR RESALE	STREET LIGHT UTILITY FUND
		59.31	LIFT STN STORM SWR GALAXIE MAR		487241	200004229209MAR 25	5505.6255		UTILITIES-ELECTRIC	STORM DRAIN MNTC/RPR/SUMPS
		16.96	GARDENVIEW DR PK SHELTER MAR		487229	200004331096MAR 25	1730.6255		UTILITIES-ELECTRIC	PARK BUILDING MAINTENANCE
		17.38	REDWOOD PRKS RESTROOM MAR		487228	200004514691MAR 25	1730.6255		UTILITIES-ELECTRIC	PARK BUILDING MAINTENANCE
		1,778.67	VALLEYWOOD CLUBHOUSE MAR		487283	200004985206MAR 25	2215.6255		UTILITIES-ELECTRIC	GOLF CLUBHOUSE BUILDING
		31.19	COBBLESTONE N 2ND ADDITION MAR		487284	200005663463MAR	5805.6545		NON-TAXABLE MISC FOR RESALE	STREET LIGHT UTILITY FUND

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34354	4/18/2025		100128 DAKOTA ELECTRIC ASSOCIATION						Continued...	
						25				
		39.32	COBBLESTONE N 2ND ADDITION MAR		487291	200005663471MAR	5805.6545		NON-TAXABLE MISC FOR RESALE	STREET LIGHT UTILITY FUND
						25				
		17.25	COBBLESTONE N 2ND ADDITION MAR		487227	200010053463MAR	5805.6545		NON-TAXABLE MISC FOR RESALE	STREET LIGHT UTILITY FUND
						25				
		123,417.99	BURY POWERLINE AT REDWOOD PARK		487239	20250320	4752.6810	PR230004	CONSTRUCTION IN PROGRESS	ELECTRIC FRANCHSE
		127,177.70								
34355	4/18/2025		154565 DAKOTA SUPPLY GROUP							
		17,295.43	HSP CHECK VALVE REPLACE		487264	S104446805001	5325.6735		CAPITAL OUTLAY-OTHER IMPROVEME	WATER TREATMENT FCLTY MNTC/RPR
		1,413.38	HSP CHECK VALVE REPLACE		487263	S104450615001	5325.6735		CAPITAL OUTLAY-OTHER IMPROVEME	WATER TREATMENT FCLTY MNTC/RPR
		18,708.81								
34356	4/18/2025		101365 ECM PUBLISHERS INC							
		300.00	WINE SALE AD		487568	1042039	5005.6239		PRINTING	LIQUOR GENERAL OPERATIONS
		375.00	WINE SALE AD		487569	1042040	5005.6239		PRINTING	LIQUOR GENERAL OPERATIONS
		675.00								
34357	4/18/2025		120313 FASTENAL COMPANY							
		321.89	SHOP SUPPLIES		487561	MNLAK209842	1610.6229		GENERAL SUPPLIES	STREET/BOULEVARD REPAIR & MNTC
		321.89								
34358	4/18/2025		131791 IRRIGATION BY DESIGN INC							
		357.29	IRRIGATION - EDU BLDG		487269	36757	2092.6249		OTHER CONTRACTUAL SERVICES	EDUCATION BUILDING FUND
		357.29								
34359	4/18/2025		100279 LAW ENFORCEMENT LABOR SERVICES							
		730.00	SERGEANT (#243) UNION DUES		487134	40925920343	9000.2120		ACCRUED BENEFIT LIABILITY	PAYROLL CLEARING BAL SHEET
		3,139.00	POLICE (#71) UNION DUES		487134	40925920343	9000.2120		ACCRUED BENEFIT LIABILITY	PAYROLL CLEARING BAL SHEET
		3,869.00								
34360	4/18/2025		101287 LIFEGUARD STORE INC, THE							
		12,153.05	SPLASH VALLEY LIFEGUARD CHAIRS		486771	INV001486476	2306.6740	PR230032	CAPITAL OUTLAY-MACH/EQUIP/OTHE	APPLE VALLEY AQUATIC CENTER
		12,153.05								
34361	4/18/2025		156194 METRO ALARM & LOCK							
		5.26-	LIQ2 SALES TAX ADJUST		487154	86313	5065.6265		REPAIRS-EQUIPMENT	LIQUOR #2 OPERATIONS
		5.26	LIQ2 SALES TAX ADJUST		487154	86313	5000.2330		DUE TO OTHER GOVERNMENT	LIQUOR BALANCE SHEET
		455.09	REPAIR WORK LS# 2 DOOR SENSOR		487154	86313	5065.6265		REPAIRS-EQUIPMENT	LIQUOR #2 OPERATIONS
		455.09								

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34361	4/18/2025		156194 METRO ALARM & LOCK						Continued...	
34362	4/18/2025		100311 METRO COUNCIL ENVIRONMENTAL SV							
		198.80-	RETAINED % MARCH		487560	20250331	5301.4999		MISC UTILITY REVENUE	WATER & SEWER FUND REVENUE
		19,880.00	SAC COLLECTION MARCH		487560	20250331	5301.4922		SAC COLLECTIONS	WATER & SEWER FUND REVENUE
		19,681.20								
34363	4/18/2025		146279 NORDIC MECHANICAL SERVICES, I							
		350.00	BOILER INSP. - EDU BLDG		487270	77904	2092.6249		OTHER CONTRACTUAL SERVICES	EDUCATION BUILDING FUND
		350.00								
34364	4/18/2025		154497 PETERSON, KRAIG							
		47.60	LOCAL TRAVEL		487556	20250327	5005.6277		MILEAGE/AUTO ALLOWANCE	LIQUOR GENERAL OPERATIONS
		47.60								
34365	4/18/2025		102293 SKINNER, STEPHAN C							
		25.20	MARCH MILEAGE		487557	20250327	1700.6277		MILEAGE/AUTO ALLOWANCE	PARK & RECREATION MANAGEMENT
		25.20								
34366	4/18/2025		119875 SOUTH METRO RENTAL							
		186.13	CHAINSAB RPR		487272	138901	1610.6229		GENERAL SUPPLIES	STREET/BOULEVARD REPAIR & MNTC
		186.13								
34367	4/18/2025		100524 SOUTHERN GLAZERS WINE AND SPIRITS OF MN							
		1,725.27	LIQ#1	00050756	487511	2604770	5015.6510		LIQUOR	LIQUOR #1 STOCK PURCHASES
		634.20	WINE#1	00050756	487534	2604771	5015.6520		WINE	LIQUOR #1 STOCK PURCHASES
		180.74	LIQ#1	00050756	487512	2604773	5015.6510		LIQUOR	LIQUOR #1 STOCK PURCHASES
		1,352.29	LIQ#3	00050756	487523	2604794	5085.6510		LIQUOR	LIQUOR #3 STOCK PURCHASES
		20.00	TAX#3	00050756	487524	2604795	5085.6540		TAXABLE MISC FOR RESALE	LIQUOR #3 STOCK PURCHASES
		841.96	WINE#3	00050756	487542	2604796	5085.6520		WINE	LIQUOR #3 STOCK PURCHASES
		211.50	LIQ#3	00050756	487525	2604798	5085.6510		LIQUOR	LIQUOR #3 STOCK PURCHASES
		180.74	LIQ#3	00050756	487526	2604799	5085.6510		LIQUOR	LIQUOR #3 STOCK PURCHASES
		613.52	LIQ#1	00050756	487513	2607392	5015.6510		LIQUOR	LIQUOR #1 STOCK PURCHASES
		2,022.12	WINE#1	00050756	487535	2607394	5015.6520		WINE	LIQUOR #1 STOCK PURCHASES
		2,361.64	LIQ#2	00050756	487520	2607396	5055.6510		LIQUOR	LIQUOR #2 STOCK PURCHASES
		653.96	WINE#2	00050756	487538	2607397	5055.6520		WINE	LIQUOR #2 STOCK PURCHASES
		777.31	LIQ#3	00050756	487527	2607410	5085.6510		LIQUOR	LIQUOR #3 STOCK PURCHASES
		194.00	LIQ#3	00050756	487528	2607411	5085.6510		LIQUOR	LIQUOR #3 STOCK PURCHASES
		2,345.60	WINE#3	00050756	487529	2607411	5085.6520		WINE	LIQUOR #3 STOCK PURCHASES
		2,660.61	LIQ#1	00050756	487518	2610194	5015.6510		LIQUOR	LIQUOR #1 STOCK PURCHASES
		87.00	TAX#1	00050756	487519	2610195	5015.6540		TAXABLE MISC FOR RESALE	LIQUOR #1 STOCK PURCHASES

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34367	4/18/2025		<b>100524 SOUTHERN GLAZERS WINE AND SPIRITS OF MN</b>						<b>Continued...</b>	
		2,550.24	WINE#1	00050756	487537	2610196	5015.6520		WINE	LIQUOR #1 STOCK PURCHASES
		1,095.62	LIQ#2	00050756	487521	2610198	5055.6510		LIQUOR	LIQUOR #2 STOCK PURCHASES
		698.28	WINE#2	00050756	487539	2610199	5055.6520		WINE	LIQUOR #2 STOCK PURCHASES
		4,084.25	LIQ#3	00050756	487530	2610216	5085.6510		LIQUOR	LIQUOR #3 STOCK PURCHASES
		73.50	LIQ#3	00050756	487531	2610217	5085.6510		LIQUOR	LIQUOR #3 STOCK PURCHASES
		180.00	TAX#3	00050756	487532	2610218	5085.6540		TAXABLE MISC FOR RESALE	LIQUOR #3 STOCK PURCHASES
		2,244.88	WINE#3	00050756	487546	2610219	5085.6520		WINE	LIQUOR #3 STOCK PURCHASES
		286.90	LIQ#1	00050756	487514	5124414	5015.6510		LIQUOR	LIQUOR #1 STOCK PURCHASES
		144.00	LIQ#1	00050756	487515	5124415	5015.6510		LIQUOR	LIQUOR #1 STOCK PURCHASES
		3,764.17	LIQ#1	00050756	487516	5124416	5015.6510		LIQUOR	LIQUOR #1 STOCK PURCHASES
		99.00	WINE#1	00050756	487536	5124417	5015.6520		WINE	LIQUOR #1 STOCK PURCHASES
		84.00	TAX#1	00050756	487517	5124418	5015.6540		TAXABLE MISC FOR RESALE	LIQUOR #1 STOCK PURCHASES
		832.00	WINE#3	00050756	487543	5124449	5085.6520		WINE	LIQUOR #3 STOCK PURCHASES
		101.24	CMLIQ#1	00050756	487510	9632438	5015.6510		LIQUOR	LIQUOR #1 STOCK PURCHASES
		112.00	CMWINE#3	00050756	487540	9632441	5085.6520		WINE	LIQUOR #3 STOCK PURCHASES
		28.00	CMWINE#3	00050756	487541	9633365	5085.6520		WINE	LIQUOR #3 STOCK PURCHASES
		61.25	CMLIQ#2	00050756	487522	9635649	5055.6510		LIQUOR	LIQUOR #2 STOCK PURCHASES
		6.67	CMWINE#3	00050756	487544	9635650	5085.6520		WINE	LIQUOR #3 STOCK PURCHASES
		106.25	CMLIQ#3	00050756	487533	9635651	5085.6510		LIQUOR	LIQUOR #3 STOCK PURCHASES
		96.00	CMWINE#3	00050756	487545	9635652	5085.6520		WINE	LIQUOR #3 STOCK PURCHASES
		32,487.89								
34368	4/18/2025		<b>142722 STANTEC CONSULTING SERVICES, INC.</b>							
		826.00	PFAS MITIGATION		487262	2368564	5325.6235	2023159W	CONSULTANT SERVICES	WATER TREATMENT FCLTY MNTC/RPR
		6,375.50	WELL 16 RECOMMISSION		487261	2368566	5320.6735	2024136W	CAPITAL OUTLAY-OTHER IMPROVEME	WATER WELL/BOOSTER STN MNT/RPR
		7,201.50								
34369	4/18/2025		<b>100457 STREICHERS INC</b>							
		69.99	DOOBAY UNIFORM SHIRT		487268	11755307	1210.6281		UNIFORM/CLOTHING ALLOWANCE	POLICE FIELD OPERATIONS/PATROL
		69.99								
34370	4/18/2025		<b>158457 URBAN EDGE</b>							
		224.49	K9 FOOD		487266	42	1210.6211		SMALL TOOLS & EQUIPMENT	POLICE FIELD OPERATIONS/PATROL
		224.49								
34371	4/18/2025		<b>155941 UTILITY CONSULTANTS INC</b>							
		742.80	WATER SYSTEM TESTING MAR		487260	123480	5325.6249		OTHER CONTRACTUAL SERVICES	WATER TREATMENT FCLTY MNTC/RPR
		742.80								
34372	4/18/2025		<b>100496 VAN PAPER CO</b>							

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<b>34372</b>	<b>4/18/2025</b>		<b>100496 VAN PAPER CO</b>						<b>Continued...</b>	
		113.01	BAGS#2	00008795	487547	103838	5065.6229		GENERAL SUPPLIES	LIQUOR #2 OPERATIONS
		1.13-	DISCT#2	00008795	487548	103838	5065.6333		GENERAL-CASH DISCOUNTS	LIQUOR #2 OPERATIONS
		111.88								
<b>34373</b>	<b>4/18/2025</b>		<b>101003 WINZER FRANCHISE COMPANY</b>							
		36.36	MISC. NUTS, BOLTS & WASHERS		487563	3135144	1765.6229		GENERAL SUPPLIES	PARK EQUIPMENT MAINTENANCE
		36.63	MISC. NUTS, BOLTS & WASHERS		487563	3135144	1210.6229		GENERAL SUPPLIES	POLICE FIELD OPERATIONS/PATROL
		36.63	MISC. NUTS, BOLTS & WASHERS		487563	3135144	1350.6229		GENERAL SUPPLIES	FIRE VEHICLE MAINTENANCE
		36.63	MISC. NUTS, BOLTS & WASHERS		487563	3135144	1630.6229		GENERAL SUPPLIES	STREET EQUIPMENT MAINTENANCE
		36.93	MISC. NUTS, BOLTS & WASHERS		487563	3135144	5390.6229		GENERAL SUPPLIES	SWR EQUIP/VEHICLE MISC MNTC/RP
		183.18								
<b>325414</b>	<b>4/16/2025</b>		<b>100089 ADVANCE PROFESSIONAL</b>							
		43.00	WIRE CONDUIT		487095	1594ID460810	1350.6215		EQUIPMENT-PARTS	FIRE VEHICLE MAINTENANCE
		10.82	HOSE CLAMPS		487237	1594ID469986	1765.6215		EQUIPMENT-PARTS	PARK EQUIPMENT MAINTENANCE
		23.88	140TH ST PUMP MTC		487254	1594ID470142	5375.6229		GENERAL SUPPLIES	SEWER MAINTENANCE AND REPAIR
		47.76	HYD PARTS CLEANER		487255	1594ID470933	5325.6229		GENERAL SUPPLIES	WATER TREATMENT FCLTY MNTC/RPR
		14.14	BUILD OF MOBILE FUEL TAANK		487256	1594ID472034	5390.6215		EQUIPMENT-PARTS	SWR EQUIP/VEHICLE MISC MNTC/RP
		10.87	SHOP SUPPLIES		486789	1594PICKA	1765.6215		EQUIPMENT-PARTS	PARK EQUIPMENT MAINTENANCE
		43.23-	BRAKE CLEANER		487094	5297668	1350.6215		EQUIPMENT-PARTS	FIRE VEHICLE MAINTENANCE
		26.67-	STRAP FILTER		487236	5297670	1630.6215		EQUIPMENT-PARTS	STREET EQUIPMENT MAINTENANCE
		20.53-	MOWER SERVICING PARTS		487235	5297671	1630.6215		EQUIPMENT-PARTS	STREET EQUIPMENT MAINTENANCE
		16.79-	BUTT TERMINAL WP		487093	5297672	1350.6215		EQUIPMENT-PARTS	FIRE VEHICLE MAINTENANCE
		43.25								
<b>325415</b>	<b>4/16/2025</b>		<b>100820 AT&amp;T MOBILITY</b>							
		38.23	INSP WIRELESS DATA		487286	287318957082X04 032025	1400.6237		TELEPHONE/PAGERS	INSPECTIONS MANAGEMENT
		228.17	FIRE CELL PHONES		487286	287318957082X04 032025	1330.6237		TELEPHONE/PAGERS	FIRE OPERATIONS
		420.53	FIRE WIRELESS DATA		487286	287318957082X04 032025	1330.6237		TELEPHONE/PAGERS	FIRE OPERATIONS
		1,359.95	POL WIRELESS DATA		487286	287318957082X04 032025	1205.6237		TELEPHONE/PAGERS	POLICE RECORDS UNIT
		3,550.30	POL CELL PHONES		487286	287318957082X04 032025	1205.6237		TELEPHONE/PAGERS	POLICE RECORDS UNIT
		44.88	ENG CELL PHONE		487285	287342120685X04 032025	1510.6237		TELEPHONE/PAGERS	PW ENGINEERING & TECHNICAL
		89.76	CODE CELL PHONES		487285	287342120685X04 032025	1013.6237		TELEPHONE/PAGERS	CODE ENFORCEMENT

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325415	4/16/2025		<b>100820 AT&amp;T MOBILITY</b>						<b>Continued...</b>	
		144.74	INSP CELL PHONES		487285	287342120685X04	1400.6237		TELEPHONE/PAGERS	INSPECTIONS MANAGEMENT
						032025				
		5,876.56								
325416	4/16/2025		<b>150980 BONDESON, DOUG</b>							
		79.10	BONDESON MILEAGE - MARCH 2025		487558	20250331	2012.6277		MILEAGE/AUTO ALLOWANCE	CABLE TV JOINT POWERS
		79.10								
325417	4/16/2025		<b>137649 BOUND TREE MEDICAL LLC</b>							
		271.80	MEDICAL GLOVES (2 CASES)		482414	85627709	1330.6229		GENERAL SUPPLIES	FIRE OPERATIONS
		271.80								
325418	4/16/2025		<b>161807 BOYER TRUCKS - SAVAGE</b>							
		4,748.66	E22, 4981, ENGINE REPAIRS		487576	95S8226	1350.6265		REPAIRS-EQUIPMENT	FIRE VEHICLE MAINTENANCE
		4,748.66								
325419	4/16/2025		<b>141322 CANNON ELECTRIC MOTOR</b>							
		3,370.00	ALIMAGNET PUMP 1 REWIND		487144	46751	5507.6265		REPAIRS-EQUIPMENT	ALIMAGNET STM LIFT
		3,370.00								
325420	4/16/2025		<b>100878 CHARTER COMMUNICATIONS</b>							
		41.96	CABLE TV CMF-MAR		487289	175321001MAR25	1540.6237		TELEPHONE/PAGERS	CMF BUILDINGS & GROUNDS MNTC
		41.96								
325421	4/16/2025		<b>100282 CINTAS CORPORATION</b>							
		2.13-	LIQ3 USE TAX		487571	4223239754	5000.2330		DUE TO OTHER GOVERNMENT	LIQUOR BALANCE SHEET
		2.13	LIQ3 USE TAX		487571	4223239754	5095.6240		CLEANING SERVICE/GARBAGE REMOV	LIQUOR #3 OPERATIONS
		31.04	MATS & MOPS		487571	4223239754	5095.6240		CLEANING SERVICE/GARBAGE REMOV	LIQUOR #3 OPERATIONS
		2.13-	LIQ3 USE TAX		487580	4226166362	5000.2330		DUE TO OTHER GOVERNMENT	LIQUOR BALANCE SHEET
		2.13	LIQ3 USE TAX		487580	4226166362	5095.6240		CLEANING SERVICE/GARBAGE REMOV	LIQUOR #3 OPERATIONS
		31.04	RUGS AND MOP HEADS		487580	4226166362	5095.6240		CLEANING SERVICE/GARBAGE REMOV	LIQUOR #3 OPERATIONS
		62.08								
325422	4/16/2025		<b>163598 COLLIER, STEVE</b>							
		151.68	UB REFUND 905 CORTLAND DR S		487553	20250410C	5301.4997		WATER/SEWER ACCT REFUNDS	WATER & SEWER FUND REVENUE
		151.68								
325423	4/16/2025		<b>143882 CULLIGAN</b>							
		109.00	AVCC WATER SOFTEN LEASE APR 25		487240	157986603353MAR	1900.6249		OTHER CONTRACTUAL SERVICES	AV COMMUNITY CENTER
						25				

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325423	4/16/2025		143882 CULLIGAN						Continued...	
		109.00								
325424	4/16/2025		121468 DAWSON, LAURA							
		19.03	UB REFUND 13571 FORDHAM AVE		487554	20250410A	5301.4997		WATER/SEWER ACCT REFUNDS	WATER & SEWER FUND REVENUE
		19.03								
325425	4/16/2025		100718 GRAWE, CHARLES H							
		87.07	FOCUS SESSION BREAKFAST		487552	20250411	1010.6275		SCHOOLS/CONFERENCES/EXP LOCAL ADMINISTRATION	
		87.07								
325426	4/16/2025		101169 HAWKINS, INC.							
		2,342.00	WTP CHEMICALS CHLORINE		487142	6957371	5325.6214		CHEMICALS	WATER TREATMENT FCLTY MNTC/RPR
		2,342.00								
325427	4/16/2025		128972 HOISINGTON KOEGLER GROUP INC							
		3,107.20	PED BIKE PLAN CONSULT SERVICES		487147	240593	1500.6235	2024112G	CONSULTANT SERVICES	PW MANAGEMENT
		3,107.20								
325428	4/16/2025		118886 ISD 196							
		434.09	FIBER MAINT WITH ISD 196		487143	52500039	1030.6249		OTHER CONTRACTUAL SERVICES	INFORMATION TECHNOLOGY
		434.09								
325429	4/16/2025		162603 ISG							
		4,310.00	LANDSCAPE DESIGN SKATE PARK		487577	116185	2346.6235	PR230010	CONSULTANT SERVICES	JOHNNY CAKE RIDGE EAST PARK
		4,310.00								
325430	4/16/2025		100255 JOHNSON BROTHERS LIQUOR							
		40.44-	CMLIQ#2	00000109	487330	129115	5055.6510		LIQUOR	LIQUOR #2 STOCK PURCHASES
		20.73-	CMLIQ#2	00000109	487332	129116	5055.6510		LIQUOR	LIQUOR #2 STOCK PURCHASES
		8.09-	CMLIQ#2	00000109	487331	129117	5055.6510		LIQUOR	LIQUOR #2 STOCK PURCHASES
		8.00-	CMWINE#1	00000109	487397	129740	5015.6520		WINE	LIQUOR #1 STOCK PURCHASES
		40.00-	CMWINE#1	00000109	487398	130057	5015.6520		WINE	LIQUOR #1 STOCK PURCHASES
		22.50-	CMLIQ#1	00000109	487292	130400	5015.6510		LIQUOR	LIQUOR #1 STOCK PURCHASES
		63.00-	CMLIQ#1	00000109	487293	130619	5015.6510		LIQUOR	LIQUOR #1 STOCK PURCHASES
		8.00	WINE#2	00000109	487414	2416439	5055.6520		WINE	LIQUOR #2 STOCK PURCHASES
		814.68	LIQ#1	00000109	487294	2755070	5015.6510		LIQUOR	LIQUOR #1 STOCK PURCHASES
		12.50	FREIGHT#1	00000109	487295	2755070	5015.6550		FREIGHT ON RESALE MDSE	LIQUOR #1 STOCK PURCHASES
		144.00	LIQ#1	00000109	487296	2755071	5015.6510		LIQUOR	LIQUOR #1 STOCK PURCHASES
		1.25	FREIGHT#1	00000109	487297	2755071	5015.6550		FREIGHT ON RESALE MDSE	LIQUOR #1 STOCK PURCHASES
		1,804.85	LIQ#1	00000109	487298	2755072	5015.6510		LIQUOR	LIQUOR #1 STOCK PURCHASES



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325430	4/16/2025		100255 JOHNSON BROTHERS LIQUOR						Continued...	
		17.50	FREIGHT#1	00000109	487299	2755072	5015.6550		FREIGHT ON RESALE MDSE	LIQUOR #1 STOCK PURCHASES
		128.00	LIQ#1	00000109	487300	2755073	5015.6510		LIQUOR	LIQUOR #1 STOCK PURCHASES
		1.25	FREIGHT#1	00000109	487301	2755073	5015.6550		FREIGHT ON RESALE MDSE	LIQUOR #1 STOCK PURCHASES
		4,148.00	WINE#1	00000109	487399	2755074	5015.6520		WINE	LIQUOR #1 STOCK PURCHASES
		65.00	FREIGHT#1	00000109	487400	2755074	5015.6550		FREIGHT ON RESALE MDSE	LIQUOR #1 STOCK PURCHASES
		160.00	LIQ#1	00000109	487302	2755075	5015.6510		LIQUOR	LIQUOR #1 STOCK PURCHASES
		2.50	FREIGHT#1	00000109	487303	2755075	5015.6550		FREIGHT ON RESALE MDSE	LIQUOR #1 STOCK PURCHASES
		436.75	LIQ#1	00000109	487304	2755076	5015.6510		LIQUOR	LIQUOR #1 STOCK PURCHASES
		7.50	FREIGHT#1	00000109	487305	2755076	5015.6550		FREIGHT ON RESALE MDSE	LIQUOR #1 STOCK PURCHASES
		24.00	WINE#1	00000109	487401	2755077	5015.6520		WINE	LIQUOR #1 STOCK PURCHASES
		1.25	FREIGHT#1	00000109	487402	2755077	5015.6550		FREIGHT ON RESALE MDSE	LIQUOR #1 STOCK PURCHASES
		171.00	LIQ#2	00000109	487333	2755689	5055.6510		LIQUOR	LIQUOR #2 STOCK PURCHASES
		1.25	FREIGHT#2	00000109	487334	2755689	5055.6550		FREIGHT ON RESALE MDSE	LIQUOR #2 STOCK PURCHASES
		1,197.00	LIQ#3	00000109	487360	2755690	5085.6510		LIQUOR	LIQUOR #3 STOCK PURCHASES
		8.75	FREIGHT#3	00000109	487361	2755690	5085.6550		FREIGHT ON RESALE MDSE	LIQUOR #3 STOCK PURCHASES
		6.25	FREIGHT#3	00000109	487432	2755691	5085.6550		FREIGHT ON RESALE MDSE	LIQUOR #3 STOCK PURCHASES
		133.34	WINE#3	00000109	487433	2755692	5085.6520		WINE	LIQUOR #3 STOCK PURCHASES
		2.50	FREIGHT#3	00000109	487434	2755692	5085.6550		FREIGHT ON RESALE MDSE	LIQUOR #3 STOCK PURCHASES
		1,596.00	WINE#2	00000109	487415	2755693	5055.6520		WINE	LIQUOR #2 STOCK PURCHASES
		23.75	FREIGHT#2	00000109	487416	2755693	5055.6550		FREIGHT ON RESALE MDSE	LIQUOR #2 STOCK PURCHASES
		203.00	LIQ#2	00000109	487335	2755694	5055.6510		LIQUOR	LIQUOR #2 STOCK PURCHASES
		1.25	FREIGHT#2	00000109	487336	2755694	5055.6550		FREIGHT ON RESALE MDSE	LIQUOR #2 STOCK PURCHASES
		1,576.13	LIQ#3	00000109	487362	2755695	5085.6510		LIQUOR	LIQUOR #3 STOCK PURCHASES
		11.25	FREIGHT#3	00000109	487363	2755695	5085.6550		FREIGHT ON RESALE MDSE	LIQUOR #3 STOCK PURCHASES
		760.90	WINE#3	00000109	487435	2755696	5085.6520		WINE	LIQUOR #3 STOCK PURCHASES
		8.75	FREIGHT#3	00000109	487436	2755696	5085.6550		FREIGHT ON RESALE MDSE	LIQUOR #3 STOCK PURCHASES
		935.50	LIQ#3	00000109	487364	2755697	5085.6510		LIQUOR	LIQUOR #3 STOCK PURCHASES
		6.25	FREIGHT#3	00000109	487365	2755697	5085.6550		FREIGHT ON RESALE MDSE	LIQUOR #3 STOCK PURCHASES
		222.75	LIQ#3	00000109	487366	2755698	5085.6510		LIQUOR	LIQUOR #3 STOCK PURCHASES
		2.50	FREIGHT#3	00000109	487367	2755698	5085.6550		FREIGHT ON RESALE MDSE	LIQUOR #3 STOCK PURCHASES
		3,104.00	WINE#3	00000109	487437	2755699	5085.6520		WINE	LIQUOR #3 STOCK PURCHASES
		47.50	FREIGHT#3	00000109	487438	2755699	5085.6550		FREIGHT ON RESALE MDSE	LIQUOR #3 STOCK PURCHASES
		121.50	LIQ#3	00000109	487368	2755700	5085.6510		LIQUOR	LIQUOR #3 STOCK PURCHASES
		1.25	FREIGHT#3	00000109	487369	2755700	5085.6550		FREIGHT ON RESALE MDSE	LIQUOR #3 STOCK PURCHASES
		460.00	WINE#3	00000109	487439	2755701	5085.6520		WINE	LIQUOR #3 STOCK PURCHASES
		7.50	FREIGHT#3	00000109	487440	2755701	5085.6550		FREIGHT ON RESALE MDSE	LIQUOR #3 STOCK PURCHASES
		297.00	LIQ#1	00000109	487308	2757524	5015.6510		LIQUOR	LIQUOR #1 STOCK PURCHASES
		7.50	FREIGHT#1	00000109	487309	2757524	5015.6550		FREIGHT ON RESALE MDSE	LIQUOR #1 STOCK PURCHASES
		4,281.50	LIQ#3	00000109	487372	2757652	5085.6510		LIQUOR	LIQUOR #3 STOCK PURCHASES

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325430	4/16/2025		100255 JOHNSON BROTHERS LIQUOR						Continued...	
		2,060.50	LIQ#1	00000109	487310	2757653	5015.6510		LIQUOR	LIQUOR #1 STOCK PURCHASES
		2,335.50	LIQ#2	00000109	487337	2757787	5055.6510		LIQUOR	LIQUOR #2 STOCK PURCHASES
		58.85	FREIGHT#2	00000109	487338	2757787	5055.6550		FREIGHT ON RESALE MDSE	LIQUOR #2 STOCK PURCHASES
		1,367.52	LIQ#1	00000109	487306	2757788	5015.6510		LIQUOR	LIQUOR #1 STOCK PURCHASES
		10.00	FREIGHT#1	00000109	487307	2757788	5015.6550		FREIGHT ON RESALE MDSE	LIQUOR #1 STOCK PURCHASES
		683.76	WINE#2	00000109	487417	2757789	5055.6520		WINE	LIQUOR #2 STOCK PURCHASES
		5.00	FREIGHT#2	00000109	487418	2757789	5055.6550		FREIGHT ON RESALE MDSE	LIQUOR #2 STOCK PURCHASES
		1,367.52	LIQ#3	00000109	487370	2757790	5085.6510		LIQUOR	LIQUOR #3 STOCK PURCHASES
		10.00	FREIGHT#3	00000109	487371	2757790	5085.6550		FREIGHT ON RESALE MDSE	LIQUOR #3 STOCK PURCHASES
		147.10	WINE#1	00000109	487403	2759088	5015.6520		WINE	LIQUOR #1 STOCK PURCHASES
		5.00	FREIGHT#1	00000109	487404	2759088	5015.6550		FREIGHT ON RESALE MDSE	LIQUOR #1 STOCK PURCHASES
		685.00	LIQ#2	00000109	487339	2760250	5055.6510		LIQUOR	LIQUOR #2 STOCK PURCHASES
		7.50	FREIGHT#2	00000109	487340	2760250	5055.6550		FREIGHT ON RESALE MDSE	LIQUOR #2 STOCK PURCHASES
		6,072.20	LIQ#1	00000109	487311	2760251	5015.6510		LIQUOR	LIQUOR #1 STOCK PURCHASES
		69.88	FREIGHT#1	00000109	487312	2760251	5015.6550		FREIGHT ON RESALE MDSE	LIQUOR #1 STOCK PURCHASES
		198.00	LIQ#2	00000109	487341	2760252	5055.6510		LIQUOR	LIQUOR #2 STOCK PURCHASES
		1.25	FREIGHT#2	00000109	487342	2760252	5055.6550		FREIGHT ON RESALE MDSE	LIQUOR #2 STOCK PURCHASES
		2,900.00	LIQ#1	00000109	487313	2760253	5015.6510		LIQUOR	LIQUOR #1 STOCK PURCHASES
		44.37	FREIGHT#1	00000109	487314	2760253	5015.6550		FREIGHT ON RESALE MDSE	LIQUOR #1 STOCK PURCHASES
		322.29	WINE#1	00000109	487405	2760254	5015.6520		WINE	LIQUOR #1 STOCK PURCHASES
		7.15	FREIGHT#1	00000109	487406	2760254	5015.6550		FREIGHT ON RESALE MDSE	LIQUOR #1 STOCK PURCHASES
		1,482.50	LIQ#1	00000109	487315	2760255	5015.6510		LIQUOR	LIQUOR #1 STOCK PURCHASES
		220.00	WINE#1	00000109	487316	2760255	5015.6520		WINE	LIQUOR #1 STOCK PURCHASES
		22.50	FREIGHT#1	00000109	487317	2760255	5015.6550		FREIGHT ON RESALE MDSE	LIQUOR #1 STOCK PURCHASES
		1.25	FREIGHT#1	00000109	487407	2760256	5015.6550		FREIGHT ON RESALE MDSE	LIQUOR #1 STOCK PURCHASES
		799.10	THC#1	00000109	487318	2760257	5015.6515		THC/CBD	LIQUOR #1 STOCK PURCHASES
		1,528.00	LIQ#1	00000109	487319	2760258	5015.6510		LIQUOR	LIQUOR #1 STOCK PURCHASES
		18.75	FREIGHT#1	00000109	487320	2760258	5015.6550		FREIGHT ON RESALE MDSE	LIQUOR #1 STOCK PURCHASES
		696.30	WINE#1	00000109	487408	2760259	5015.6520		WINE	LIQUOR #1 STOCK PURCHASES
		15.00	FREIGHT#1	00000109	487409	2760259	5015.6550		FREIGHT ON RESALE MDSE	LIQUOR #1 STOCK PURCHASES
		240.73	WINE#2	00000109	487419	2760260	5055.6520		WINE	LIQUOR #2 STOCK PURCHASES
		5.00	FREIGHT#2	00000109	487420	2760260	5055.6550		FREIGHT ON RESALE MDSE	LIQUOR #2 STOCK PURCHASES
		3,371.68	LIQ#2	00000109	487343	2760261	5055.6510		LIQUOR	LIQUOR #2 STOCK PURCHASES
		33.75	FREIGHT#2	00000109	487344	2760261	5055.6550		FREIGHT ON RESALE MDSE	LIQUOR #2 STOCK PURCHASES
		738.37	LIQ#2	00000109	487345	2760262	5055.6510		LIQUOR	LIQUOR #2 STOCK PURCHASES
		10.00	FREIGHT#2	00000109	487346	2760262	5055.6550		FREIGHT ON RESALE MDSE	LIQUOR #2 STOCK PURCHASES
		686.45	WINE#2	00000109	487421	2760263	5055.6520		WINE	LIQUOR #2 STOCK PURCHASES
		7.50	FREIGHT#2	00000109	487422	2760263	5055.6550		FREIGHT ON RESALE MDSE	LIQUOR #2 STOCK PURCHASES
		258.20	THC#2	00000109	487347	2760264	5055.6515		THC/CBD	LIQUOR #2 STOCK PURCHASES

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325430	4/16/2025		100255 JOHNSON BROTHERS LIQUOR						Continued...	
		432.00	LIQ#2	00000109	487348	2760265	5055.6510		LIQUOR	LIQUOR #2 STOCK PURCHASES
		5.00	FREIGHT#2	00000109	487349	2760265	5055.6550		FREIGHT ON RESALE MDSE	LIQUOR #2 STOCK PURCHASES
		532.39	WINE#2	00000109	487423	2760266	5055.6520		WINE	LIQUOR #2 STOCK PURCHASES
		10.10	FREIGHT#2	00000109	487424	2760266	5055.6550		FREIGHT ON RESALE MDSE	LIQUOR #2 STOCK PURCHASES
		398.00	LIQ#3	00000109	487373	2760898	5085.6510		LIQUOR	LIQUOR #3 STOCK PURCHASES
		5.00	FREIGHT#3	00000109	487374	2760898	5085.6550		FREIGHT ON RESALE MDSE	LIQUOR #3 STOCK PURCHASES
		88.00	WINE#3	00000109	487441	2760899	5085.6520		WINE	LIQUOR #3 STOCK PURCHASES
		1.25	FREIGHT#3	00000109	487442	2760899	5085.6550		FREIGHT ON RESALE MDSE	LIQUOR #3 STOCK PURCHASES
		108.00	LIQ#3	00000109	487375	2760900	5085.6510		LIQUOR	LIQUOR #3 STOCK PURCHASES
		1.25	FREIGHT#3	00000109	487376	2760900	5085.6550		FREIGHT ON RESALE MDSE	LIQUOR #3 STOCK PURCHASES
		145.46	WINE#3	00000109	487443	2760901	5085.6520		WINE	LIQUOR #3 STOCK PURCHASES
		2.50	FREIGHT#3	00000109	487444	2760901	5085.6550		FREIGHT ON RESALE MDSE	LIQUOR #3 STOCK PURCHASES
		5,296.45	LIQ#3	00000109	487377	2760902	5085.6510		LIQUOR	LIQUOR #3 STOCK PURCHASES
		35.00	FREIGHT#3	00000109	487378	2760902	5085.6550		FREIGHT ON RESALE MDSE	LIQUOR #3 STOCK PURCHASES
		1,989.17	LIQ#3	00000109	487379	2760903	5085.6510		LIQUOR	LIQUOR #3 STOCK PURCHASES
		110.00	WINE#3	00000109	487380	2760903	5085.6520		WINE	LIQUOR #3 STOCK PURCHASES
		23.75	FREIGHT#3	00000109	487381	2760903	5085.6550		FREIGHT ON RESALE MDSE	LIQUOR #3 STOCK PURCHASES
		1,231.25	WINE#3	00000109	487445	2760904	5085.6520		WINE	LIQUOR #3 STOCK PURCHASES
		12.50	FREIGHT#3	00000109	487446	2760904	5085.6550		FREIGHT ON RESALE MDSE	LIQUOR #3 STOCK PURCHASES
		2,840.20	THC#3	00000109	487382	2760905	5085.6515		THC/CBD	LIQUOR #3 STOCK PURCHASES
		812.75	LIQ#3	00000109	487383	2760906	5085.6510		LIQUOR	LIQUOR #3 STOCK PURCHASES
		6.25	FREIGHT#3	00000109	487384	2760906	5085.6550		FREIGHT ON RESALE MDSE	LIQUOR #3 STOCK PURCHASES
		1,303.55	WINE#3	00000109	487447	2760907	5085.6520		WINE	LIQUOR #3 STOCK PURCHASES
		22.81	FREIGHT#3	00000109	487448	2760907	5085.6550		FREIGHT ON RESALE MDSE	LIQUOR #3 STOCK PURCHASES
		886.15	LIQ#1	00000109	487321	2764864	5015.6510		LIQUOR	LIQUOR #1 STOCK PURCHASES
		7.50	FREIGHT#1	00000109	487322	2764864	5015.6550		FREIGHT ON RESALE MDSE	LIQUOR #1 STOCK PURCHASES
		1,460.60	WINE#1	00000109	487410	2764865	5015.6520		WINE	LIQUOR #1 STOCK PURCHASES
		15.00	FREIGHT#1	00000109	487411	2764865	5015.6550		FREIGHT ON RESALE MDSE	LIQUOR #1 STOCK PURCHASES
		74.00	TAX#1	00000109	487323	2764866	5015.6540		TAXABLE MISC FOR RESALE	LIQUOR #1 STOCK PURCHASES
		2.50	FREIGHT#1	00000109	487324	2764866	5015.6550		FREIGHT ON RESALE MDSE	LIQUOR #1 STOCK PURCHASES
		2,288.80	LIQ#1	00000109	487325	2764867	5015.6510		LIQUOR	LIQUOR #1 STOCK PURCHASES
		16.25	FREIGHT#1	00000109	487326	2764867	5015.6550		FREIGHT ON RESALE MDSE	LIQUOR #1 STOCK PURCHASES
		135.00	LIQ#1	00000109	487327	2764868	5015.6510		LIQUOR	LIQUOR #1 STOCK PURCHASES
		93.40	WINE#1	00000109	487328	2764868	5015.6520		WINE	LIQUOR #1 STOCK PURCHASES
		2.50	FREIGHT#1	00000109	487329	2764868	5015.6550		FREIGHT ON RESALE MDSE	LIQUOR #1 STOCK PURCHASES
		1,208.39	WINE#1	00000109	487412	2764869	5015.6520		WINE	LIQUOR #1 STOCK PURCHASES
		25.00	FREIGHT#1	00000109	487413	2764869	5015.6550		FREIGHT ON RESALE MDSE	LIQUOR #1 STOCK PURCHASES
		169.00	LIQ#2	00000109	487350	2765507	5055.6510		LIQUOR	LIQUOR #2 STOCK PURCHASES
		1.25	FREIGHT#2	00000109	487351	2765507	5055.6550		FREIGHT ON RESALE MDSE	LIQUOR #2 STOCK PURCHASES

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		840.00	LIQ#3	00000109	487385	2765508	5085.6510		LIQUOR	LIQUOR #3 STOCK PURCHASES
		6.25	FREIGHT#3	00000109	487386	2765508	5085.6550		FREIGHT ON RESALE MDSE	LIQUOR #3 STOCK PURCHASES
		1.25	FREIGHT#2	00000109	487352	2765509	5055.6550		FREIGHT ON RESALE MDSE	LIQUOR #2 STOCK PURCHASES
		1.25	FREIGHT#2	00000109	487425	2765510	5055.6550		FREIGHT ON RESALE MDSE	LIQUOR #2 STOCK PURCHASES
		335.00	THC#2	00000109	487353	2765511	5055.6515		THC/CBD	LIQUOR #2 STOCK PURCHASES
		562.50	LIQ#3	00000109	487387	2765512	5085.6510		LIQUOR	LIQUOR #3 STOCK PURCHASES
		5.00	FREIGHT#3	00000109	487388	2765512	5085.6550		FREIGHT ON RESALE MDSE	LIQUOR #3 STOCK PURCHASES
		160.00	WINE#3	00000109	487449	2765513	5085.6520		WINE	LIQUOR #3 STOCK PURCHASES
		1.25	FREIGHT#3	00000109	487450	2765513	5085.6550		FREIGHT ON RESALE MDSE	LIQUOR #3 STOCK PURCHASES
		72.73	WINE#2	00000109	487426	2765514	5055.6520		WINE	LIQUOR #2 STOCK PURCHASES
		1.25	FREIGHT#2	00000109	487427	2765514	5055.6550		FREIGHT ON RESALE MDSE	LIQUOR #2 STOCK PURCHASES
		256.00	WINE#3	00000109	487451	2765515	5085.6520		WINE	LIQUOR #3 STOCK PURCHASES
		5.00	FREIGHT#3	00000109	487452	2765515	5085.6550		FREIGHT ON RESALE MDSE	LIQUOR #3 STOCK PURCHASES
		859.79	LIQ#2	00000109	487354	2765516	5055.6510		LIQUOR	LIQUOR #2 STOCK PURCHASES
		7.50	FREIGHT#2	00000109	487355	2765516	5055.6550		FREIGHT ON RESALE MDSE	LIQUOR #2 STOCK PURCHASES
		464.05	LIQ#2	00000109	487356	2765517	5055.6510		LIQUOR	LIQUOR #2 STOCK PURCHASES
		5.00	FREIGHT#2	00000109	487357	2765517	5055.6550		FREIGHT ON RESALE MDSE	LIQUOR #2 STOCK PURCHASES
		564.05	WINE#2	00000109	487428	2765518	5055.6520		WINE	LIQUOR #2 STOCK PURCHASES
		7.50	FREIGHT#2	00000109	487429	2765518	5055.6550		FREIGHT ON RESALE MDSE	LIQUOR #2 STOCK PURCHASES
		354.00	LIQ#2	00000109	487358	2765520	5055.6510		LIQUOR	LIQUOR #2 STOCK PURCHASES
		2.50	FREIGHT#2	00000109	487359	2765520	5055.6550		FREIGHT ON RESALE MDSE	LIQUOR #2 STOCK PURCHASES
		188.00	WINE#2	00000109	487430	2765521	5055.6520		WINE	LIQUOR #2 STOCK PURCHASES
		3.75	FREIGHT#2	00000109	487431	2765521	5055.6550		FREIGHT ON RESALE MDSE	LIQUOR #2 STOCK PURCHASES
		282.50	LIQ#3	00000109	487389	2765522	5085.6510		LIQUOR	LIQUOR #3 STOCK PURCHASES
		2.50	FREIGHT#3	00000109	487390	2765522	5085.6550		FREIGHT ON RESALE MDSE	LIQUOR #3 STOCK PURCHASES
		397.00	LIQ#3	00000109	487391	2765523	5085.6510		LIQUOR	LIQUOR #3 STOCK PURCHASES
		3.75	FREIGHT#3	00000109	487392	2765523	5085.6550		FREIGHT ON RESALE MDSE	LIQUOR #3 STOCK PURCHASES
		1,085.45	WINE#3	00000109	487453	2765524	5085.6520		WINE	LIQUOR #3 STOCK PURCHASES
		12.50	FREIGHT#3	00000109	487454	2765524	5085.6550		FREIGHT ON RESALE MDSE	LIQUOR #3 STOCK PURCHASES
		74.00	TAX#3	00000109	487393	2765525	5085.6540		TAXABLE MISC FOR RESALE	LIQUOR #3 STOCK PURCHASES
		2.50	FREIGHT#3	00000109	487394	2765525	5085.6550		FREIGHT ON RESALE MDSE	LIQUOR #3 STOCK PURCHASES
		112.00	LIQ#3	00000109	487395	2765526	5085.6510		LIQUOR	LIQUOR #3 STOCK PURCHASES
		1.25	FREIGHT#3	00000109	487396	2765526	5085.6550		FREIGHT ON RESALE MDSE	LIQUOR #3 STOCK PURCHASES
		824.75	WINE#3	00000109	487455	2765527	5085.6520		WINE	LIQUOR #3 STOCK PURCHASES
		11.25	FREIGHT#3	00000109	487456	2765527	5085.6550		FREIGHT ON RESALE MDSE	LIQUOR #3 STOCK PURCHASES
		80,574.65								
325431	4/16/2025		145922 KLAUSLER, TIMOTHY WILLIAM							
		39.20	KLAUSLER MILEAGE - MARCH 202		487559	20250317	2012.6277		MILEAGE/AUTO ALLOWANCE	CABLE TV JOINT POWERS
		39.20								

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325431	4/16/2025		145922 KLAUSLER, TIMOTHY WILLIAM						Continued...	
325432	4/16/2025		163581 LEHMANN, SCOTT							
		150.00	REFUND OF AVCC DEPOSIT		487274	84710346	1000.2410		CUSTOMER DEPOSITS	GENERAL FUND BALANCE SHEET
		150.00								
325433	4/16/2025		162817 LIFT LEADERSHIP INSTITUTE FOR TEAMS							
		2,000.00	MAR 27 P&R LEADERSHIP TRAINING		487578	1016	1700.6275		SCHOOLS/CONFERENCES/EXP LOCAL PARK & RECREATION MANAGEMENT	
		2,000.00								
325434	4/16/2025		145429 LUBE-TECH RELIABLE PLUS INC							
		56.42	GOLF USE TAX		482231	3703948	2200.2330		DUE TO OTHER GOVERNMENT	VALLEYWOOD GOLF
		56.42	GOLF USE TAX		482231	3703948	2240.6229		GENERAL SUPPLIES	GOLF EQUIPMENT MAINTENANCE
		820.68	ANITFREEZE		482231	3703948	2240.6229		GENERAL SUPPLIES	GOLF EQUIPMENT MAINTENANCE
		820.68								
325435	4/16/2025		119353 MADISON NATIONAL LIFE INS CO INC							
		228.15	STD FEES MARCH		487567	20250401	1020.6235		CONSULTANT SERVICES	HUMAN RESOURCES
		2,766.92	LTD INSURANCE MARCH		487567	20250401	9000.2113		ACCRUED LTD	PAYROLL CLEARING BAL SHEET
		2,995.07								
325436	4/16/2025		155727 MATTHEWS, JENIFER							
		1,696.00	MON/WED. YOGA INSTR.1/27-4/9		487579	20250409	1920.6249		OTHER CONTRACTUAL SERVICES	SENIOR CENTER
		1,696.00								
325437	4/16/2025		100309 MENARDS							
		195.79	SHOP SUPPLIES,SHOP TOOLS CMF		487277	89854	1540.6229		GENERAL SUPPLIES	CMF BUILDINGS & GROUNDS MNTC
		84.23	MISC. POOL SUPPLIES		487273	89870	1940.6229		GENERAL SUPPLIES	AQUATIC SWIM CENTER
		50.43	CLEANING SUPPLIES CMF PO 737		487276	89907	1540.6229		GENERAL SUPPLIES	CMF BUILDINGS & GROUNDS MNTC
		24.05	PLUNGER, CARPET CLEANER, SCREW		487265	89966	1060.6229		GENERAL SUPPLIES	MUNICIPAL BLDG & GROUNDS MNTC
		354.50								
325438	4/16/2025		163485 MIDSTATES VALUATION LLC							
		6,500.00	PROPERTY APPRAISAL - WINGS		487148	MN02255548	4732.6235	2019106R	CONSULTANT SERVICES	TIF#1 CAPITAL PROJECTS
		6,500.00								
325439	4/16/2025		155164 MN OCCUPATIONAL HEALTH							
		1,560.00	NEW OFFICER ASSESSMENTS		487238	478603	1210.6235		CONSULTANT SERVICES	POLICE FIELD OPERATIONS/PATROL
		1,560.00								
325440	4/16/2025		163413 NILFISK							

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325440	4/16/2025		163413 NILFISK						Continued...	
		12,957.85	HAYES FLOOR SCRUBBER		487575	3300181435A	5260.6740		CAPITAL OUTLAY-MACH/EQ/OTHER	ARENA 2 MANAGEMENT-HAYES
		12,957.85								
325441	4/16/2025		100751 PHILLIPS WINE & SPIRITS INC							
		11.33-	CMLIQ#1	00000106	487495	546776	5015.6510		LIQUOR	LIQUOR #1 STOCK PURCHASES
		375.40	LIQ#1	00000106	487457	6950048	5015.6510		LIQUOR	LIQUOR #1 STOCK PURCHASES
		6.25	FREIGHT#1	00000106	487458	6950048	5015.6550		FREIGHT ON RESALE MDSE	LIQUOR #1 STOCK PURCHASES
		662.00	LIQ#1	00000106	487487	6950049	5015.6510		LIQUOR	LIQUOR #1 STOCK PURCHASES
		736.75	WINE#1	00000106	487488	6950049	5015.6520		WINE	LIQUOR #1 STOCK PURCHASES
		43.75	FREIGHT#1	00000106	487489	6950049	5015.6550		FREIGHT ON RESALE MDSE	LIQUOR #1 STOCK PURCHASES
		211.50	WINE#2	00000106	487496	6950644	5055.6520		WINE	LIQUOR #2 STOCK PURCHASES
		1.25	FREIGHT#2	00000106	487497	6950644	5055.6550		FREIGHT ON RESALE MDSE	LIQUOR #2 STOCK PURCHASES
		99.25	LIQ#2	00000106	487467	6950645	5055.6510		LIQUOR	LIQUOR #2 STOCK PURCHASES
		1.25	FREIGHT#2	00000106	487468	6950645	5055.6550		FREIGHT ON RESALE MDSE	LIQUOR #2 STOCK PURCHASES
		672.65	LIQ#3	00000106	487477	6950646	5085.6510		LIQUOR	LIQUOR #3 STOCK PURCHASES
		6.88	FREIGHT#3	00000106	487478	6950646	5085.6550		FREIGHT ON RESALE MDSE	LIQUOR #3 STOCK PURCHASES
		268.50	LIQ#3	00000106	487503	6950647	5085.6510		LIQUOR	LIQUOR #3 STOCK PURCHASES
		3,136.50	WINE#3	00000106	487504	6950647	5085.6520		WINE	LIQUOR #3 STOCK PURCHASES
		72.50	FREIGHT#3	00000106	487505	6950647	5085.6550		FREIGHT ON RESALE MDSE	LIQUOR #3 STOCK PURCHASES
		171.90	LIQ#3	00000106	487479	6950648	5085.6510		LIQUOR	LIQUOR #3 STOCK PURCHASES
		6.25	FREIGHT#3	00000106	487480	6950648	5085.6550		FREIGHT ON RESALE MDSE	LIQUOR #3 STOCK PURCHASES
		549.88	LIQ#1	00000106	487459	6953933	5015.6510		LIQUOR	LIQUOR #1 STOCK PURCHASES
		8.75	FREIGHT#1	00000106	487460	6953933	5015.6550		FREIGHT ON RESALE MDSE	LIQUOR #1 STOCK PURCHASES
		308.70	LIQ#1	00000106	487490	6953934	5015.6510		LIQUOR	LIQUOR #1 STOCK PURCHASES
		1,389.44	WINE#1	00000106	487491	6953934	5015.6520		WINE	LIQUOR #1 STOCK PURCHASES
		43.75	FREIGHT#1	00000106	487492	6953934	5015.6550		FREIGHT ON RESALE MDSE	LIQUOR #1 STOCK PURCHASES
		63.80	TAX#1	00000106	487461	6953935	5015.6540		TAXABLE MISC FOR RESALE	LIQUOR #1 STOCK PURCHASES
		2.50	FREIGHT#1	00000106	487462	6953935	5015.6550		FREIGHT ON RESALE MDSE	LIQUOR #1 STOCK PURCHASES
		570.80	LIQ#2	00000106	487469	6953936	5055.6510		LIQUOR	LIQUOR #2 STOCK PURCHASES
		6.25	FREIGHT#2	00000106	487470	6953936	5055.6550		FREIGHT ON RESALE MDSE	LIQUOR #2 STOCK PURCHASES
		102.90	LIQ#2	00000106	487498	6953937	5055.6510		LIQUOR	LIQUOR #2 STOCK PURCHASES
		1,807.01	WINE#2	00000106	487499	6953937	5055.6520		WINE	LIQUOR #2 STOCK PURCHASES
		36.88	FREIGHT#2	00000106	487500	6953937	5055.6550		FREIGHT ON RESALE MDSE	LIQUOR #2 STOCK PURCHASES
		31.00	TAX#2	00000106	487471	6953938	5055.6540		TAXABLE MISC FOR RESALE	LIQUOR #2 STOCK PURCHASES
		1.25	FREIGHT#2	00000106	487472	6953938	5055.6550		FREIGHT ON RESALE MDSE	LIQUOR #2 STOCK PURCHASES
		607.75	LIQ#3	00000106	487481	6954495	5085.6510		LIQUOR	LIQUOR #3 STOCK PURCHASES
		5.00	FREIGHT#3	00000106	487482	6954495	5085.6550		FREIGHT ON RESALE MDSE	LIQUOR #3 STOCK PURCHASES
		576.00	WINE#3	00000106	487506	6954496	5085.6520		WINE	LIQUOR #3 STOCK PURCHASES
		11.25	FREIGHT#3	00000106	487507	6954496	5085.6550		FREIGHT ON RESALE MDSE	LIQUOR #3 STOCK PURCHASES
		1,564.60	LIQ#1	00000106	487463	6957499	5015.6510		LIQUOR	LIQUOR #1 STOCK PURCHASES

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<b>325441</b>	<b>4/16/2025</b>		<b>100751 PHILLIPS WINE &amp; SPIRITS INC</b>						<b>Continued...</b>	
		23.75	FREIGHT#1	00000106	487464	6957499	5015.6550		FREIGHT ON RESALE MDSE	LIQUOR #1 STOCK PURCHASES
		710.72	WINE#1	00000106	487493	6957500	5015.6520		WINE	LIQUOR #1 STOCK PURCHASES
		20.00	FREIGHT#1	00000106	487494	6957500	5015.6550		FREIGHT ON RESALE MDSE	LIQUOR #1 STOCK PURCHASES
		216.45	TAX#1	00000106	487465	6957501	5015.6540		TAXABLE MISC FOR RESALE	LIQUOR #1 STOCK PURCHASES
		5.63	FREIGHT#1	00000106	487466	6957501	5015.6550		FREIGHT ON RESALE MDSE	LIQUOR #1 STOCK PURCHASES
		182.00	LIQ#2	00000106	487473	6958084	5055.6510		LIQUOR	LIQUOR #2 STOCK PURCHASES
		1.88	FREIGHT#2	00000106	487474	6958084	5055.6550		FREIGHT ON RESALE MDSE	LIQUOR #2 STOCK PURCHASES
		1,248.76	WINE#2	00000106	487501	6958085	5055.6520		WINE	LIQUOR #2 STOCK PURCHASES
		27.50	FREIGHT#2	00000106	487502	6958085	5055.6550		FREIGHT ON RESALE MDSE	LIQUOR #2 STOCK PURCHASES
		88.00	TAX#2	00000106	487475	6958086	5055.6540		TAXABLE MISC FOR RESALE	LIQUOR #2 STOCK PURCHASES
		1.25	FREIGHT#2	00000106	487476	6958086	5055.6550		FREIGHT ON RESALE MDSE	LIQUOR #2 STOCK PURCHASES
		629.08	LIQ#3	00000106	487483	6958087	5085.6510		LIQUOR	LIQUOR #3 STOCK PURCHASES
		5.63	FREIGHT#3	00000106	487484	6958087	5085.6550		FREIGHT ON RESALE MDSE	LIQUOR #3 STOCK PURCHASES
		624.95	WINE#3	00000106	487508	6958088	5085.6520		WINE	LIQUOR #3 STOCK PURCHASES
		11.25	FREIGHT#3	00000106	487509	6958088	5085.6550		FREIGHT ON RESALE MDSE	LIQUOR #3 STOCK PURCHASES
		618.27	TAX#3	00000106	487485	6958089	5085.6540		TAXABLE MISC FOR RESALE	LIQUOR #3 STOCK PURCHASES
		11.88	FREIGHT#3	00000106	487486	6958089	5085.6550		FREIGHT ON RESALE MDSE	LIQUOR #3 STOCK PURCHASES
		<u>18,575.76</u>								
<b>325442</b>	<b>4/16/2025</b>		<b>119682 PLAYPOWER LT FARMINGTON INC</b>							
		111.00	JCRPE CAPS		487271	1400293296	1735.6229		GENERAL SUPPLIES	PARK PLAY EQUIPMENT MAINTENANC
		<u>111.00</u>								
<b>325443</b>	<b>4/16/2025</b>		<b>128528 RETHERFORD, RANDY &amp; CINDY</b>							
		12.81	UB REFUND 14036 ESSEX CT		487555	20250410B	5301.4997		WATER/SEWER ACCT REFUNDS	WATER & SEWER FUND REVENUE
		<u>12.81</u>								
<b>325444</b>	<b>4/16/2025</b>		<b>157211 THE STANDARD</b>							
		4.05	SUPP/DEP ADJ ACOSTA		487566	20250401	9000.2118		ACCRUED LIFE INSUR-SUPP/DEPEND	PAYROLL CLEARING BAL SHEET
		347.25	BASIC LIFE INAURANCE		487566	20250401	9000.2117		ACCRUED LIFE INSUR-BASIC	PAYROLL CLEARING BAL SHEET
		9,745.80	SUPP/DEP LIFE INS		487566	20250401	9000.2118		ACCRUED LIFE INSUR-SUPP/DEPEND	PAYROLL CLEARING BAL SHEET
		<u>10,097.10</u>								
<b>325445</b>	<b>4/16/2025</b>		<b>100631 VERIZON WIRELESS</b>							
		41.64	POL CELL PHONE		487287	6107487788	1205.6237		TELEPHONE/PAGERS	POLICE RECORDS UNIT
		120.03	POL WIRELESS DATA		487287	6107487788	1205.6237		TELEPHONE/PAGERS	POLICE RECORDS UNIT
		41.64	POL CELL PHONE		487288	6109986126	1205.6237		TELEPHONE/PAGERS	POLICE RECORDS UNIT
		120.03	POL WIRELESS DATA		487288	6109986126	1205.6237		TELEPHONE/PAGERS	POLICE RECORDS UNIT
		40.01	IA1 WIRELESS DATA IPADS		487290	6110219177	5250.6237		TELEPHONE/PAGERS	ARENA 1 CONCESSIONS
		40.01	UTIL WIRELESS DATA IPADS		487290	6110219177	5305.6237		TELEPHONE/PAGERS	WATER MGMT/REPORT/DATA ENTRY



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325445	4/16/2025		100631 VERIZON WIRELESS						Continued...	
		403.36								
325446	4/16/2025		163582 WYMAN, DEBBIE							
		120.00	REFUND PROGRAM REGISTRATION		487275	84745381	1000.2375		UNEARNED REVENUE	GENERAL FUND BALANCE SHEET
		120.00								
20250347	3/24/2025		157977 WEX HEALTH INC							
		522.31	FLEX SPENDING DAYCARE 2025		487550	20250324	9000.2119		ACCRUED FLEX SPENDING	PAYROLL CLEARING BAL SHEET
		522.31								
20250348	3/31/2025		157977 WEX HEALTH INC							
		384.62	FLEX SPENDING DAYCARE 2025		487551	20250331	9000.2119		ACCRUED FLEX SPENDING	PAYROLL CLEARING BAL SHEET
		384.62								
20250407	4/11/2025		148015 EMPOWER							
		415.00	MNDGP-ROTH 457 CONTRIBUTIONS		487140	40925920349	9000.2120		ACCRUED BENEFIT LIABILITY	PAYROLL CLEARING BAL SHEET
		3,255.00	MNDGP-457 CONTRIBUTIONS		487140	40925920349	9000.2120		ACCRUED BENEFIT LIABILITY	PAYROLL CLEARING BAL SHEET
		3,670.00								
20250408	4/11/2025		148869 EMPOWER (HCSP)							
		369.86	SERGEANT HCSP FUNDING-GROSS WA		487130	409259203410	9000.2120		ACCRUED BENEFIT LIABILITY	PAYROLL CLEARING BAL SHEET
		872.08	AFSCME HCSP FUNDING-GROSS WAGE		487130	409259203410	9000.2120		ACCRUED BENEFIT LIABILITY	PAYROLL CLEARING BAL SHEET
		1,270.53	ADMIN HCSP FUNDING-GROSS WAGES		487130	409259203410	9000.2120		ACCRUED BENEFIT LIABILITY	PAYROLL CLEARING BAL SHEET
		1,507.71	SCH 2 HCSP FUNDING-GROSS WAGES		487130	409259203410	9000.2120		ACCRUED BENEFIT LIABILITY	PAYROLL CLEARING BAL SHEET
		1,858.53	SCH 1 HCSP FUNDING-GROSS WAGES		487130	409259203410	9000.2120		ACCRUED BENEFIT LIABILITY	PAYROLL CLEARING BAL SHEET
		1,871.85	POLICE HCSP FUNDING-GROSS WAGE		487130	409259203410	9000.2120		ACCRUED BENEFIT LIABILITY	PAYROLL CLEARING BAL SHEET
		16,147.67	HCSP FUNDING-ANN LV/COMP		487130	409259203410	9000.2120		ACCRUED BENEFIT LIABILITY	PAYROLL CLEARING BAL SHEET
		23,898.23								
20250409	4/14/2025		102664 US BANK							
		11,969.69	EMPLOYEE MEDICARE		487138	40925920347	9000.2111		ACCRUED FEDERAL/FICA	PAYROLL CLEARING BAL SHEET
		11,969.69	CITY SHARE MEDICARE		487138	40925920347	9000.2111		ACCRUED FEDERAL/FICA	PAYROLL CLEARING BAL SHEET
		33,595.58	EMPLOYEE FICA		487138	40925920347	9000.2111		ACCRUED FEDERAL/FICA	PAYROLL CLEARING BAL SHEET
		33,595.58	CITY SHARE FICA		487138	40925920347	9000.2111		ACCRUED FEDERAL/FICA	PAYROLL CLEARING BAL SHEET
		78,782.33	FEDERAL TAXES PR		487138	40925920347	9000.2111		ACCRUED FEDERAL/FICA	PAYROLL CLEARING BAL SHEET
		169,912.87								
20250410	4/11/2025		101238 MINNESOTA CHILD SUPPORT PAYMEN							
		443.00	CHILD SUPPORT DEDUCTIONS		487137	40925920346	9000.2120		ACCRUED BENEFIT LIABILITY	PAYROLL CLEARING BAL SHEET
		443.00								

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20250410	4/11/2025		101238 MINNESOTA CHILD SUPPORT PAYMEN						Continued...	
20250411	4/14/2025		100657 MN DEPT OF REVENUE							
		36,173.62	STATE TAX WITHHOLDING		487136	40925920345	9000.2112		ACCRUED STATE W/H	PAYROLL CLEARING BAL SHEET
		36,173.62								
20250412	4/14/2025		100392 PUBLIC EMPLOYEES RETIREMENT AS							
		70,625.41	EMPLOYEE SHARE PERA		487135	40925920344	9000.2114		ACCRUED PERA	PAYROLL CLEARING BAL SHEET
		93,515.82	CITY SHARE PERA		487135	40925920344	9000.2114		ACCRUED PERA	PAYROLL CLEARING BAL SHEET
		164,141.23								
20250413	4/14/2025		157977 WEX HEALTH INC							
		10,233.13	HSA EMPLOYEE FUNDING		487132	409259203412	9000.2125		ACCRUED HSA/HRA BENEFIT	PAYROLL CLEARING BAL SHEET
		10,233.13								
20250414	4/7/2025		157977 WEX HEALTH INC							
		352.51	FLEX SPENDING MEDICAL 2025		487549	20250407	9000.2119		ACCRUED FLEX SPENDING	PAYROLL CLEARING BAL SHEET
		1,346.17	FLEX SPENDING DAYCARE 2025		487549	20250407	9000.2119		ACCRUED FLEX SPENDING	PAYROLL CLEARING BAL SHEET
		1,698.68								
20250415	4/11/2025		151440 VANTAGEPOINT TRANSFER AGENTS							
		6,403.11	ROTH 457-PLAN #301171-FIRE TOO		487131	409259203411	9000.2120		ACCRUED BENEFIT LIABILITY	PAYROLL CLEARING BAL SHEET
		6,403.11								
20250416	4/11/2025		100240 VANTAGEPOINT TRANSFER AGENTS - 457 FT							
		27,622.30	ICMA-PLAN #301171-FIRE TOO		487133	40925920342	9000.2120		ACCRUED BENEFIT LIABILITY	PAYROLL CLEARING BAL SHEET
		27,622.30								
20250417	4/11/2025		126459 VANTAGEPOINT TRANSFER AGENTS - ROTH							
		2,461.23	ROTH IRA-PLAN #705481		487139	40925920348	9000.2120		ACCRUED BENEFIT LIABILITY	PAYROLL CLEARING BAL SHEET
		2,461.23								
		938,167.89	Grand Total							

## Payment Instrument Totals

Checks	164,021.46
EFT Payments	447,564.33
A/P ACH Payment	326,582.10
Total Payments	938,167.89

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 205 4/16/25

<u>Company</u>	<u>Amount</u>
01000 GENERAL FUND	22,611.69
02010 CABLE TV RESERVE FUND	118.30
02025 ROAD ESCROW FUND	19,556.00
02090 PARTNERS IN EDUCATION	707.29
02200 VALLEYWOOD GOLF FUND	2,841.26
02300 PARKS REFERENDUM FUND	59,377.28
04500 CONSTRUCTION PROJECTS	984.50
04730 TIF DIST#1-CAPITAL PROJECTS	6,500.00
04750 ELECTRIC FRANCHISE	124,172.99
05000 LIQUOR FUND	132,989.95
05200 ARENA FUND	12,997.86
05300 WATER & SEWER FUND	57,351.18
05500 STORM DRAINAGE UTILITY FUND	32,567.31
05800 STREET LIGHT UTIL FUND	1,094.93
09000 PAYROLL CLEARING FUND	464,297.35
Report Totals	938,167.89

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<b>34374</b>	<b>4/25/2025</b>		<b>145130 1 CLEAN CONSCIENCE</b>							
		1,100.00	CLEANING SVCS - EDU BLDG MAR		487652	3MAR25	2092.6240		CLEANING SERVICE/GARBAGE	EDUCATION BUILDING FUND
		<u>1,100.00</u>								
<b>34375</b>	<b>4/25/2025</b>		<b>155911 5 STAR INSPECTIONS INC</b>							
		5,550.50	ELECTRICAL FEES MAR 2025 FINAL		487902	20250407	1400.6243		ELECTRICAL PERMIT FEES	INSPECTIONS MANAGEMENT
		276.01	ELECTRICAL FEES MAR 2025 EXPIR		487594	20250407A	1400.6243		ELECTRICAL PERMIT FEES	INSPECTIONS MANAGEMENT
		<u>5,826.51</u>								
<b>34376</b>	<b>4/25/2025</b>		<b>153409 56 BREWING LLC</b>							
		70.00	THC#1	00052517	487667	5628822	5015.6515		THC/CBD	LIQUOR #1 STOCK PURCHASES
		110.00	BEER#1	00052517	487668	5628822	5015.6530		BEER	LIQUOR #1 STOCK PURCHASES
		<u>180.00</u>								
<b>34377</b>	<b>4/25/2025</b>		<b>100101 ACE HARDWARE</b>							
		4.24	DISCOUNT		488021	350130100307	1340.6333		GENERAL-CASH DISCOUNTS	FIRE BLDG & GROUNDS MNTC
		42.45	SOFTENER SALT		488021	350130100307	1340.6229		GENERAL SUPPLIES	FIRE BLDG & GROUNDS MNTC
		9.50	DISCOUNT		487813	350139100264	1610.6333		GENERAL-CASH DISCOUNTS	STREET/BOULEVARD REPAIR & MNTC
		95.00	SMALL TOOL REPAIRS		487813	350139100264	1610.6211		SMALL TOOLS & EQUIPMENT	STREET/BOULEVARD REPAIR & MNTC
		1.28	DISCOUNT		487815	350139100265	1610.6333		GENERAL-CASH DISCOUNTS	STREET/BOULEVARD REPAIR & MNTC
		12.87	FASTENERS		487815	350139100265	1610.6229		GENERAL SUPPLIES	STREET/BOULEVARD REPAIR & MNTC
		<u>135.30</u>								
<b>34378</b>	<b>4/25/2025</b>		<b>147453 ADAM'S PEST CONTROL INC</b>							
		93.35	PEST CONTROL WELL HOUSES		487988	4073690	5320.6249		OTHER CONTRACTUAL SERVICES	WATER WELL/BOOSTER STN MNT/RPR
		<u>93.35</u>								
<b>34379</b>	<b>4/25/2025</b>		<b>150442 ADVANCED ENGINEERING &amp; ENVIRO</b>							
		13,716.00	WATER MODELING - COMP PLAN UPD		487973	102014	4502.6235	2024185L	CONSULTANT SERVICES	IMPROVEMENTS-ASSESSED
		770.75	SCADA SYSTEM REPAIRS		487944	102028	5305.6249		OTHER CONTRACTUAL SERVICES	WATER MGMT/REPORT/DATA ENTRY
		770.75	SCADA SYSTEM REPAIRS		487944	102028	5365.6249		OTHER CONTRACTUAL SERVICES	SEWER MGMT/REPORTS/DATA ENTRY
		5,000.00	WTP PLC UPGRADE		487944	102028	5320.6735	2024142S	CAPITAL OUTLAY-OTHER IMPROVEME	WATER WELL/BOOSTER STN MNT/RPR
		6,000.00	WELL 16 RECOMMISSION		487944	102028	5320.6735	2024136W	CAPITAL OUTLAY-OTHER IMPROVEME	WATER WELL/BOOSTER STN MNT/RPR
		<u>26,257.50</u>								
<b>34380</b>	<b>4/25/2025</b>		<b>100389 ALPHAGRAPHS</b>							
		1,274.46	FF RECRUITMENT MAILING		487897	134238	1300.6239		PRINTING	FIRE MANAGEMENT
		62.00	BUSINESS CARDS - TYLER SOLBERG		487587	134527	1510.6229		GENERAL SUPPLIES	PW ENGINEERING & TECHNICAL
		188.21	SPECS & PLANS FOR 2025-101		488030	134606	2027.6239	2025101R	PRINTING	ROAD ESCROW
		<u>1,524.67</u>								

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<b>34381</b>	<b>4/25/2025</b>		<b>153995 AMAZON CAPITAL SERVICES</b>						<b>Continued...</b>	
		247.99	INDUCTION HEATER & HITCH PLUG		487806	11C7RJR36QW1	1350.6211		SMALL TOOLS & EQUIPMENT	FIRE VEHICLE MAINTENANCE
		149.62	MONITOR MOUNTS		487852	11GP3YHP19W3	1030.6211		SMALL TOOLS & EQUIPMENT	INFORMATION TECHNOLOGY
		229.00	POWER TOOLS FOR CMF		487843	14JJHHV73KNL	1540.6229		GENERAL SUPPLIES	CMF BUILDINGS & GROUNDS MNTC
		620.46	BIKE STORAGE		487855	14RFNRGTPGT4	4432.6740	2021172G	CAPITAL OUTLAY-MACH/EQUIP/OTHE	2024A CAPITAL PROJECTS CIP EXP
		56.96	SHOP TOOLS		487842	1D9RR43Y3LRQ	1765.6211		SMALL TOOLS & EQUIPMENT	PARK EQUIPMENT MAINTENANCE
		332.92	POWER CENTER		487854	1FCFKKCX7P9J	1210.6211		SMALL TOOLS & EQUIPMENT	POLICE FIELD OPERATIONS/PATROL
		66.98	EVIDENCE BAG FOR INVESTIGATION		487597	1FCLJFCVKQXH	1200.6229		GENERAL SUPPLIES	POLICE MANAGEMENT
		173.84	VARIOUS PARTS		487605	1FHX7CWW4CYP	2240.6215		EQUIPMENT-PARTS	GOLF EQUIPMENT MAINTENANCE
		53.98	EMERGENCY EXIT BATTERY		487801	1G4LHLHD67TG	1920.6215		EQUIPMENT-PARTS	SENIOR CENTER
		70.52	IPAD TRUCK MOUNTS		487653	1H9LFTVJ31FC	5345.6211		SMALL TOOLS & EQUIPMENT	WATER EQUIP/VEHICLE/MISC MNTC
		127.58	POWER TOOL CMF		487845	1H9YPXTF7KRM	1540.6229		GENERAL SUPPLIES	CMF BUILDINGS & GROUNDS MNTC
		41.15	SHOP SUPPLIES		487588	1J3KFTQV4HFY	1720.6211		SMALL TOOLS & EQUIPMENT	PARK GROUNDS MAINTENANCE
		15.85	TRIMMER LINE		487851	1K6XXVW4CWM7	2235.6211		SMALL TOOLS & EQUIPMENT	GOLF COURSE MAINTENANCE
		63.01	WASP SPRAY		487851	1K6XXVW4CWM7	2235.6229		GENERAL SUPPLIES	GOLF COURSE MAINTENANCE
		241.00	FILER SYSTEM ICE MACHINE CMF		487844	1LH147FD336Y	1540.6229		GENERAL SUPPLIES	CMF BUILDINGS & GROUNDS MNTC
		228.21	IT SMALL TOOLS		487971	1P11YWFVJ9PK	1030.6211		SMALL TOOLS & EQUIPMENT	INFORMATION TECHNOLOGY
		94.22	ADDING MACHINE		487853	1RN6VWGP4F64	5065.6229		GENERAL SUPPLIES	LIQUOR #2 OPERATIONS
		125.00	LIQUID SMOKE FOR FOG MACHINE		487805	1RQ1XV1XCY9D	1310.6229		GENERAL SUPPLIES	FIRE TRAINING
		63.99	TRAILER TIE DOWNS		487589	1WHW39KC4FTQ	1765.6211		SMALL TOOLS & EQUIPMENT	PARK EQUIPMENT MAINTENANCE
		46.92	BATTERIES & TWECKERS		487607	1XMQLG6C3LFW	2012.6229		GENERAL SUPPLIES	CABLE TV JOINT POWERS
		3,049.20								
<b>34382</b>	<b>4/25/2025</b>		<b>150791 BALD MAN BREWING</b>							
		198.00	BEER#1	00052212	487690	8973	5015.6530		BEER	LIQUOR #1 STOCK PURCHASES
		198.00								
<b>34383</b>	<b>4/25/2025</b>		<b>101559 BARR ENGINEERING COMPANY</b>							
		1,353.00	A.V.ADDTN STORM STUDY		487904	23191551006	5505.6235	2024163D	CONSULTANT SERVICES	STORM DRAIN MNTC/RPR/SUMPS
		4,711.50	GRANT PREPARATION AV ADDITIONS		487903	23191557003	5505.6235	2024163D	CONSULTANT SERVICES	STORM DRAIN MNTC/RPR/SUMPS
		2,532.50	DEVELOPMENT REVIEW - DWSMA		487968	23191557011	4502.6235	2024185L	CONSULTANT SERVICES	IMPROVEMENTS-ASSESSED
		8,597.00								
<b>34384</b>	<b>4/25/2025</b>		<b>155342 BARREL THEORY BEER CO</b>							
		432.00	BEER#3	00052690	487691	6181	5085.6530		BEER	LIQUOR #3 STOCK PURCHASES
		432.00								
<b>34385</b>	<b>4/25/2025</b>		<b>100709 BATTERIES PLUS BULBS</b>							
		10.51-	GOLF USE TAX		487634	P81471563	2200.2330		DUE TO OTHER GOVERNMENT	VALLEYWOOD GOLF
		10.51	GOLF USE TAX		487634	P81471563	2240.6216		VEHICLES-TIRES/BATTERIES	GOLF EQUIPMENT MAINTENANCE
		152.95	BATTERIES		487634	P81471563	2240.6216		VEHICLES-TIRES/BATTERIES	GOLF EQUIPMENT MAINTENANCE

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34385	4/25/2025		100709 BATTERIES PLUS BULBS						Continued...	
		152.95								
34386	4/25/2025		100054 BAUER BUILT INC							
		525.32	TIRES		487908	180310793	1210.6216		VEHICLES-TIRES/BATTERIES	POLICE FIELD OPERATIONS/PATROL
		711.00	TIRES		487906	180311334	5390.6216		VEHICLES-TIRES/BATTERIES	SWR EQUIP/VEHICLE MISC MNTC/RP
		712.84	TIRES		487906	180311334	5345.6216		VEHICLES-TIRES/BATTERIES	WATER EQUIP/VEHICLE/MISC MNTC
		293.82	TIRES - #336		487880	180311342	1630.6216		VEHICLES-TIRES/BATTERIES	STREET EQUIPMENT MAINTENANCE
		525.32	SQUAD TIRES		487909	180311542	1210.6216		VEHICLES-TIRES/BATTERIES	POLICE FIELD OPERATIONS/PATROL
		120.00	TIRE CASING		487859	518031189	1630.6216		VEHICLES-TIRES/BATTERIES	STREET EQUIPMENT MAINTENANCE
		2,648.30								
34387	4/25/2025		149719 BAYCOM							
		3,699.00	BWC PROJECT		487861	EQUIPINV053905	1210.6740		CAPITAL OUTLAY-MACH/EQ/OTHER	POLICE FIELD OPERATIONS/PATROL
		3,699.00								
34388	4/25/2025		101173 BROWN'S ICE CREAM CO							
		184.56	7TH AVE PIZZA		487892	22509919	2260.6420		GOLF-FOOD	GOLF PRO SHOP MERCH SALES
		184.56								
34389	4/25/2025		158313 CITY WIDE FACILITY SOLUTIONS							
		2,895.00	CONTRACTUAL CLEANING - MC		487942	42009015598	1060.6240		CLEANING SERVICE/GARBAGE REMOV	MUNICIPAL BLDG & GROUNDS MNTC
		2,895.00								
34390	4/25/2025		143314 CLEAR RIVER BEVERAGE							
		382.50	BEER#3	00051160	487759	798931	5085.6530		BEER	LIQUOR #3 STOCK PURCHASES
		706.00	THC#3	00051160	487760	800000	5085.6515		THC/CBD	LIQUOR #3 STOCK PURCHASES
		598.00	BEER#3	00051160	487761	800000	5085.6530		BEER	LIQUOR #3 STOCK PURCHASES
		71.76	THC#1	00051160	487755	800153	5015.6515		THC/CBD	LIQUOR #1 STOCK PURCHASES
		152.00	BEER#1	00051160	487756	800153	5015.6530		BEER	LIQUOR #1 STOCK PURCHASES
		17.00	CMBEER#1	00051160	487757	801250	5015.6530		BEER	LIQUOR #1 STOCK PURCHASES
		446.00	BEER#1	00051160	487758	801251	5015.6530		BEER	LIQUOR #1 STOCK PURCHASES
		2,339.26								
34391	4/25/2025		150664 CLUB PROPHET SOFTWARE LLC							
		100.00	CPS		487635	INV3040010	2210.6249		OTHER CONTRACTUAL SERVICES	GOLF PRO SHOP
		100.00								
34392	4/25/2025		100100 CNH ARCHITECTS							
		4,498.75	STORE #2 REMODEL		487946	3496	5065.6740		CAPITAL OUTLAY-MACH/EQ/OTHER	LIQUOR #2 OPERATIONS
		4,498.75								

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34392	4/25/2025		100100 CNH ARCHITECTS						Continued...	
34393	4/25/2025		100102 COLLEGE CITY BEVERAGE							
		44.88	ARNIE		487951	1126665	2260.6421		GOLF-NON ALCOHOLIC BEVERAGES	GOLF PRO SHOP MERCH SALES
		515.95	CC BEER		487951	1126665	2260.6419		GOLF-BEER	GOLF PRO SHOP MERCH SALES
		560.83								
34394	4/25/2025		119052 CUSTOM HOSE TECH INC							
		203.82	NEW HOSES		487887	125331	1765.6215		EQUIPMENT-PARTS	PARK EQUIPMENT MAINTENANCE
		203.82								
34395	4/25/2025		100128 DAKOTA ELECTRIC ASSOCIATION							
		5.28	CD SIREN-CMF #2010767		487954	200010000089APR 25	1290.6255		UTILITIES-ELECTRIC	CIVIL DEFENSE MANAGEMENT
		5.28	CD SIREN-HUNTINGTON #2010775		487954	200010000089APR 25	1290.6255		UTILITIES-ELECTRIC	CIVIL DEFENSE MANAGEMENT
		5.28	CD SIREN-DELANEY #2010783		487954	200010000089APR 25	1290.6255		UTILITIES-ELECTRIC	CIVIL DEFENSE MANAGEMENT
		5.28	CD SIREN-DUCHESS #2010791		487954	200010000089APR 25	1290.6255		UTILITIES-ELECTRIC	CIVIL DEFENSE MANAGEMENT
		5.28	CD SIREN-GALAXIE & 42 #2010809		487954	200010000089APR 25	1290.6255		UTILITIES-ELECTRIC	CIVIL DEFENSE MANAGEMENT
		5.28	CD SIREN-CED KNOLLS #2010817		487954	200010000089APR 25	1290.6255		UTILITIES-ELECTRIC	CIVIL DEFENSE MANAGEMENT
		5.28	CD SIREN-WILDWOOD #2010825		487954	200010000089APR 25	1290.6255		UTILITIES-ELECTRIC	CIVIL DEFENSE MANAGEMENT
		5.28	CD SIREN-CHAPARRAL #2010833		487954	200010000089APR 25	1290.6255		UTILITIES-ELECTRIC	CIVIL DEFENSE MANAGEMENT
		5.28	CD SIREN-PILOT KNOB #394930-2		487954	200010000089APR 25	1290.6255		UTILITIES-ELECTRIC	CIVIL DEFENSE MANAGEMENT
		17.19	SCOTT TENNIS LTS #1804079		487954	200010000089APR 25	1745.6255		UTILITIES-ELECTRIC	PARK CRT/GAME AREA MAINTENANCE
		17.19	BELMONT RD AERATOR 325093-3		487954	200010000089APR 25	1720.6255		UTILITIES-ELECTRIC	PARK GROUNDS MAINTENANCE
		17.33	LEGION FLD PRESS BX #310081-5		487954	200010000089APR 25	1730.6255		UTILITIES-ELECTRIC	PARK BUILDING MAINTENANCE
		18.08	FOUNDER PK LT #366449-7		487954	200010000089APR 25	1740.6255		UTILITIES-ELECTRIC	PARK SIDEWALK/PATH MAINTENANCE
		19.83	ALIMAGNET PK RESTRM #144117-9		487954	200010000089APR 25	1730.6255		UTILITIES-ELECTRIC	PARK BUILDING MAINTENANCE
		22.35	HAGEMEISTER TENNIS LTS#1804087		487954	200010000089APR	1745.6255		UTILITIES-ELECTRIC	PARK CRT/GAME AREA MAINTENANCE

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						25				
		23.96	HUNTINGTON PK SHLTR #2014926		487954	200010000089APR	1730.6255		UTILITIES-ELECTRIC	PARK BUILDING MAINTENANCE
						25				
		26.17	KELLEY PD PK/SPKLR #405066-2		487954	200010000089APR	1720.6255		UTILITIES-ELECTRIC	PARK GROUNDS MAINTENANCE
						25				
		28.52	GALAXIE PK WMHSE #481583-3		487954	200010000089APR	1730.6255		UTILITIES-ELECTRIC	PARK BUILDING MAINTENANCE
						25				
		28.68	HAGEMEISTER PK SHLTR #151256-5		487954	200010000089APR	1730.6255		UTILITIES-ELECTRIC	PARK BUILDING MAINTENANCE
						25				
		31.17	AV EAST PK WMHSE #2148484		487954	200010000089APR	1730.6255		UTILITIES-ELECTRIC	PARK BUILDING MAINTENANCE
						25				
		35.15	SALT BLDG #310219-1		487954	200010000089APR	1540.6255		UTILITIES-ELECTRIC	CMF BUILDINGS & GROUNDS MNTC
						25				
		49.42	EASTVIEW PRESS BOX #2079408		487954	200010000089APR	1730.6255		UTILITIES-ELECTRIC	PARK BUILDING MAINTENANCE
						25				
		52.53	COBBLESTONE PAVILLION		487954	200010000089APR	1730.6255		UTILITIES-ELECTRIC	PARK BUILDING MAINTENANCE
						25				
		57.77	PW RADIO EQUIP #215383-1		487954	200010000089APR	1540.6255		UTILITIES-ELECTRIC	CMF BUILDINGS & GROUNDS MNTC
						25				
		68.07	PARK HS #4 FIELDS #224529-8		487954	200010000089APR	1780.6255		UTILITIES-ELECTRIC	PARK HIGH SCHOOL #4 FIELDS
						25				
		77.77	VALLEY MID PK SHLTR #1247824		487954	200010000089APR	1730.6255		UTILITIES-ELECTRIC	PARK BUILDING MAINTENANCE
						25				
		83.46	DELANEY PK SHLTR #151247-4		487954	200010000089APR	1730.6255		UTILITIES-ELECTRIC	PARK BUILDING MAINTENANCE
						25				
		85.31	REDWOOD/POOL #108328-6		487954	200010000089APR	1730.6255		UTILITIES-ELECTRIC	PARK BUILDING MAINTENANCE
						25				
		125.09	FARQ PK RESTROOMS #1617653		487954	200010000089APR	1730.6255		UTILITIES-ELECTRIC	PARK BUILDING MAINTENANCE
						25				
		243.33	AVFAC EXPANSION #443065-8		487954	200010000089APR	1940.6255		UTILITIES-ELECTRIC	AQUATIC SWIM CENTER
						25				
		244.50	CMF STORAGE #2009652		487954	200010000089APR	1540.6255		UTILITIES-ELECTRIC	CMF BUILDINGS & GROUNDS MNTC
						25				
		405.36	TEEN CENTER #268335-7		487954	200010000089APR	1730.6255		UTILITIES-ELECTRIC	PARK BUILDING MAINTENANCE
						25				
		526.69	EASTVIEW-HIGHLAND #1889047		487954	200010000089APR	1715.6255		UTILITIES-ELECTRIC	PARK ATHLETIC FIELD MAINTENANC
						25				
		1,035.09	QUARRY PT ATHLCPLX #456933-1		487954	200010000089APR	1715.6255		UTILITIES-ELECTRIC	PARK ATHLETIC FIELD MAINTENANC
						25				



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34395	4/25/2025		100128 DAKOTA ELECTRIC ASSOCIATION						Continued...	
		1,120.75	AQUATIC CENTER #273061-2		487954	200010000089APR 25	1940.6255		UTILITIES-ELECTRIC	AQUATIC SWIM CENTER
		1,134.32	FIRE STATION #3 #146046-8		487954	200010000089APR 25	1340.6255		UTILITIES-ELECTRIC	FIRE BLDG & GROUNDS MNTC
		1,241.46	HAYES COMM & SR CTR #451229-9		487954	200010000089APR 25	1920.6255		UTILITIES-ELECTRIC	SENIOR CENTER
		1,485.73	CENTRAL MAINT FAC #511870-8		487954	200010000089APR 25	1540.6255		UTILITIES-ELECTRIC	CMF BUILDINGS & GROUNDS MNTC
		1,583.88	PARK PATHWAY LTS #2053296		487954	200010000089APR 25	1740.6255		UTILITIES-ELECTRIC	PARK SIDEWALK/PATH MAINTENANCE
		1,762.67	FIRE STATION #1 #111343-0		487954	200010000089APR 25	1340.6255		UTILITIES-ELECTRIC	FIRE BLDG & GROUNDS MNTC
		1,917.76	AV COMM CTR #1883305		487954	200010000089APR 25	1900.6255		UTILITIES-ELECTRIC	AV COMMUNITY CENTER
		4,940.08	MUNICIPAL CENTER #288247-0		487954	200010000089APR 25	1060.6255		UTILITIES-ELECTRIC	MUNICIPAL BLDG & GROUNDS MNTC
		1,053.99	OLD CITY HALL #517541-9		487954	200010000089APR 25	2092.6255		UTILITIES-ELECTRIC	EDUCATION BUILDING FUND
		76.66	CENTRAL VILLAGE P-LOT		487954	200010000089APR 25	2097.6255		UTILITIES-ELECTRIC	CENTRAL VILLAGE PARKING LOT
		630.39	LIQUOR STORE 2 #138678-8		487954	200010000089APR 25	5065.6255		UTILITIES-ELECTRIC	LIQUOR #2 OPERATIONS
		1,262.66	LIQUOR STORE 1 #145003-0		487954	200010000089APR 25	5025.6255		UTILITIES-ELECTRIC	LIQUOR #1 OPERATIONS
		2,239.84	LIQUOR STORE 3 #444140-8		487954	200010000089APR 25	5095.6255		UTILITIES-ELECTRIC	LIQUOR #3 OPERATIONS
		4,278.00	ICE ARENA #1#136723-4		487954	200010000089APR 25	5210.6255		UTILITIES-ELECTRIC	ARENA 1 BUILDING MAINTENANCE
		6,740.98	HAYES PK ICE ARENA #222230-5		487954	200010000089APR 25	5265.6255		UTILITIES-ELECTRIC	ARENA 2 BLDG MAINTENANCE-HAYES
		20.11	PALOMINO RESERVOIR #103546-8		487954	200010000089APR 25	5320.6255		UTILITIES-ELECTRIC	WATER WELL/BOOSTER STN MNT/RPR
		22.92	HERALD WY PRESS STN #103686-2		487954	200010000089APR 25	5320.6255		UTILITIES-ELECTRIC	WATER WELL/BOOSTER STN MNT/RPR
		34.56	PUMPHOUSE #5 #135486-9		487954	200010000089APR 25	5320.6255		UTILITIES-ELECTRIC	WATER WELL/BOOSTER STN MNT/RPR
		44.29	PUMPHOUSE #1 #106890-7		487954	200010000089APR 25	5320.6255		UTILITIES-ELECTRIC	WATER WELL/BOOSTER STN MNT/RPR
		55.76	LS 11-HIGHLAND PT CT #2021699		487954	200010000089APR	5380.6255		UTILITIES-ELECTRIC	SEWER LIFT STN REPAIR & MNTC

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34395	4/25/2025		100128 DAKOTA ELECTRIC ASSOCIATION						Continued...	
						25				
		56.20	LS 10 NORDIC WOODS #1830835		487954	200010000089APR	5380.6255		UTILITIES-ELECTRIC	SEWER LIFT STN REPAIR & MNTC
						25				
		64.45	LS 7 HERITAGE HILLS #144109-6		487954	200010000089APR	5380.6255		UTILITIES-ELECTRIC	SEWER LIFT STN REPAIR & MNTC
						25				
		116.11	PUMPHOUSE 08 #1468404		487954	200010000089APR	5320.6255		UTILITIES-ELECTRIC	WATER WELL/BOOSTER STN MNT/RPR
						25				
		129.69	PUMPHOUSE #2 #108018-3		487954	200010000089APR	5320.6255		UTILITIES-ELECTRIC	WATER WELL/BOOSTER STN MNT/RPR
						25				
		130.84	WTRTWR RESERV-LONGRDG #144881-		487954	200010000089APR	5320.6255		UTILITIES-ELECTRIC	WATER WELL/BOOSTER STN MNT/RPR
						25				
		150.71	LS 9 4771 DOMINICA WY #525977-		487954	200010000089APR	5380.6255		UTILITIES-ELECTRIC	SEWER LIFT STN REPAIR & MNTC
						25				
		165.44	LIFT STN 4 PH LKSHR#1030667		487954	200010000089APR	5380.6255		UTILITIES-ELECTRIC	SEWER LIFT STN REPAIR & MNTC
						25				
		172.65	PUMPHOUSE #4 #121151-5		487954	200010000089APR	5320.6255		UTILITIES-ELECTRIC	WATER WELL/BOOSTER STN MNT/RPR
						25				
		180.75	LIFT #5 #580685-6		487954	200010000089APR	5380.6255		UTILITIES-ELECTRIC	SEWER LIFT STN REPAIR & MNTC
						25				
		183.98	PUMPHOUSE 14 #2008852		487954	200010000089APR	5320.6255		UTILITIES-ELECTRIC	WATER WELL/BOOSTER STN MNT/RPR
						25				
		187.65	PUMPHOUSE 20 #484299		487954	200010000089APR	5320.6255		UTILITIES-ELECTRIC	WATER WELL/BOOSTER STN MNT/RPR
						25				
		196.13	PUMPHOUSE 17 #307438-2		487954	200010000089APR	5320.6255		UTILITIES-ELECTRIC	WATER WELL/BOOSTER STN MNT/RPR
						25				
		202.22	PUMPHOUSE 18 #1078310		487954	200010000089APR	5320.6255		UTILITIES-ELECTRIC	WATER WELL/BOOSTER STN MNT/RPR
						25				
		205.63	PUMPHOUSE #3 #106099-5		487954	200010000089APR	5320.6255		UTILITIES-ELECTRIC	WATER WELL/BOOSTER STN MNT/RPR
						25				
		208.26	6422 140TH ST WELL 15 2121093		487954	200010000089APR	5320.6255		UTILITIES-ELECTRIC	WATER WELL/BOOSTER STN MNT/RPR
						25				
		275.43	PUMPHOUSE #11 #174395-4		487954	200010000089APR	5320.6255		UTILITIES-ELECTRIC	WATER WELL/BOOSTER STN MNT/RPR
						25				
		280.30	PUMPHOUSE 12 #2023273		487954	200010000089APR	5320.6255		UTILITIES-ELECTRIC	WATER WELL/BOOSTER STN MNT/RPR
						25				
		356.80	PUMPHOUSE #10 #155867-5		487954	200010000089APR	5320.6255		UTILITIES-ELECTRIC	WATER WELL/BOOSTER STN MNT/RPR
						25				
		411.60	LFT STN3 133 CHAPARRAL 546943		487954	200010000089APR	5380.6255		UTILITIES-ELECTRIC	SEWER LIFT STN REPAIR & MNTC
						25				

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		648.22	PUMPHOUSE #7 #126394-6		487954	200010000089APR 25	5320.6255		UTILITIES-ELECTRIC	WATER WELL/BOOSTER STN MNT/RPR
		1,182.84	LIFT STN 1 ELLICE #131715-5		487954	200010000089APR 25	5380.6255		UTILITIES-ELECTRIC	SEWER LIFT STN REPAIR & MNTC
		1,718.40	AV BOOSTER-NORDIC #138075-7		487954	200010000089APR 25	5320.6255		UTILITIES-ELECTRIC	WATER WELL/BOOSTER STN MNT/RPR
		3,062.85	PUMPHOUSE 09 #1526292		487954	200010000089APR 25	5320.6255		UTILITIES-ELECTRIC	WATER WELL/BOOSTER STN MNT/RPR
		3,769.73	PUMPHOUSE 13 #2023265		487954	200010000089APR 25	5320.6255		UTILITIES-ELECTRIC	WATER WELL/BOOSTER STN MNT/RPR
		5,277.44	PUMPHOUSE 19 #415728-5		487954	200010000089APR 25	5320.6255		UTILITIES-ELECTRIC	WATER WELL/BOOSTER STN MNT/RPR
		12,959.43	WTR TREATMENT PLANT #511870-8		487954	200010000089APR 25	5325.6255		UTILITIES-ELECTRIC	WATER TREATMENT FCLTY MNTC/RPR
		24.10	LS STM SWR HGHW #1586924		487954	200010000089APR 25	5505.6255		UTILITIES-ELECTRIC	STORM DRAIN MNTC/RPR/SUMPS
		35.15	LS-WHEATON PONDS #443438-7		487954	200010000089APR 25	5505.6255		UTILITIES-ELECTRIC	STORM DRAIN MNTC/RPR/SUMPS
		36.47	LS STM SWR BRIAR OAKS#1827781		487954	200010000089APR 25	5505.6255		UTILITIES-ELECTRIC	STORM DRAIN MNTC/RPR/SUMPS
		50.76	LS STM SWR-BELMONT PK #2011021		487954	200010000089APR 25	5505.6255		UTILITIES-ELECTRIC	STORM DRAIN MNTC/RPR/SUMPS
		143.63	LS STM SWR PENNOCK SHR #135489		487954	200010000089APR 25	5505.6255		UTILITIES-ELECTRIC	STORM DRAIN MNTC/RPR/SUMPS
		173.62	LS STN COBB LK #306511-7		487954	200010000089APR 25	5505.6255		UTILITIES-ELECTRIC	STORM DRAIN MNTC/RPR/SUMPS
		219.12	LS STM SWR-HANNOVER #19860009		487954	200010000089APR 25	5505.6255		UTILITIES-ELECTRIC	STORM DRAIN MNTC/RPR/SUMPS
		752.15	LS STM SWR ALIMAGNET #144134-4		487954	200010000089APR 25	5505.6255		UTILITIES-ELECTRIC	STORM DRAIN MNTC/RPR/SUMPS
		1,289.20	LS 2 7698 128TH ST W #490873-7		487954	200010000089APR 25	5505.6255		UTILITIES-ELECTRIC	STORM DRAIN MNTC/RPR/SUMPS
		2,322.22	LS STM SWR FARQUAR #137184-8		487954	200010000089APR 25	5505.6255		UTILITIES-ELECTRIC	STORM DRAIN MNTC/RPR/SUMPS
		56.36	CEMETERY LTS #339637-1		487954	200010000089APR 25	5605.6255		UTILITIES-ELECTRIC	CEMETERY
		74.17	CEMETERY LTS FLAGPOLE#318998-2		487954	200010000089APR 25	5605.6255		UTILITIES-ELECTRIC	CEMETERY
		18.58	964 GARDENVIEW DR SLSIGN		487954	200010000089APR	5805.6255		UTILITIES-ELECTRIC	STREET LIGHT UTILITY FUND

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34395	4/25/2025		100128 DAKOTA ELECTRIC ASSOCIATION						Continued...	
					25					
		31.61	GREENWAY TUNNEL #563183-3		487954	200010000089APR	5805.6545		NON-TAXABLE MISC FOR RESALE	STREET LIGHT UTILITY FUND
					25					
		41.04	GASLIGHT STREET LT #267358-0		487954	200010000089APR	5805.6545		NON-TAXABLE MISC FOR RESALE	STREET LIGHT UTILITY FUND
					25					
		42.22	TUNNEL STREET LT #279581-3		487954	200010000089APR	5805.6545		NON-TAXABLE MISC FOR RESALE	STREET LIGHT UTILITY FUND
					25					
		43.99	SIGNAL-GARRETT & 150TH#1802081		487954	200010000089APR	5805.6545		NON-TAXABLE MISC FOR RESALE	STREET LIGHT UTILITY FUND
					25					
		47.07	SIGNAL-140TH/FLAGSTAFF#2750370		487954	200010000089APR	5805.6545		NON-TAXABLE MISC FOR RESALE	STREET LIGHT UTILITY FUND
					25					
		47.52	SIGNAL-147TH/PENNOCK #103448-7		487954	200010000089APR	5805.6545		NON-TAXABLE MISC FOR RESALE	STREET LIGHT UTILITY FUND
					25					
		47.81	SIGNAL-GALAXIE & 140TH#2053858		487954	200010000089APR	5805.6545		NON-TAXABLE MISC FOR RESALE	STREET LIGHT UTILITY FUND
					25					
		50.16	SIGNAL-GALAXIE & 147TH#1022698		487954	200010000089APR	5805.6545		NON-TAXABLE MISC FOR RESALE	STREET LIGHT UTILITY FUND
					25					
		50.61	SIGNAL-149TH/PENNOCK #103448-7		487954	200010000089APR	5805.6545		NON-TAXABLE MISC FOR RESALE	STREET LIGHT UTILITY FUND
					25					
		52.53	SIGNAL-140TH/PENNOCK #303778-5		487954	200010000089APR	5805.6545		NON-TAXABLE MISC FOR RESALE	STREET LIGHT UTILITY FUND
					25					
		53.84	SIGNAL 42 & PENNOCK #1033836		487954	200010000089APR	5805.6545		NON-TAXABLE MISC FOR RESALE	STREET LIGHT UTILITY FUND
					25					
		54.87	SIGNAL-GALAXIE & 153RD#3128204		487954	200010000089APR	5805.6545		NON-TAXABLE MISC FOR RESALE	STREET LIGHT UTILITY FUND
					25					
		55.18	SIGNAL 153RD & CUB #2013084		487954	200010000089APR	5805.6545		NON-TAXABLE MISC FOR RESALE	STREET LIGHT UTILITY FUND
					25					
		55.47	SIGNAL-CEDAR & 145TH #2047702		487954	200010000089APR	5805.6545		NON-TAXABLE MISC FOR RESALE	STREET LIGHT UTILITY FUND
					25					
		56.35	SIGNAL-140TH/JOHNNY CK#2750412		487954	200010000089APR	5805.6545		NON-TAXABLE MISC FOR RESALE	STREET LIGHT UTILITY FUND
					25					
		57.77	UTIL RADIO EQUIP #215383-1		487954	200010000089APR	5805.6255		UTILITIES-ELECTRIC	STREET LIGHT UTILITY FUND
					25					
		59.44	SIGNAL CEDAR & 147TH #1033901		487954	200010000089APR	5805.6545		NON-TAXABLE MISC FOR RESALE	STREET LIGHT UTILITY FUND
					25					
		61.36	SIGNAL GALAXIE & 150TH#1821115		487954	200010000089APR	5805.6545		NON-TAXABLE MISC FOR RESALE	STREET LIGHT UTILITY FUND
					25					
		64.00	SIGNAL CEDAR & 140TH #1577386		487954	200010000089APR	5805.6545		NON-TAXABLE MISC FOR RESALE	STREET LIGHT UTILITY FUND
					25					

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<b>34395</b>	<b>4/25/2025</b>		<b>100128 DAKOTA ELECTRIC ASSOCIATION</b>						<b>Continued...</b>	
		68.13	SIGNAL 42 & GARDENVW #124646-1		487954	200010000089APR 25	5805.6545		NON-TAXABLE MISC FOR RESALE	STREET LIGHT UTILITY FUND
		100.67	SIGNAL-GALAXIE & 38 #2146678		487954	200010000089APR 25	5805.6545		NON-TAXABLE MISC FOR RESALE	STREET LIGHT UTILITY FUND
		134.67	CO RD 42/CEDAR LTS #501516-9		487954	200010000089APR 25	5805.6545		NON-TAXABLE MISC FOR RESALE	STREET LIGHT UTILITY FUND
		144.84	CEDAR/147TH LTS #501520-1		487954	200010000089APR 25	5805.6545		NON-TAXABLE MISC FOR RESALE	STREET LIGHT UTILITY FUND
		176.49	147TH ST W LTS #498760-8		487954	200010000089APR 25	5805.6545		NON-TAXABLE MISC FOR RESALE	STREET LIGHT UTILITY FUND
		208.29	CEDAR/145TH LTS #501526-8		487954	200010000089APR 25	5805.6545		NON-TAXABLE MISC FOR RESALE	STREET LIGHT UTILITY FUND
		225.08	CEDAR & 153RD LT #487980-5		487954	200010000089APR 25	5805.6545		NON-TAXABLE MISC FOR RESALE	STREET LIGHT UTILITY FUND
		238.32	CEDAR/140TH LTS #501536-7		487954	200010000089APR 25	5805.6545		NON-TAXABLE MISC FOR RESALE	STREET LIGHT UTILITY FUND
		260.98	CEDAR & 157RD LT #487985-4		487954	200010000089APR 25	5805.6545		NON-TAXABLE MISC FOR RESALE	STREET LIGHT UTILITY FUND
		38,563.82	UTILITY STREET LTS #1109149		487954	200010000089APR 25	5805.6545		NON-TAXABLE MISC FOR RESALE	STREET LIGHT UTILITY FUND
		80.78	PILOT KNOB/155TH ST SIGNAL APR		487919	200010066959APR 25	5805.6545		NON-TAXABLE MISC FOR RESALE	STREET LIGHT UTILITY FUND
		46.27	VALLEYWOOD IRRIG APR		487920	200010117984APR 25	2243.6255		UTILITIES-ELECTRIC	GOLF IRRIGATION MAINTENANCE
		1,608.70	FIRE STA 2 APR		487921	200010130380APR 25	1340.6255		UTILITIES-ELECTRIC	FIRE BLDG & GROUNDS MNTC
		115,353.50								
<b>34396</b>	<b>4/25/2025</b>		<b>159121 DANGEROUS MAN BREWING CO</b>							
		3,112.20	THC#3	00052995	487763	7467	5085.6515		THC/CBD	LIQUOR #3 STOCK PURCHASES
		3,112.20								
<b>34397</b>	<b>4/25/2025</b>		<b>117768 DRAIN PRO PLUMBING</b>							
		287.50	MC BATHROOM DRAIN CLEAN		487810	77899	1060.6266		REPAIRS-BUILDING	MUNICIPAL BLDG & GROUNDS MNTC
		287.50								
<b>34398</b>	<b>4/25/2025</b>		<b>101365 ECM PUBLISHERS INC</b>							
		600.00	WINE SALE EMAIL		487618	1042038	5005.6239		PRINTING	LIQUOR GENERAL OPERATIONS
		600.00	WINE SALE ONLINE AD		487916	1043052	5005.6239		PRINTING	LIQUOR GENERAL OPERATIONS
		300.00	WINE SALE AD		487914	1043053	5005.6239		PRINTING	LIQUOR GENERAL OPERATIONS

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		300.00	WINE SALE AD		487912	1043054	5005.6239		PRINTING	LIQUOR GENERAL OPERATIONS
		212.85	LEGAL AD - CENTRAL VILLAGE AD		487964	1043787	2027.6399	2025109R	OTHER CHARGES	ROAD ESCROW
		375.00	WINE SALE AD		488041	1044004	5005.6239		PRINTING	LIQUOR GENERAL OPERATIONS
		<u>2,387.85</u>								
<b>34399</b>	<b>4/25/2025</b>		<b>101410 ELECTRIC PUMP</b>							
		1,242.55	REPAIR OF SANITARY SEWER GRIND		487591	27512	5380.6265		REPAIRS-EQUIPMENT	SEWER LIFT STN REPAIR & MNTC
		<u>1,242.55</u>								
<b>34400</b>	<b>4/25/2025</b>		<b>100157 FACTORY MOTOR PARTS CO</b>							
		101.36	PARTS-HYD FITTINGS		487881	110608872	1630.6215		EQUIPMENT-PARTS	STREET EQUIPMENT MAINTENANCE
		80.62	PARTS #908		487882	75518458	1210.6215		EQUIPMENT-PARTS	POLICE FIELD OPERATIONS/PATROL
		18.57	BRAKE CLEANER		487878	75518488	1765.6229		GENERAL SUPPLIES	PARK EQUIPMENT MAINTENANCE
		18.57	BRAKE CLEANER		487878	75518488	1630.6229		GENERAL SUPPLIES	STREET EQUIPMENT MAINTENANCE
		18.57	BRAKE CLEANER		487878	75518488	1210.6229		GENERAL SUPPLIES	POLICE FIELD OPERATIONS/PATROL
		18.57	BRAKE CLEANER		487878	75518488	5345.6229		GENERAL SUPPLIES	WATER EQUIP/VEHICLE/MISC MNTC
		18.60	BRAKE CLEANER		487878	75518488	5375.6229		GENERAL SUPPLIES	SEWER MAINTENANCE AND REPAIR
		<u>274.86</u>								
<b>34401</b>	<b>4/25/2025</b>		<b>120313 FASTENAL COMPANY</b>							
		135.12	BENCH REPAIRS		487888	MNLAK210195	1720.6229		GENERAL SUPPLIES	PARK GROUNDS MAINTENANCE
		126.84	HW PRV HARDWARE		487800	MNTC1294519	5330.6215		EQUIPMENT-PARTS	WTR MAIN/HYDRANT/CURB STOP MNT
		290.14	HW PRV		487987	MNTC1294594	5330.6215		EQUIPMENT-PARTS	WTR MAIN/HYDRANT/CURB STOP MNT
		<u>552.10</u>								
<b>34402</b>	<b>4/25/2025</b>		<b>101056 FORCE AMERICA DISTRIBUTING LLC</b>							
		26.46	PARTS-PLOW EQUIPMENT		487856	IN0012035655	1630.6215		EQUIPMENT-PARTS	STREET EQUIPMENT MAINTENANCE
		<u>26.46</u>								
<b>34403</b>	<b>4/25/2025</b>		<b>161157 GLOBAL RESERVE LLC</b>							
		1,469.00	THC/CBD#1	00053020	487766	15906	5015.6515		THC/CBD	LIQUOR #1 STOCK PURCHASES
		677.00	THC/CBD#3	00053020	487769	15946	5085.6515		THC/CBD	LIQUOR #3 STOCK PURCHASES
		690.00	THC/CBD#2	00053020	487768	15952	5055.6515		THC/CBD	LIQUOR #2 STOCK PURCHASES
		521.00	THC/CBD#1	00053020	487767	16331	5015.6515		THC/CBD	LIQUOR #1 STOCK PURCHASES
		<u>3,357.00</u>								
<b>34404</b>	<b>4/25/2025</b>		<b>100209 GOPHER STATE ONE-CALL</b>							
		192.60	GOPHER STATE ONE CALL MAR		487945	5030186	5305.6399		OTHER CHARGES	WATER MGMT/REPORT/DATA ENTRY
		192.60	GOPHER STATE ONE CALL MAR		487945	5030186	5365.6399		OTHER CHARGES	SEWER MGMT/REPORTS/DATA ENTRY
		192.60	GOPHER STATE ONE CALL MAR		487945	5030186	5505.6399		OTHER CHARGES	STORM DRAIN MNTC/RPR/SUMPS

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34404	4/25/2025		<b>100209 GOPHER STATE ONE-CALL</b>						<b>Continued...</b>	
		29.70	GOPHER STATE ONE CALL		488031	5030187	5805.6237		TELEPHONE/PAGERS	STREET LIGHT UTILITY FUND
		607.50								
34405	4/25/2025		<b>100217 GRAINGER, INC.</b>							
		699.66	FLOOR DRY		487899	9447283582	1530.6229		GENERAL SUPPLIES	FLEET & BUILDINGS-CMF
		1,018.76	TOILET FLUSH VALVES		487583	9453794043	1900.6266		REPAIRS-BUILDING	AV COMMUNITY CENTER
		277.12	ROOF LEAK REPAIR		487895	9464483974	1920.6266		REPAIRS-BUILDING	SENIOR CENTER
		1,995.54								
34406	4/25/2025		<b>101796 INTERSTATE BATTERY SYSTEM OF M</b>							
		158.77	BATTERY - #603		487868	220076341	1520.6216		VEHICLES-TIRES/BATTERIES	NATURAL RESOURCES
		143.75	BATTERIES - #240		487937	220076491	1765.6216		VEHICLES-TIRES/BATTERIES	PARK EQUIPMENT MAINTENANCE
		573.85	SQUAD BATTERIES		487937	220076491	1210.6216		VEHICLES-TIRES/BATTERIES	POLICE FIELD OPERATIONS/PATROL
		913.86	BATTERIES - #4984		487901	220076599	1350.6216		VEHICLES-TIRES/BATTERIES	FIRE VEHICLE MAINTENANCE
		210.00	BATTEY CORES		487562	220076627	1210.6215		EQUIPMENT-PARTS	POLICE FIELD OPERATIONS/PATROL
		1,580.23								
34407	4/25/2025		<b>131791 IRRIGATION BY DESIGN INC</b>							
		878.16	COBBLESTONE PK WEST IRRIGATION		487614	36783	1720.6249		OTHER CONTRACTUAL SERVICES	PARK GROUNDS MAINTENANCE
		1,891.82	COBBLESTONE PK-EAST IRRIGATION		487615	36784	1720.6249		OTHER CONTRACTUAL SERVICES	PARK GROUNDS MAINTENANCE
		2,769.98								
34408	4/25/2025		<b>151539 JUNKYARD BREWING CO. LLC</b>							
		294.00	BEER#3	00052261	487796	7739	5085.6530		BEER	LIQUOR #3 STOCK PURCHASES
		294.00								
34409	4/25/2025		<b>144552 KENDELL DOORS &amp; HARDWARE INC</b>							
		250.00	REPAIR KITCHEN EXIT DOOR		488029	IN113134	1920.6266		REPAIRS-BUILDING	SENIOR CENTER
		250.00								
34410	4/25/2025		<b>157336 KING, JOEL</b>							
		250.00	BOOTS - J KING		487981	20250412	5365.6281		UNIFORM/CLOTHING ALLOWANCE	SEWER MGMT/REPORTS/DATA ENTRY
		250.00								
34411	4/25/2025		<b>154223 LIGHTNING DISPOSAL, INC.</b>							
		279.32	YARD DUMPSTER		487613	748467	1720.6240		CLEANING SERVICE/GARBAGE REMOV	PARK GROUNDS MAINTENANCE
		279.33	YARD DUMPSTER		487613	748467	1600.6240		CLEANING SERVICE/GARBAGE REMOV	STREET MANAGEMENT
		558.65								
34412	4/25/2025		<b>100289 LOGIS</b>							

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<b>34412</b>	<b>4/25/2025</b>		<b>100289 LOGIS</b>						<b>Continued...</b>	
		15.00	VPN TOKEN		487969	146006	1020.6229		GENERAL SUPPLIES	HUMAN RESOURCES
		15.00	VPN TOKEN		487969	146006	1030.6211		SMALL TOOLS & EQUIPMENT	INFORMATION TECHNOLOGY
		<u>30.00</u>								
<b>34413</b>	<b>4/25/2025</b>		<b>100021 M AMUNDSON LLP</b>							
		173.98	TAX#3	00044390	487798	400820	5085.6540		TAXABLE MISC FOR RESALE	LIQUOR #3 STOCK PURCHASES
		1,237.99	NTAX#3	00044390	487799	400820	5085.6545		NON-TAXABLE MISC FOR RESALE	LIQUOR #3 STOCK PURCHASES
		<u>1,411.97</u>								
<b>34414</b>	<b>4/25/2025</b>		<b>100293 MACQUEEN EQUIPMENT</b>							
		237.30	SWEEPER PARTS		487866	P63804	5505.6215		EQUIPMENT-PARTS	STORM DRAIN MNTC/RPR/SUMPS
		382.10	MAINLINE CAMERA RETERM		487977	P64096	5390.6215		EQUIPMENT-PARTS	SWR EQUIP/VEHICLE MISC MNTC/RP
		<u>619.40</u>								
<b>34415</b>	<b>4/25/2025</b>		<b>148903 MARCO TECHNOLOGIES LLC</b>							
		666.00	MITEL PHONE SYSTEM UPGRADE		487625	INV13695634	1030.6235		CONSULTANT SERVICES	INFORMATION TECHNOLOGY
		360.75	MITEL PHONE SYSTEM UPGRADE		487962	INV13736574	1030.6235		CONSULTANT SERVICES	INFORMATION TECHNOLOGY
		<u>1,026.75</u>								
<b>34416</b>	<b>4/25/2025</b>		<b>152514 MEGA BEER LLC</b>							
		338.25	BEER#3	00052423	487996	23060	5085.6530		BEER	LIQUOR #3 STOCK PURCHASES
		92.90-	BEER#3	00052423	487997	23060	5085.6530		BEER	LIQUOR #3 STOCK PURCHASES
		157.50	BEER#1	00052423	487993	23168	5015.6530		BEER	LIQUOR #1 STOCK PURCHASES
		92.90	BEER#3	00052423	487998	23198	5085.6530		BEER	LIQUOR #3 STOCK PURCHASES
		443.25	BEER#1	00052423	487994	23527	5015.6530		BEER	LIQUOR #1 STOCK PURCHASES
		356.15	BEER#3	00052423	487999	23633	5085.6530		BEER	LIQUOR #3 STOCK PURCHASES
		270.25	BEER#1	00052423	487995	23983	5015.6530		BEER	LIQUOR #1 STOCK PURCHASES
		<u>1,565.40</u>								
<b>34417</b>	<b>4/25/2025</b>		<b>156194 METRO ALARM &amp; LOCK</b>							
		2.89-	SALES TAX ADJ		487651	86347	5025.6265		REPAIRS-EQUIPMENT	LIQUOR #1 OPERATIONS
		2.89	SALES TAX ADJ		487651	86347	5000.2330		DUE TO OTHER GOVERNMENT	LIQUOR BALANCE SHEET
		248.70	ALARM REPAIR		487651	86347	5025.6265		REPAIRS-EQUIPMENT	LIQUOR #1 OPERATIONS
		<u>248.70</u>								
<b>34418</b>	<b>4/25/2025</b>		<b>100849 METRO VOLLEYBALL OFFICIALS ASS</b>							
		408.00	VOLLEYBALL OFFICIALS FEB-14		487592	2614	1860.6249		OTHER CONTRACTUAL SERVICES	REC VOLLEYBALL
		<u>408.00</u>								
<b>34419</b>	<b>4/25/2025</b>		<b>100337 MN DEPT OF LABOR &amp; INDUSTRY</b>							



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34419	4/25/2025		<b>100337 MN DEPT OF LABOR &amp; INDUSTRY</b>						<b>Continued...</b>	
		100.00	ELEVATOR - ANNUAL		487581	ALR0167649X	1060.6266		REPAIRS-BUILDING	MUNICIPAL BLDG & GROUNDS MNTC
		100.00								
34420	4/25/2025		<b>151869 MODIST BREWING CO LLC</b>							
		332.20	BEER#3	00052303	488001	58066	5085.6530		BEER	LIQUOR #3 STOCK PURCHASES
		332.20								
34421	4/25/2025		<b>100348 MTI DISTRIBUTING CO</b>							
		23.37-	IRRIGATION SERVICE		487629	146686100	2200.2330		DUE TO OTHER GOVERNMENT	VALLEYWOOD GOLF
		23.37	SALES TAX ADJ		487629	146686100	2243.6215		EQUIPMENT-PARTS	GOLF IRRIGATION MAINTENANCE
		340.00	IRRIGATION SERVICE		487629	146686100	2243.6215		EQUIPMENT-PARTS	GOLF IRRIGATION MAINTENANCE
		181.28	MOWER PARTS		487641	146692000	1765.6215		EQUIPMENT-PARTS	PARK EQUIPMENT MAINTENANCE
		777.20	MOWER PARTS		488028	146753900	1765.6215		EQUIPMENT-PARTS	PARK EQUIPMENT MAINTENANCE
		659.57	MOWER 218 PARTS		487980	146809000	1765.6215		EQUIPMENT-PARTS	PARK EQUIPMENT MAINTENANCE
		1,958.05								
34422	4/25/2025		<b>154297 NITTI SANITATION</b>							
		691.87	CH TRASH APR		487663	30182001APR25	1060.6240		CLEANING SERVICE/GARBAGE REMOV	MUNICIPAL BLDG & GROUNDS MNTC
		640.50	CMF ORGANICS BIN		487662	30182002APR25	1540.6240	2023171G	CLEANING SERVICE/GARBAGE REMOV	CMF BUILDINGS & GROUNDS MNTC
		1,628.13	CMF TRASH APR		487662	30182002APR25	1540.6240		CLEANING SERVICE/GARBAGE REMOV	CMF BUILDINGS & GROUNDS MNTC
		223.08	FIRE STA 1 TRASH APR		487661	30182003APR25	1340.6240		CLEANING SERVICE/GARBAGE REMOV	FIRE BLDG & GROUNDS MNTC
		59.14	FIRE STA 2 APR		487660	30182004APR25	1340.6240		CLEANING SERVICE/GARBAGE REMOV	FIRE BLDG & GROUNDS MNTC
		61.32	FIRE STA 3 TRASH APR		487659	30182005APR25	1340.6240		CLEANING SERVICE/GARBAGE REMOV	FIRE BLDG & GROUNDS MNTC
		294.82	LIQ 1 TRASH APR		487658	30182006APR25	5025.6240		CLEANING SERVICE/GARBAGE REMOV	LIQUOR #1 OPERATIONS
		129.96	LIQ 2 TRASH APR		487657	30182007APR25	5065.6240		CLEANING SERVICE/GARBAGE REMOV	LIQUOR #2 OPERATIONS
		61.32	LIQ 3 RECYCLE APR		487627	30182008APR25	5095.6240		CLEANING SERVICE/GARBAGE REMOV	LIQUOR #3 OPERATIONS
		95.00	LIQ 3 RECYCLE MAR		487655	30182008RECYCLE	5095.6240		CLEANING SERVICE/GARBAGE REMOV	LIQUOR #3 OPERATIONS
						MAR25				
		221.13	OLD CH TRASH APR		487665	30182009APR25	2092.6240		CLEANING SERVICE/GARBAGE	EDUCATION BUILDING FUND
		316.32	HCSC TRASH APR		487664	30182010APR25	1920.6240		CLEANING SERVICE/GARBAGE REMOV	SENIOR CENTER
		469.38	AVCC TRASH APR		487664	30182010APR25	1900.6240		CLEANING SERVICE/GARBAGE REMOV	AV COMMUNITY CENTER
		234.70	IA2 TRASH APR		487664	30182010APR25	5265.6240		CLEANING SERVICE/GARBAGE REMOV	ARENA 2 BLDG MAINTENANCE-HAYES
		280.83	JCR PK TRASH APR		487656	30182014APR25	1730.6240		CLEANING SERVICE/GARBAGE REMOV	PARK BUILDING MAINTENANCE
		150.80	QP TRASH APR		487841	30182015APR25	1945.6240		CLEANING SERVICE/GARBAGE REMOV	QUARRY POINTE
		1,066.24	GOLF TRASH APR		487654	30182017APR25	2230.6240		CLEANING SERVICE/GARBAGE REMOV	GOLF SHOP BUILDING MAINTENANCE
		6,624.54								
34423	4/25/2025		<b>162928 NORTH STAR HEMP LLC</b>							
		216.00	THC#1	00053117	488002	41525A1	5015.6515		THC/CBD	LIQUOR #1 STOCK PURCHASES
		216.00								

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34423	4/25/2025		162928 NORTH STAR HEMP LLC						Continued...	
34424	4/25/2025		111219 NORTHERN SAFETY TECHNOLOGY INC							
		235.89	FLASHLIGHT REPLACEMENT PARTS		487804	59247	1330.6215		EQUIPMENT-PARTS	FIRE OPERATIONS
		120.06	PARTS - #365		487886	59274	1630.6215		EQUIPMENT-PARTS	STREET EQUIPMENT MAINTENANCE
		355.95								
34425	4/25/2025		150632 OERTEL ARCHITECTS							
		1,454.00	AE DESIGN FEE FOR PD PROJECT		487947	212234	4432.6235	2021172G	CONSULTANT SERVICES	2024A CAPITAL PROJECTS CIP EXP
		1,454.00								
34426	4/25/2025		100385 PLUNKETT'S PEST CONTROL INC							
		56.23	PEST CONTROL		487633	9050265	2215.6249		OTHER CONTRACTUAL SERVICES	GOLF CLUBHOUSE BUILDING
		56.23								
34427	4/25/2025		141723 PRECISE MRM LLC							
		609.00	PLOW TRUCK GPS (29)		487941	IN2002004450	1665.6249		OTHER CONTRACTUAL SERVICES	STREET SNOW & ICE MATERIALS
		609.00								
34428	4/25/2025		150718 PRO-TEC DESIGN, INC							
		918.70	CMF CAMERA REPAIR		487876	118480	1530.6265		REPAIRS-EQUIPMENT	FLEET & BUILDINGS-CMF
		918.70								
34429	4/25/2025		100393 PUMP AND METER SERVICE INC							
		104.29	FUEL KEYS		487867	4003688	1530.6215		EQUIPMENT-PARTS	FLEET & BUILDINGS-CMF
		203.70	FUEL PUMP BREAKAWAYS		487874	4003708	1540.6215		EQUIPMENT-PARTS	CMF BUILDINGS & GROUNDS MNTC
		104.28	FUEL KEYS		487875	4003722	1530.6215		EQUIPMENT-PARTS	FLEET & BUILDINGS-CMF
		412.27								
34430	4/25/2025		122110 REINDERS INC							
		7,080.00	SLOW RELEASE FERTILIZER		488027	340800000	1720.6213		FERTILIZER	PARK GROUNDS MAINTENANCE
		7,080.00								
34431	4/25/2025		103269 RHOMAR INDUSTRIES INC							
		1,276.12	RHOM-SOL ASPHALT EMULSIFIER		487948	108001	1610.6214		CHEMICALS	STREET/BOULEVARD REPAIR & MNTC
		1,276.12								
34432	4/25/2025		100600 RIGID HITCH INC							
		38.80	PARTS - #336		487883	1928958210	1630.6215		EQUIPMENT-PARTS	STREET EQUIPMENT MAINTENANCE
		46.59	PARTS - #307		487884	1928959267	1630.6215		EQUIPMENT-PARTS	STREET EQUIPMENT MAINTENANCE
		85.39								

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34432	4/25/2025		100600 RIGID HITCH INC						Continued...	
34433	4/25/2025		144815 RIHM KENWORTH							
		565.18	PARTS-SLACK ADJUSTER #307		487949	2197293A	1630.6215		EQUIPMENT-PARTS	STREET EQUIPMENT MAINTENANCE
		565.18								
34434	4/25/2025		161986 S&M CLEANING SOLUTIONS LLC							
		448.80	BUILDING CLEANING APR		487616	358	2215.6240		CLEANING SERVICE/GARBAGE REMOV	GOLF CLUBHOUSE BUILDING
		448.80								
34435	4/25/2025		148730 SAAM, MATT							
		30.03	1ST QTR 2025 MILEAGE-SAAM		487847	20250331	1500.6277		MILEAGE/AUTO ALLOWANCE	PW MANAGEMENT
		30.03								
34436	4/25/2025		102023 SCHILLING SUPPLY CO INC							
		306.26	RING ROUTE GAR BAGS		487863	100033900	1610.6229		GENERAL SUPPLIES	STREET/BOULEVARD REPAIR & MNTC
		306.26								
34437	4/25/2025		100829 SHAMROCK GROUP INC							
		62.88	NO TAX#3	00052880	488012	12200003	5085.6545		NON-TAXABLE MISC FOR RESALE	LIQUOR #3 STOCK PURCHASES
		140.12	NO TAX#2	00052880	488010	12200004	5055.6545		NON-TAXABLE MISC FOR RESALE	LIQUOR #2 STOCK PURCHASES
		159.36	NO TAX#1	00052880	488008	12200011	5015.6545		NON-TAXABLE MISC FOR RESALE	LIQUOR #1 STOCK PURCHASES
		80.40	NO TAX#3	00052880	488013	12200043	5085.6545		NON-TAXABLE MISC FOR RESALE	LIQUOR #3 STOCK PURCHASES
		119.16	NO TAX#1	00052880	488009	12200050	5015.6545		NON-TAXABLE MISC FOR RESALE	LIQUOR #1 STOCK PURCHASES
		44.91	NO TAX#3	00052880	488011	448947	5085.6545		NON-TAXABLE MISC FOR RESALE	LIQUOR #3 STOCK PURCHASES
		117.44	NO TAX#1	00052880	488007	8100033	5015.6545		NON-TAXABLE MISC FOR RESALE	LIQUOR #1 STOCK PURCHASES
		724.27								
34438	4/25/2025		100437 SHERWIN WILLIAMS CO							
		504.45	ST STRIPER REPAIR		487940	24633	1680.6265		REPAIRS-EQUIPMENT	TRAFFIC SIGNS/SIGNALS/MARKERS
		504.45								
34439	4/25/2025		119875 SOUTH METRO RENTAL							
		2,428.15	CUTOFF SAW		487905	138900	1610.6211		SMALL TOOLS & EQUIPMENT	STREET/BOULEVARD REPAIR & MNTC
		2,428.15								
34440	4/25/2025		100524 SOUTHERN GLAZERS WINE AND SPIRITS OF MN							
		591.86	LIQUOR		488042	2604573	2260.6429		GOLF-LIQUOR	GOLF PRO SHOP MERCH SALES
		591.86								
34441	4/25/2025		102904 ST ANDREWS PRODUCTS CO							

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34441	4/25/2025		<b>102904 ST ANDREWS PRODUCTS CO</b>						<b>Continued...</b>	
		42.65-	GOLF USE TAX		488045	75466	2200.2330		DUE TO OTHER GOVERNMENT	VALLEYWOOD GOLF
		42.65	GOLF USE TAX		488045	75466	2260.6418		GOLF-PRO SHOP OTHER	GOLF PRO SHOP MERCH SALES
		90.24	FREIGHT		488045	75466	2210.6424		GOLF FREIGHT ON RESALE MDSE	GOLF PRO SHOP
		530.00	BAGS AND PENCILS AND TEES		488045	75466	2260.6418		GOLF-PRO SHOP OTHER	GOLF PRO SHOP MERCH SALES
		21.44	FREIGHT ON RESALE		487893	7546686356	2210.6424		GOLF FREIGHT ON RESALE MDSE	GOLF PRO SHOP
		342.00	TEES		487893	7546686356	2260.6418		GOLF-PRO SHOP OTHER	GOLF PRO SHOP MERCH SALES
		983.68								
34442	4/25/2025		<b>100457 STREICHERS INC</b>							
		23.98	NAME TAG NEW OFFICER		487858	11741180	1210.6281		UNIFORM/CLOTHING ALLOWANCE	POLICE FIELD OPERATIONS/PATROL
		23.98	NAME TAG NEW OFFICER		487857	11741181	1210.6281		UNIFORM/CLOTHING ALLOWANCE	POLICE FIELD OPERATIONS/PATROL
		1,639.45	NEW 40MM LESS LETHAL		487619	11742094	1210.6211		SMALL TOOLS & EQUIPMENT	POLICE FIELD OPERATIONS/PATROL
		74.99	DOOBAY UNIFORMS		487985	11754391	1210.6281		UNIFORM/CLOTHING ALLOWANCE	POLICE FIELD OPERATIONS/PATROL
		29.97	EXPLORER UNIFORMS		487986	11756529	1210.6281		UNIFORM/CLOTHING ALLOWANCE	POLICE FIELD OPERATIONS/PATROL
		1,792.37								
34443	4/25/2025		<b>101753 SYSCO MINNESOTA, INC</b>							
		1,842.02	SYSCO FOOD ORDER		488043	547822410	2270.6420		GOLF-FOOD	GOLF FOOD & BEVERAGE
		1,842.02								
34444	4/25/2025		<b>100471 TOLL GAS &amp; WELDING SUPPLY</b>							
		.93-	SALES TAX ADJ		487630	40210412	2200.2330		DUE TO OTHER GOVERNMENT	VALLEYWOOD GOLF
		.93	SALES TAX ADJ		487630	40210412	2240.6229		GENERAL SUPPLIES	GOLF EQUIPMENT MAINTENANCE
		13.64	WELDING		487630	40210412	2240.6229		GENERAL SUPPLIES	GOLF EQUIPMENT MAINTENANCE
		13.64								
34445	4/25/2025		<b>137344 TRAFERA LLC</b>							
		19,890.00	DELL OPTIPLEX WORKSTATIONS(15)		487643	1001284418	1030.6725		CAPITAL OUTLAY-OFFICE EQUIP	INFORMATION TECHNOLOGY
		19,890.00								
34446	4/25/2025		<b>100486 TWIN CITY GARAGE DOOR CO</b>							
		591.00	TGARAGE DOOR TRACK REPLACED		487943	415787772	1530.6266		REPAIRS-BUILDING	FLEET & BUILDINGS-CMF
		2,972.00	GARAGE DOOR OPENER REPLACED		487918	415798463	1530.6266		REPAIRS-BUILDING	FLEET & BUILDINGS-CMF
		3,563.00								
34447	4/25/2025		<b>158457 URBAN EDGE</b>							
		224.49	K9 FOOD		487934	38	1210.6229		GENERAL SUPPLIES	POLICE FIELD OPERATIONS/PATROL
		224.49								
34448	4/25/2025		<b>151366 URBAN GROWLER BREWING COMPANY</b>							

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34448	4/25/2025		<b>151366 URBAN GROWLER BREWING COMPANY</b>						<b>Continued...</b>	
		393.50	BEER#1	00052250	488014	E39423	5015.6530		BEER	LIQUOR #1 STOCK PURCHASES
		393.50								
34449	4/25/2025		<b>158620 VENN BREWING COMPANY</b>							
		359.00	BEER#3	00052964	488015	8553	5085.6530		BEER	LIQUOR #3 STOCK PURCHASES
		359.00								
34450	4/25/2025		<b>137762 WSB &amp; ASSOCIATES INC</b>							
		512.50	FISH MGMT LONG LAKE DRAWDOWN		487933	R0268160004	5505.6249	2024178D	OTHER CONTRACTUAL SERVICES	STORM DRAIN MNTC/RPR/SUMPS
		512.50								
34451	4/25/2025		<b>100528 ZIEGLER INC</b>							
		345.33	15 GALLONS OF GENERATOR OIL		487645	IN001860072	5325.6212		MOTOR FUELS/OILS	WATER TREATMENT FCLTY MNTC/RPR
		377.57	PARTS - #351		487885	IN001863530	1630.6215		EQUIPMENT-PARTS	STREET EQUIPMENT MAINTENANCE
		722.90								
34452	4/25/2025		<b>100529 ZINCK, JAMES R</b>							
		49.00	ZINCK - MARCH MILAGE		487846	20250328	2205.6277		MILEAGE/AUTO ALLOWANCE	GOLF MANAGEMENT
		49.00								
325447	4/23/2025		<b>161479 24RESTORE</b>							
		1.00	SURCHAR REFUND 14354 FLORA CT		487602	20250401	1001.4072		STATE SURTAX COLLECTED	GENERAL FUND REVENUE
		152.79	PERMIT REFUND 14354 FLORA CT		487602	20250401	1001.4060		PERMIT-BUILDING PERMIT	GENERAL FUND REVENUE
		153.79								
325448	4/23/2025		<b>147492 ACUSHNET COMPANY</b>							
		2.49-	DISCOUNT		488022	920110738	2260.6423		GOLF-CASH DISCOUNT	GOLF PRO SHOP MERCH SALES
		124.50	TITLEIST PROMO		488022	920110738	2260.6412		GOLF-BALLS	GOLF PRO SHOP MERCH SALES
		2.49-	DISCOUNT		488023	920110815	2260.6423		GOLF-CASH DISCOUNT	GOLF PRO SHOP MERCH SALES
		124.50	TITLEIST PROMO		488023	920110815	2260.6412		GOLF-BALLS	GOLF PRO SHOP MERCH SALES
		139.50-	DISCOUNT		488024	920133850	2260.6423		GOLF-CASH DISCOUNT	GOLF PRO SHOP MERCH SALES
		2,790.00	FOOTJOY SHOES		488024	920133850	2260.6416		GOLF-SHOES	GOLF PRO SHOP MERCH SALES
		249.75-	DISCOUNT		488025	920133851	2260.6423		GOLF-CASH DISCOUNT	GOLF PRO SHOP MERCH SALES
		8,325.00	FOOTJOY GLOVES		488025	920133851	2260.6415		GOLF-GLOVES	GOLF PRO SHOP MERCH SALES
		150.25-	DISCOUNT		488026	920133861	2260.6423		GOLF-CASH DISCOUNT	GOLF PRO SHOP MERCH SALES
		3,005.00	FOOTJOY CLOTHING AND HATS		488026	920133861	2260.6413		GOLF-CAPS/HATS/CLOTHING	GOLF PRO SHOP MERCH SALES
		13,824.52								
325449	4/23/2025		<b>152774 ADIDAS AMERICA INC</b>							
		1,366.14	ADIDAS SHOES		487939	6163059269	2260.6416		GOLF-SHOES	GOLF PRO SHOP MERCH SALES

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325449	4/23/2025		152774 ADIDAS AMERICA INC						Continued...	
		1,366.14								
325450	4/23/2025		100089 ADVANCE PROFESSIONAL							
		74.84	BIOCLEN DIESEL TREAT		487666	1594ID470140	5390.6212		MOTOR FUELS/OILS	SWR EQUIP/VEHICLE MISC MNTC/RP
		74.84								
325451	4/23/2025		103168 AMERICAN FLAGPOLE AND FLAG CO							
		1,004.85	APPLE VALLEY FLAGS		487911	197958	1060.6229		GENERAL SUPPLIES	MUNICIPAL BLDG & GROUNDS MNTC
		1,004.85								
325452	4/23/2025		100854 AMERICAN TEST CENTER							
		2,360.00	AERIAL & GROUND LADDER TESTING		487989	2250636	1350.6265		REPAIRS-EQUIPMENT	FIRE VEHICLE MAINTENANCE
		2,360.00								
325453	4/23/2025		100958 ANCOM COMMUNICATIONS INC							
		160.00	PAGER REPAIR		487803	127224	1330.6265		REPAIRS-EQUIPMENT	FIRE OPERATIONS
		160.00								
325454	4/23/2025		154253 APPLE FORD LINCOLN							
		178.02	PARTS - #919		487869	703669	1210.6215		EQUIPMENT-PARTS	POLICE FIELD OPERATIONS/PATROL
		91.00	PARTS - #919		487870	703835	1210.6215		EQUIPMENT-PARTS	POLICE FIELD OPERATIONS/PATROL
		111.00	PARTS - #912		487871	704379	1210.6215		EQUIPMENT-PARTS	POLICE FIELD OPERATIONS/PATROL
		80.30	PARTS - #910		487872	704966	1210.6215		EQUIPMENT-PARTS	POLICE FIELD OPERATIONS/PATROL
		460.32								
325455	4/23/2025		100036 APPLE VALLEY CHAMBER OF COMMER							
		5,100.00	CHAMBER PROMOTIONS		488039	26824	1100.6249		OTHER CONTRACTUAL SERVICES	DEV MANAGEMENT
		945.00	LIQUOR STORE CHAMBER DUES		488039	26824	5005.6280		DUES & SUBSCRIPTIONS	LIQUOR GENERAL OPERATIONS
		6,045.00								
325456	4/23/2025		125174 ARTISAN BEER COMPANY							
		1,723.75	BEER#3	00047806	487683	3755153	5085.6530		BEER	LIQUOR #3 STOCK PURCHASES
		135.30	TAX#3	00047806	487684	3755154	5085.6540		TAXABLE MISC FOR RESALE	LIQUOR #3 STOCK PURCHASES
		944.35	BEER#1	00047806	487669	3756838	5015.6530		BEER	LIQUOR #1 STOCK PURCHASES
		742.00	BEER#1	00047806	487670	3756839	5015.6530		BEER	LIQUOR #1 STOCK PURCHASES
		710.80	BEER#2	00047806	487679	3756840	5055.6530		BEER	LIQUOR #2 STOCK PURCHASES
		2,278.90	BEER#3	00047806	487685	3756841	5085.6530		BEER	LIQUOR #3 STOCK PURCHASES
		411.60	THC#3	00047806	487686	3756842	5085.6515		THC/CBD	LIQUOR #3 STOCK PURCHASES
		1,003.10	BEER#1	00047806	487675	3758342	5015.6530		BEER	LIQUOR #1 STOCK PURCHASES
		249.30	THC#1	00047806	487674	3758343	5015.6515		THC/CBD	LIQUOR #1 STOCK PURCHASES

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<b>325456</b>	<b>4/23/2025</b>		<b>125174 ARTISAN BEER COMPANY</b>						<b>Continued...</b>	
		874.14	BEER#3	00047806	487687	3758344	5085.6530		BEER	LIQUOR #3 STOCK PURCHASES
		415.50	THC#3	00047806	487688	3758345	5085.6515		THC/CBD	LIQUOR #3 STOCK PURCHASES
		1,420.00	BEER#2	00047806	487680	3758719	5055.6530		BEER	LIQUOR #2 STOCK PURCHASES
		249.30	THC#2	00047806	487681	3758720	5055.6515		THC/CBD	LIQUOR #2 STOCK PURCHASES
		408.60	BEER#1	00047806	487676	3759954	5015.6530		BEER	LIQUOR #1 STOCK PURCHASES
		482.50	THC#1	00047806	487677	3759955	5015.6515		THC/CBD	LIQUOR #1 STOCK PURCHASES
		332.30	BEER#2	00047806	487682	3759956	5055.6530		BEER	LIQUOR #2 STOCK PURCHASES
		1,768.10	BEER#3	00047806	487689	3759957	5085.6530		BEER	LIQUOR #3 STOCK PURCHASES
		92.80-	CMBEER#2	00047806	487678	417984	5055.6530		BEER	LIQUOR #2 STOCK PURCHASES
		65.80-	CMTHC#1	00047806	487672	418714	5015.6515		THC/CBD	LIQUOR #1 STOCK PURCHASES
		75.44-	CMBEER#1	00047806	487671	418786	5015.6530		BEER	LIQUOR #1 STOCK PURCHASES
		3.75-	CMBEER#1	00047806	487673	418846	5015.6530		BEER	LIQUOR #1 STOCK PURCHASES
		13,911.75								
<b>325457</b>	<b>4/23/2025</b>		<b>109954 BERRY COFFEE COMPANY</b>							
		198.11	CH COFFEE		487644	1052820	1060.6229		GENERAL SUPPLIES	MUNICIPAL BLDG & GROUNDS MNTC
		198.11								
<b>325458</b>	<b>4/23/2025</b>		<b>163461 BLAKE DRILLING COMPANY INC</b>							
		57,745.00	140TH SEWER REPAIRS BY-PASSING		487593	INV25003	5375.6735	2025127S	CAPITAL OUTLAY-OTHER IMPROVEME	SEWER MAINTENANCE AND REPAIR
		57,745.00								
<b>325459</b>	<b>4/23/2025</b>		<b>162682 BOSTEL, ANH NGUYET</b>							
		113.04	FUEL FOR U3 - FDIC - BOSTEL A		488019	20250411	1310.6276		SCHOOLS/CONFERENCES/EXP OTHER	FIRE TRAINING
		113.04								
<b>325460</b>	<b>4/23/2025</b>		<b>137649 BOUND TREE MEDICAL LLC</b>							
		22.29	EMS BAG SHOULDER STRAP		487807	85731199	1330.6229		GENERAL SUPPLIES	FIRE OPERATIONS
		22.29								
<b>325461</b>	<b>4/23/2025</b>		<b>100296 BREAKTHRU BEVERAGE MIN - BEER</b>							
		7,115.25	BEER#2	00000105	487715	118829111	5055.6530		BEER	LIQUOR #2 STOCK PURCHASES
		78.40-	CMBEER#2	00000105	487716	118829111	5055.6530		BEER	LIQUOR #2 STOCK PURCHASES
		5,828.50	BEER#2	00000105	487718	120402139	5055.6530		BEER	LIQUOR #2 STOCK PURCHASES
		8,810.45	BEER#2	00000105	487720	120620303	5055.6530		BEER	LIQUOR #2 STOCK PURCHASES
		549.00	LIQ#2	00000105	487721	120620304	5055.6510		LIQUOR	LIQUOR #2 STOCK PURCHASES
		64.60	TAX#2	00000105	487722	120620305	5055.6540		TAXABLE MISC FOR RESALE	LIQUOR #2 STOCK PURCHASES
		32.00	BEER#1	00000105	487694	120732435	5015.6530		BEER	LIQUOR #1 STOCK PURCHASES
		213.00	LIQ#3	00000105	487740	120732566	5085.6510		LIQUOR	LIQUOR #3 STOCK PURCHASES
		5,459.00	BEER#3	00000105	487741	120732567	5085.6530		BEER	LIQUOR #3 STOCK PURCHASES

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		120.20	TAX#3	00000105	487742	120732568	5085.6540		TAXABLE MISC FOR RESALE	LIQUOR #3 STOCK PURCHASES
		3,428.35	BEER#2	00000105	487728	120732569	5055.6530		BEER	LIQUOR #2 STOCK PURCHASES
		15,657.25	BEER#1	00000105	487693	120732570	5015.6530		BEER	LIQUOR #1 STOCK PURCHASES
		285.40	BT BEER		487891	120743751	2260.6419		GOLF-BEER	GOLF PRO SHOP MERCH SALES
		11,315.65	BEER#3	00000105	487743	12082714	5085.6530		BEER	LIQUOR #3 STOCK PURCHASES
		329.25	TAX#3	00000105	487744	120842715	5085.6540		TAXABLE MISC FOR RESALE	LIQUOR #3 STOCK PURCHASES
		4,849.45	BEER#2	00000105	487732	120842716	5055.6530		BEER	LIQUOR #2 STOCK PURCHASES
		11,210.72	BEER#1	00000105	487703	120842718	5015.6530		BEER	LIQUOR #1 STOCK PURCHASES
		408.75	TAX#1	00000105	487704	120842719	5015.6540		TAXABLE MISC FOR RESALE	LIQUOR #1 STOCK PURCHASES
		235.00	LIQ#1	00000105	487705	120842720	5015.6510		LIQUOR	LIQUOR #1 STOCK PURCHASES
		9,870.85	BEER#3	00000105	487751	120950502	5085.6530		BEER	LIQUOR #3 STOCK PURCHASES
		182.20	TAX#3	00000105	487753	120950503	5085.6540		TAXABLE MISC FOR RESALE	LIQUOR #3 STOCK PURCHASES
		495.00	LIQ#3	00000105	487754	120950504	5085.6510		LIQUOR	LIQUOR #3 STOCK PURCHASES
		129.30	TAX#2	00000105	487737	120950505	5055.6540		TAXABLE MISC FOR RESALE	LIQUOR #2 STOCK PURCHASES
		153.00	LIQ#2	00000105	487738	120950507	5055.6510		LIQUOR	LIQUOR #2 STOCK PURCHASES
		237.80	TAX#1	00000105	487708	120950508	5015.6540		TAXABLE MISC FOR RESALE	LIQUOR #1 STOCK PURCHASES
		20,141.05	BEER#1	00000105	487710	120950509	5015.6530		BEER	LIQUOR #1 STOCK PURCHASES
		143.10-	CMBEER#1	00000105	487711	120950509	5015.6530		BEER	LIQUOR #1 STOCK PURCHASES
		261.00	LIQ#1	00000105	487712	120950510	5015.6510		LIQUOR	LIQUOR #1 STOCK PURCHASES
		119.00	TAX#1	00000105	487709	120950808	5015.6540		TAXABLE MISC FOR RESALE	LIQUOR #1 STOCK PURCHASES
		45.30-	CMBEER#2	00000105	487717	413006767	5055.6530		BEER	LIQUOR #2 STOCK PURCHASES
		150.00-	CMBEER#3	00000105	487739	413265647	5085.6530		BEER	LIQUOR #3 STOCK PURCHASES
		64.00-	CMBEER#2	00000105	487719	413357945	5055.6530		BEER	LIQUOR #2 STOCK PURCHASES
		5.38-	CMBEER#2	00000105	487723	413381188	5055.6530		BEER	LIQUOR #2 STOCK PURCHASES
		7.32-	CMBEER#2	00000105	487724	413381189	5055.6530		BEER	LIQUOR #2 STOCK PURCHASES
		6.53-	CMTAX#2	00000105	487725	413381190	5055.6540		TAXABLE MISC FOR RESALE	LIQUOR #2 STOCK PURCHASES
		23.08-	CMBEER#2	00000105	487726	413381191	5055.6530		BEER	LIQUOR #2 STOCK PURCHASES
		41.76-	CMBEER#2	00000105	487727	413387671	5055.6530		BEER	LIQUOR #2 STOCK PURCHASES
		24.30-	CMBEER#1	00000105	487692	413387672	5015.6530		BEER	LIQUOR #1 STOCK PURCHASES
		63.20-	CMBEER#2	00000105	487729	413402950	5055.6530		BEER	LIQUOR #2 STOCK PURCHASES
		57.80-	CMBEER#1	00000105	487695	413402951	5015.6530		BEER	LIQUOR #1 STOCK PURCHASES
		30.00-	CMBEER#1	00000105	487696	413402952	5015.6530		BEER	LIQUOR #1 STOCK PURCHASES
		113.10-	CMBEER#2	00000105	487730	413405224	5055.6530		BEER	LIQUOR #2 STOCK PURCHASES
		108.80-	CMBEER#2	00000105	487731	413405225	5055.6530		BEER	LIQUOR #2 STOCK PURCHASES
		6.40-	CMBEER#1	00000105	487697	413405228	5015.6530		BEER	LIQUOR #1 STOCK PURCHASES
		6.92-	CMBEER#1	00000105	487698	413405229	5015.6530		BEER	LIQUOR #1 STOCK PURCHASES
		4.65-	CMBEER#1	00000105	487699	413405230	5015.6530		BEER	LIQUOR #1 STOCK PURCHASES
		96.00-	CMBEER#1	00000105	487700	413405231	5015.6530		BEER	LIQUOR #1 STOCK PURCHASES
		7.83-	CMBEER#1	00000105	487701	413405232	5015.6530		BEER	LIQUOR #1 STOCK PURCHASES



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		15.66-	CMBEER#1	00000105	487702	413405233	5015.6530		BEER	LIQUOR #1 STOCK PURCHASES
		28.90-	CMBEER#2	00000105	487733	413425951	5055.6530		BEER	LIQUOR #2 STOCK PURCHASES
		26.40-	CMBEER#1	00000105	487707	413425952	5015.6530		BEER	LIQUOR #1 STOCK PURCHASES
		106.05-	CMLIQ#3	00000105	487745	413426102	5085.6510		LIQUOR	LIQUOR #3 STOCK PURCHASES
		189.00-	CMLIQ#3	00000105	487746	413426103	5085.6510		LIQUOR	LIQUOR #3 STOCK PURCHASES
		240.03-	CMBEER#2	00000105	487734	413426105	5055.6530		BEER	LIQUOR #2 STOCK PURCHASES
		111.36-	CMLIQ#1	00000105	487706	413426107	5015.6510		LIQUOR	LIQUOR #1 STOCK PURCHASES
		47.25-	CMLIQ#3	00000105	487747	413426979	5085.6510		LIQUOR	LIQUOR #3 STOCK PURCHASES
		55.90-	CMBEER#3	00000105	487752	4134353582	5085.6530		BEER	LIQUOR #3 STOCK PURCHASES
		313.36-	CMLIQ#3	00000105	487748	413438364	5085.6510		LIQUOR	LIQUOR #3 STOCK PURCHASES
		56.00-	CMBEER#3	00000105	487749	413438365	5085.6530		BEER	LIQUOR #3 STOCK PURCHASES
		6.28-	CMBEER#3	00000105	487750	413438366	5085.6530		BEER	LIQUOR #3 STOCK PURCHASES
		22.00-	CMBEER#2	00000105	487735	413438367	5055.6530		BEER	LIQUOR #2 STOCK PURCHASES
		54.40-	CMBEER#2	00000105	487736	413438368	5055.6530		BEER	LIQUOR #2 STOCK PURCHASES
		10.00-	CMLIQ#1	00000105	487713	413444601	5015.6510		LIQUOR	LIQUOR #1 STOCK PURCHASES
		30.00-	CMLIQ#1	00000105	487714	413444602	5015.6510		LIQUOR	LIQUOR #1 STOCK PURCHASES
		105,104.56								
325462	4/23/2025		<b>100152 BREAKTHRU BEVERAGE MIN WINE</b>							
		478.36	BT LIQUOR		487952	120745672	2260.6429		GOLF-LIQUOR	GOLF PRO SHOP MERCH SALES
		478.36								
325463	4/23/2025		<b>144930 CANON</b>							
		49.94	COPIER LEASE		487970	39813181	2012.6310		RENTAL EXPENSE	CABLE TV JOINT POWERS
		49.94								
325464	4/23/2025		<b>116142 CARGILL INCORPORATED</b>							
		2,803.84	CLEAR LANE DE-ICER (21.52 T)		487862	2910703716	1665.6229		GENERAL SUPPLIES	STREET SNOW & ICE MATERIALS
		2,803.84								
325465	4/23/2025		<b>119058 CERTIFIED RECYCLING, LLC</b>							
		459.40	RECYCLING EQUIP & ELECTRONICS		487620	86008	2215.6240		CLEANING SERVICE/GARBAGE REMOV	GOLF CLUBHOUSE BUILDING
		459.40								
325466	4/23/2025		<b>100282 CINTAS CORPORATION</b>							
		67.49	STREETS COVERALL RENTAL		487808	4225448326	1530.6281		UNIFORM/CLOTHING ALLOWANCE	FLEET & BUILDINGS-CMF
		155.75	CINTAS LINENS		487632	4225850755	2215.6240		CLEANING SERVICE/GARBAGE REMOV	GOLF CLUBHOUSE BUILDING
		66.78	CH MAT SVC		487628	4226074889	1060.6240		CLEANING SERVICE/GARBAGE REMOV	MUNICIPAL BLDG & GROUNDS MNTC
		51.80	CARPET RUNNERS		487596	4226075016	1060.6240		CLEANING SERVICE/GARBAGE REMOV	MUNICIPAL BLDG & GROUNDS MNTC
		9.50	SHOP COVERALLS		487839	4226163220	1530.6281		UNIFORM/CLOTHING ALLOWANCE	FLEET & BUILDINGS-CMF

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		13.51	PARKS COVERALLS		487839	4226163220	1710.6281		UNIFORM/CLOTHING ALLOWANCE	PARK MAINTENANCE MANAGEMENT
		44.48	STREETS COVERALLS		487839	4226163220	1600.6281		UNIFORM/CLOTHING ALLOWANCE	STREET MANAGEMENT
		.74-	SALES TAX ADJ		487959	4226163399	5000.2330		DUE TO OTHER GOVERNMENT	LIQUOR BALANCE SHEET
		.74	SALES TAX ADJ		487959	4226163399	5065.6240		CLEANING SERVICE/GARBAGE REMOVLIQUOR #2 OPERATIONS	
		10.80	FLOOR MATS		487959	4226163399	5065.6240		CLEANING SERVICE/GARBAGE REMOVLIQUOR #2 OPERATIONS	
		155.75	CINTAS LINENS		487953	4226702021	2215.6240		CLEANING SERVICE/GARBAGE REMOVGOLF CLUBHOUSE BUILDING	
		36.00	RUG SERVICE - CMF		487840	4226797388	1530.6240		CLEANING SERVICE/GARBAGE REMOVFLEET & BUILDINGS-CMF	
		.46-	SALES TAX ADJ		487960	4226797525	5000.2330		DUE TO OTHER GOVERNMENT	LIQUOR BALANCE SHEET
		.46	SALES TAX ADJ		487960	4226797525	5025.6249		OTHER CONTRACTUAL SERVICES	LIQUOR #1 OPERATIONS
		6.72	RUGS/MATTS		487960	4226797525	5025.6249		OTHER CONTRACTUAL SERVICES	LIQUOR #1 OPERATIONS
		618.58								
325467	4/23/2025		<b>113504 CINTAS FIRST AID &amp; SAFETY</b>							
		97.98	FIRST AID SUPPLIES - MC		487865	5262068003	1060.6229		GENERAL SUPPLIES	MUNICIPAL BLDG & GROUNDS MNTC
		74.34	FIRST AID KIT REPLENISH		487900	5262532512	2260.6249		OTHER CONTRACTUAL SERVICES	GOLF PRO SHOP MERCH SALES
		172.32								
325468	4/23/2025		<b>100510 CORE &amp; MAIN</b>							
		75.43	LIFT 7 FLANGE		487976	W713579	5380.6215		EQUIPMENT-PARTS	SEWER LIFT STN REPAIR & MNTC
		685.05	A-1 TOP HAT COVERS WATER		487582	W713687	5330.6229		GENERAL SUPPLIES	WTR MAIN/HYDRANT/CURB STOP MNT
		760.48								
325469	4/23/2025		<b>156145 CYBER ADVISORS INC</b>							
		2,250.00	VCISO MONTHLY SERVICES APRIL		487624	130311	1030.6235		CONSULTANT SERVICES	INFORMATION TECHNOLOGY
		2,250.00								
325470	4/23/2025		<b>163270 DAILY DOSE LLC</b>							
		440.00	THC/CBD#3	00053129	487762	18	5085.6515		THC/CBD	LIQUOR #3 STOCK PURCHASES
		440.00								
325471	4/23/2025		<b>100123 DAKOTA COUNTY FINANCIAL SERVIC</b>							
		1,152.03	SIGNAL UTILITIES 4TH QTR'22		487936	5503210	5805.6255		UTILITIES-ELECTRIC	STREET LIGHT UTILITY FUND
		4,477.50	SIGNAL MAINT - DAKOTA CO.		487913	5503211	1680.6249		OTHER CONTRACTUAL SERVICES	TRAFFIC SIGNS/SIGNALS/MARKERS
		5,629.53								
325472	4/23/2025		<b>140503 DARTS</b>							
		4,865.50	DARTS FY24 Q3		487978	11310808	1013.6249		OTHER CONTRACTUAL SERVICES	CODE ENFORCEMENT
		4,865.50								
325473	4/23/2025		<b>116265 DIVAL SAFETY EQUIPMENT INC</b>							

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325473	4/23/2025		116265 DIVAL SAFETY EQUIPMENT INC						Continued...	
		308.89	GLOVES		487873	3679591	1610.6229		GENERAL SUPPLIES	STREET/BOULEVARD REPAIR & MNTC
		308.89								
325474	4/23/2025		156111 DOSTAL, THOMAS							
		70.00	DOSTAL SETTLEAGREEMENT RTW		487864	20250414	2205.6235		CONSULTANT SERVICES	GOLF MANAGEMENT
		70.00								
325475	4/23/2025		145240 ECOLAB PEST ELIM DIV							
		75.67	PEST CONTROL - EDU BLDG		487974	7918617	2092.6249		OTHER CONTRACTUAL SERVICES	EDUCATION BUILDING FUND
		75.67								
325476	4/23/2025		145786 EVENTPRO360 LLC							
		1,500.00	EVENT PRO ANNUAL LICENSE		487640	12851	2205.6308		SOFTWARE SUBSCRIPTIONS	GOLF MANAGEMENT
		1,500.00								
325477	4/23/2025		158230 FALLING KNIFE BREWING CO							
		400.00	THC#1	00052916	487764	18750	5015.6515		THC/CBD	LIQUOR #1 STOCK PURCHASES
		303.00	BEER#3	00052916	487765	18842	5085.6530		BEER	LIQUOR #3 STOCK PURCHASES
		703.00								
325478	4/23/2025		100166 FEDEX							
		117.15	SHIPPING GAS MONITOR REPAIR		487802	881076237	1310.6238		POSTAGE/UPS/FEDEX	FIRE TRAINING
		43.05	FREIGHT		487889	881809044	2210.6424		GOLF FREIGHT ON RESALE MDSE	GOLF PRO SHOP
		1,078.07	FREIGHT ON RESALE TITLEIST		488044	882479947	2260.6424		GOLF FREIGHT ON RESALE MDSE	GOLF PRO SHOP MERCH SALES
		1,238.27								
325479	4/23/2025		156953 FISHER, KALEB							
		70.00	PRES. SAFETY GLASS - K FISHER		487850	20250409	5365.6281		UNIFORM/CLOTHING ALLOWANCE	SEWER MGMT/REPORTS/DATA ENTRY
		119.96	4 PR JEANS - K FISHER		487850	20250409	5365.6281		UNIFORM/CLOTHING ALLOWANCE	SEWER MGMT/REPORTS/DATA ENTRY
		189.96								
325480	4/23/2025		159038 FREDRICKSON MASONRY LLC							
		2,600.00	CLAIM #425991 BRICK BOLLARD		488035	1766	7205.6399		OTHER CHARGES	INSURANCE CLAIMS
		2,600.00								
325481	4/23/2025		102694 GERTENS							
		234.17-	SALES TAX ADJ		487958	23172112	2200.2330		DUE TO OTHER GOVERNMENT	VALLEYWOOD GOLF
		234.17	SALES TAX ADJ		487958	23172112	2235.6213		FERTILIZER	GOLF COURSE MAINTENANCE
		390.90	SEED		487958	23172112	2235.6229		GENERAL SUPPLIES	GOLF COURSE MAINTENANCE
		3,015.20	CHEMICALS		487958	23172112	2235.6213		FERTILIZER	GOLF COURSE MAINTENANCE

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325481	4/23/2025		102694 GERTENS						Continued...	
		3,406.10								
325482	4/23/2025		101328 GOVCONNECTION INC							
		238.34	WEBCAM & USB HEADSET		487626	76324979	1030.6725		CAPITAL OUTLAY-OFFICE EQUIP	INFORMATION TECHNOLOGY
		300.50	WIRELESS KEYBOARD/MICE		487626	76324979	1030.6725		CAPITAL OUTLAY-OFFICE EQUIP	INFORMATION TECHNOLOGY
		864.84	DOCKING STATIONS (4)		487626	76324979	1030.6725		CAPITAL OUTLAY-OFFICE EQUIP	INFORMATION TECHNOLOGY
		424.28	PRINTER TONER		487965	76338564	1200.6265		REPAIRS-EQUIPMENT	POLICE MANAGEMENT
		1,827.96								
325483	4/23/2025		100314 GREAT LAKES COCA-COLA DISTRIBU							
		592.29	COCA COLA BEVERAGES		487622	46432707024	2270.6421		GOLF-NON ALCOHOLIC BEVERAGES	GOLF FOOD & BEVERAGE
		592.29								
325484	4/23/2025		100222 HACH COMPANY							
		178.50	WTP LAB SUPPLIES		488032	14445144	5325.6229		GENERAL SUPPLIES	WATER TREATMENT FCLTY MNTC/RPR
		178.50								
325485	4/23/2025		158460 HALLBERG ENGINEERING							
		2,325.60	FS 2 COMMISSIONING SERVICES		487877	36805	4432.6235	2021170G	CONSULTANT SERVICES	2024A CAPITAL PROJECTS CIP EXP
		2,325.60								
325486	4/23/2025		101169 HAWKINS, INC.							
		9,979.20	FLUORIDE & SODIUM PERMANGANATE		487896	7026429	5325.6214		CHEMICALS	WATER TREATMENT FCLTY MNTC/RPR
		9,979.20								
325487	4/23/2025		100684 HIRSHFIELDS INC							
		1,301.55	ATHLETIC FIELD PAINT		487623	28632IN	1780.6229		GENERAL SUPPLIES	PARK HIGH SCHOOL #4 FIELDS
		3,000.00	ATHLETIC FIELD PAINT		487623	28632IN	1715.6229		GENERAL SUPPLIES	PARK ATHLETIC FIELD MAINTENANC
		4,301.55								
325488	4/23/2025		140867 HOCHSPRUNG, ROBERT							
		204.90	BOOTS - R HOCHSPRUNG		487849	20250330	1600.6281		UNIFORM/CLOTHING ALLOWANCE	STREET MANAGEMENT
		204.90								
325489	4/23/2025		100231 HOHENSTEINS INC							
		1,536.00	THC#3	00005574	487779	808180	5085.6515		THC/CBD	LIQUOR #3 STOCK PURCHASES
		609.05	BEER#3	00005574	487780	808180	5085.6530		BEER	LIQUOR #3 STOCK PURCHASES
		814.50	THC#1	00005574	487770	808209	5015.6515		THC/CBD	LIQUOR #1 STOCK PURCHASES
		726.70	BEER#1	00005574	487771	808209	5015.6530		BEER	LIQUOR #1 STOCK PURCHASES
		576.40	BEER#3	00005574	487781	808212	5085.6530		BEER	LIQUOR #3 STOCK PURCHASES

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325489	4/23/2025		100231 HOHENSTEINS INC						Continued...	
		405.00	THC#2	00005574	487777	810145	5055.6515		THC/CBD	LIQUOR #2 STOCK PURCHASES
		348.55	BEER#2	00005574	487778	810145	5055.6530		BEER	LIQUOR #2 STOCK PURCHASES
		264.00	THC#3	00005574	487782	810199	5085.6515		THC/CBD	LIQUOR #3 STOCK PURCHASES
		606.00	BEER#3	00005574	487783	810199	5085.6530		BEER	LIQUOR #3 STOCK PURCHASES
		55.00	TAX#3	00005574	487784	810199	5085.6540		TAXABLE MISC FOR RESALE	LIQUOR #3 STOCK PURCHASES
		60.00	THC#1	00005574	487774	810240	5015.6515		THC/CBD	LIQUOR #1 STOCK PURCHASES
		926.90	BEER#1	00005574	487775	810240	5015.6530		BEER	LIQUOR #1 STOCK PURCHASES
		29.25	TAX#1	00005574	487776	810240	5015.6540		TAXABLE MISC FOR RESALE	LIQUOR #1 STOCK PURCHASES
		697.50	BEER#3	00005574	487785	810317	5085.6530		BEER	LIQUOR #3 STOCK PURCHASES
		302.75	BEER#3	00005574	487786	812307	5085.6530		BEER	LIQUOR #3 STOCK PURCHASES
		117.75	TAX#3	00005574	487787	812307	5085.6540		TAXABLE MISC FOR RESALE	LIQUOR #3 STOCK PURCHASES
		436.10	BEER#1	00005574	487772	812329	5015.6530		BEER	LIQUOR #1 STOCK PURCHASES
		54.30	TAX#1	00005574	487773	812329	5015.6540		TAXABLE MISC FOR RESALE	LIQUOR #1 STOCK PURCHASES
		8,565.75								
325490	4/23/2025		151748 HOMELAND HEALTH SPECIALISTS, INC.							
		40.72	FLU VACCINE 2024 FLU CLINIC		487992	23031	1300.6235		CONSULTANT SERVICES	FIRE MANAGEMENT
		40.72								
325491	4/23/2025		156067 HOMEMOVE.BIZ							
		281.37	NEW RESIDENT PACKET		487599	58846	2205.6239		PRINTING	GOLF MANAGEMENT
		281.37								
325492	4/23/2025		157233 HYDRO ENGINEERING							
		1,978.73	FLUSHING EQUIPMENT		487907	103993	5330.6211		SMALL TOOLS & EQUIPMENT	WTR MAIN/HYDRANT/CURB STOP MNT
		228.00	FLUSHING EQUIPMENT		488033	104024	5330.6215		EQUIPMENT-PARTS	WTR MAIN/HYDRANT/CURB STOP MNT
		2,206.73								
325493	4/23/2025		103314 INNOVATIVE OFFICE SOLUTIONS							
		96.79	BREAK ROOM/CLEANING		487611	IN4787247	5095.6229		GENERAL SUPPLIES	LIQUOR #3 OPERATIONS
		22.10	OFFICE SUPPLIES		487609	IN4791000	5095.6210		OFFICE SUPPLIES	LIQUOR #3 OPERATIONS
		8.73			487601	IN4801133	5025.6229		GENERAL SUPPLIES	LIQUOR #1 OPERATIONS
		85.26	PLANNER, PENS, RECEIPT BOOK		487584	IN4802407	1200.6210		OFFICE SUPPLIES	POLICE MANAGEMENT
		21.14	FOLDERS		487586	IN4804103	1200.6210		OFFICE SUPPLIES	POLICE MANAGEMENT
		40.16	PENS, NOTE PADS		487585	IN4804146	1200.6210		OFFICE SUPPLIES	POLICE MANAGEMENT
		16.71	AVCC OFFICE SUPPLIES		487606	IN4812797	1900.6210		OFFICE SUPPLIES	AV COMMUNITY CENTER
		9.51	MARKERS FOR SUPPLY ROOM		487608	IN4812913	1035.6210		OFFICE SUPPLIES	FINANCE
		18.34	PKT FOLDERS FOR HR		487608	IN4812913	1020.6210		OFFICE SUPPLIES	HUMAN RESOURCES
		13.22	FOLDERS FOR BRANDI		487931	IN4813769	1035.6210		OFFICE SUPPLIES	FINANCE
		46.64	FOLDERS FOR PENNY		487931	IN4813769	1020.6210		OFFICE SUPPLIES	HUMAN RESOURCES

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325493	4/23/2025		<b>103314 INNOVATIVE OFFICE SOLUTIONS</b>						<b>Continued...</b>	
		418.96	RESOLVE, SOAP, PAPER TOWELS		487932	IN4813822	1920.6229		GENERAL SUPPLIES	SENIOR CENTER
		797.56								
325494	4/23/2025		<b>158334 INSIGHT BREWING CO</b>							
		103.87	BEER#3	00052942	487792	22897	5085.6530		BEER	LIQUOR #3 STOCK PURCHASES
		846.20	THC#2	00052942	487791	22900	5055.6515		THC/CBD	LIQUOR #2 STOCK PURCHASES
		318.95	BEER#1	00052942	487788	22901	5015.6530		BEER	LIQUOR #1 STOCK PURCHASES
		577.50	THC#3	00052942	487793	23105	5085.6515		THC/CBD	LIQUOR #3 STOCK PURCHASES
		62.13	BEER#3	00052942	487794	23105	5085.6530		BEER	LIQUOR #3 STOCK PURCHASES
		600.00	THC#1	00052942	487789	23106	5015.6515		THC/CBD	LIQUOR #1 STOCK PURCHASES
		229.04	BEER#1	00052942	487790	23106	5015.6530		BEER	LIQUOR #1 STOCK PURCHASES
		300.00	THC#3	00052942	487795	23269	5085.6515		THC/CBD	LIQUOR #3 STOCK PURCHASES
		3,037.69								
325495	4/23/2025		<b>100247 INTERSTATE POWER SYSTEMS</b>							
		4,999.20	4981 REPAIR - TURBO		487898	R00121986801	1350.6265		REPAIRS-EQUIPMENT	FIRE VEHICLE MAINTENANCE
		4,999.20								
325496	4/23/2025		<b>100894 INTL ASSN OF ARSON INVESTIGATORS INC</b>							
		325.00	ELVIN MNIAAI CONF REGISTRATION		488017	2568	1310.6276		SCHOOLS/CONFERENCES/EXP OTHER	FIRE TRAINING
		325.00								
325497	4/23/2025		<b>144639 IRRIGATION DOCTOR</b>							
		599.11	CEDAR AVE. IRRIGATION START UP		487917	52145	1610.6249		OTHER CONTRACTUAL SERVICES	STREET/BOULEVARD REPAIR & MNTC
		599.11								
325498	4/23/2025		<b>152648 JOHNSON CONTROLS FIRE PROTECT</b>							
		12.85-	SALES TAX ADJUST		488038	52854497	1060.6249		OTHER CONTRACTUAL SERVICES	MUNICIPAL BLDG & GROUNDS MNTC
		12.85	SALES TAX ADJUST		488038	52854497	1000.2330		DUE TO OTHER GOVERNMENT	GENERAL FUND BALANCE SHEET
		561.83	FIRE ALARM SENSORS - MC		488038	52854497	1060.6249		OTHER CONTRACTUAL SERVICES	MUNICIPAL BLDG & GROUNDS MNTC
		561.83								
325499	4/23/2025		<b>163143 KENNEDY, CAMERON</b>							
		25.91			487848	20250319A	5025.6229		GENERAL SUPPLIES	LIQUOR #1 OPERATIONS
		25.91								
325500	4/23/2025		<b>151278 KLINE, HARRY</b>							
		63.35	KLINE MILEAGE - MARCH 2025		487972	20250331	2012.6277		MILEAGE/AUTO ALLOWANCE	CABLE TV JOINT POWERS
		63.35								

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325501	4/23/2025		<b>100281 LEAGUE OF MN CITIES</b>						<b>Continued...</b>	
		75.00	PSHRA CONFERENCE JAMIE		487928	426154	1020.6235		CONSULTANT SERVICES	HUMAN RESOURCES
		100.00	PSHRA CONFERENCE JAMIE		487927	427519	1020.6235		CONSULTANT SERVICES	HUMAN RESOURCES
		175.00								
325502	4/23/2025		<b>161278 LEXISNEXIS RISK SOLUTIONS FL INC</b>							
		840.00	ACCURINT MAR		487990	1300108657	1210.6308		SOFTWARE SUBSCRIPTIONS	POLICE FIELD OPERATIONS/PATROL
		840.00								
325503	4/23/2025		<b>101287 LIFEGUARD STORE INC, THE</b>							
		12,153.05	SPLASH VALLEY LIFEGUARD CHAIRS		486771	INV001486476	2306.6740	PR230032	CAPITAL OUTLAY-MACH/EQUIP/OTHE	APPLE VALLEY AQUATIC CENTER
		12,153.05								
325504	4/23/2025		<b>100287 LITTLE FALLS MACHINE INC</b>							
		1,985.40	PARTS - #310		487930	373519	1630.6215		EQUIPMENT-PARTS	STREET EQUIPMENT MAINTENANCE
		1,497.17	PARTS - #310		487929	373520	1630.6215		EQUIPMENT-PARTS	STREET EQUIPMENT MAINTENANCE
		3,482.57								
325505	4/23/2025		<b>101616 LMC INSURANCE TRUST</b>							
		3,067.14	WC DED WARD,A APRIL		487925	24172	7205.6315		WORKERS COMP-DEDUCTIBLE	INSURANCE CLAIMS
		1,783.80	WC DED SHARPE J APRIL		487926	24185	7205.6315		WORKERS COMP-DEDUCTIBLE	INSURANCE CLAIMS
		149.82	WC DED ODONNELL L APR		487924	24189	7205.6315		WORKERS COMP-DEDUCTIBLE	INSURANCE CLAIMS
		300.54	WC DED BECKER T APRIL		487922	24208	7205.6315		WORKERS COMP-DEDUCTIBLE	INSURANCE CLAIMS
		249.46	WC DED ZELLMER APRIL		487923	24251	7205.6315		WORKERS COMP-DEDUCTIBLE	INSURANCE CLAIMS
		5,550.76								
325506	4/23/2025		<b>163583 LUCE LINE BREWING CO LLC</b>							
		130.00	BEER#1	00053145	487797	3653	5015.6530		BEER	LIQUOR #1 STOCK PURCHASES
		130.00								
325507	4/23/2025		<b>100942 MADDEN GALANTER HANSEN, LLP</b>							
		652.50	LABOR RELATIONS SERVICES		487979	20250414	1020.6235		CONSULTANT SERVICES	HUMAN RESOURCES
		652.50								
325508	4/23/2025		<b>155727 MATTHEWS, JENIFER</b>							
		400.00	WED. ONLY YOGA 1/29-4/9		488040	20250409A	1920.6249		OTHER CONTRACTUAL SERVICES	SENIOR CENTER
		400.00								
325509	4/23/2025		<b>100309 MENARDS</b>							
		68.84	FLUSH EQUIPMENT		487649	87541	5330.6215		EQUIPMENT-PARTS	WTR MAIN/HYDRANT/CURB STOP MNT
		35.98	REPL RATCHET STRAP		487828	87791	5375.6229		GENERAL SUPPLIES	SEWER MAINTENANCE AND REPAIR

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325509	4/23/2025		<b>100309 MENARDS</b>						<b>Continued...</b>	
		128.76	140TH ST FENCE AND SUPPLIES		487648	89130	5375.6229		GENERAL SUPPLIES	SEWER MAINTENANCE AND REPAIR
		79.98	HEAD LAMP		487650	89482	5310.6211		SMALL TOOLS & EQUIPMENT	WATER METER RPR/REPLACE/READNG
		21.98	BENCH REPAIRS		487822	89528	1720.6229		GENERAL SUPPLIES	PARK GROUNDS MAINTENANCE
		65.79	PLAYGROUND REPAIR PARTS		487821	89530	1745.6229		GENERAL SUPPLIES	PARK CRT/GAME AREA MAINTENANCE
		39.95	PICKLEBALL COURT SUPPLIES		487595	89839	1745.6229		GENERAL SUPPLIES	PARK CRT/GAME AREA MAINTENANCE
		47.92	140TH ST FENCE REPAIR		487824	89868A	5375.6269		REPAIRS-OTHER	SEWER MAINTENANCE AND REPAIR
		246.89	POOL SUMP PUMP		487823	89909	1940.6229		GENERAL SUPPLIES	AQUATIC SWIM CENTER
		5.58	MISC. SUPPLIES/TOOLS		487817	89956A	1610.6229		GENERAL SUPPLIES	STREET/BOULEVARD REPAIR & MNTC
		49.93	140TH ST FENCE REPAIR		487647	89974	5375.6229		GENERAL SUPPLIES	SEWER MAINTENANCE AND REPAIR
		207.85	BREACHING DOOR		487598	90099	1255.6399		OTHER CHARGES	POLICE GUN RANGE
		15.29	TRUCK TOOLS		487642	90116	1730.6211		SMALL TOOLS & EQUIPMENT	PARK BUILDING MAINTENANCE
		30.97	TRUCK TOOLS		487603	90172	1730.6211		SMALL TOOLS & EQUIPMENT	PARK BUILDING MAINTENANCE
		7.97	LIFT 7 PIPE REPAIR		487957	90173	5380.6265		REPAIRS-EQUIPMENT	SEWER LIFT STN REPAIR & MNTC
		12.46	LUBE		487811	90216	1610.6229		GENERAL SUPPLIES	STREET/BOULEVARD REPAIR & MNTC
		122.69	PLAYGROUND TOOLS		487604	90227	1720.6211		SMALL TOOLS & EQUIPMENT	PARK GROUNDS MAINTENANCE
		207.85-	DOOR RETURN		487646	90243	1730.6229		GENERAL SUPPLIES	PARK BUILDING MAINTENANCE
		46.79	IRRIGATION TOOLS		487818	90261	1720.6211		SMALL TOOLS & EQUIPMENT	PARK GROUNDS MAINTENANCE
		290.35	SUPPLIES FOREMAN FLEET OFFICE		487814	90303	1540.6229		GENERAL SUPPLIES	CMF BUILDINGS & GROUNDS MNTC
		33.34	SHOP SUPPLIES		487816	90305	1715.6229		GENERAL SUPPLIES	PARK ATHLETIC FIELD MAINTENANC
		58.24	MAINLINE CAMERA CORD REPAIR		487825	90323	5390.6215		EQUIPMENT-PARTS	SWR EQUIP/VEHICLE MISC MNTC/RP
		37.90	MAINLINE CAMERA RETERM		487826	90456	5390.6215		EQUIPMENT-PARTS	SWR EQUIP/VEHICLE MISC MNTC/RP
		25.96	PICKLEBALL NET REPAIR		487819	90459	1745.6229		GENERAL SUPPLIES	PARK CRT/GAME AREA MAINTENANCE
		29.97	CHAINSAW OIL		487956	90461	1610.6211		SMALL TOOLS & EQUIPMENT	STREET/BOULEVARD REPAIR & MNTC
		282.21	ARCHERY RANGE SUPPLIES		487820	90499	1745.6229		GENERAL SUPPLIES	PARK CRT/GAME AREA MAINTENANCE
		18.45	SHOP TOOLS		487812	90515	1765.6211		SMALL TOOLS & EQUIPMENT	PARK EQUIPMENT MAINTENANCE
		79.98	HEADLAMPS FOR HYDRANT FLUSHING		487827	90794	5330.6229		GENERAL SUPPLIES	WTR MAIN/HYDRANT/CURB STOP MNT
		13.47	AAA BATTERIES (16)		488020	90852	1330.6215		EQUIPMENT-PARTS	FIRE OPERATIONS
		17.80	VOLTAGE TESTER (2)		488020	90852	1330.6211		SMALL TOOLS & EQUIPMENT	FIRE OPERATIONS
		1,915.44								
325510	4/23/2025		<b>161295 MIDWEST GOLF COURSE OWNERS ASSOC</b>							
		435.00	MW GOLF CRSE OWNERS ASSOC.DUES		487621	1246	2205.6280		DUES & SUBSCRIPTIONS	GOLF MANAGEMENT
		435.00								
325511	4/23/2025		<b>138777 MIDWEST MACHINERY CO</b>							
		1,512.31	PARTS-MOWERS		488034	10402941	1610.6215		EQUIPMENT-PARTS	STREET/BOULEVARD REPAIR & MNTC
		1,512.31								
325512	4/23/2025		<b>154324 MILK AND HONEY LLC</b>							
		519.00	BEER#2	00052601	488000	15510	5055.6530		BEER	LIQUOR #2 STOCK PURCHASES



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325512	4/23/2025		154324 MILK AND HONEY LLC						Continued...	
		519.00								
325513	4/23/2025		100546 MN GOLF ASSOCIATION INC							
		180.00	MGA DUES		487600	250313	2205.6280		DUES & SUBSCRIPTIONS	GOLF MANAGEMENT
		180.00								
325514	4/23/2025		155164 MN OCCUPATIONAL HEALTH							
		1,013.00	CSO ASSESSMENTS		488037	486886A	1210.6235		CONSULTANT SERVICES	POLICE FIELD OPERATIONS/PATROL
		1,013.00								
325515	4/23/2025		122714 MN POLLUTION CONTROL AGENCY							
		400.00	WATER QUALITY PERMITS		487961	20250408	5505.6399		OTHER CHARGES	STORM DRAIN MNTC/RPR/SUMPS
		400.00								
325516	4/23/2025		100995 NAPA AUTO PARTS							
		9.06	140TH FENCE REPAIR		487955	927567	5375.6229		GENERAL SUPPLIES	SEWER MAINTENANCE AND REPAIR
		9.06	140TH FENCE		487838	928219	5375.6229		GENERAL SUPPLIES	SEWER MAINTENANCE AND REPAIR
		73.72	SWEEPER PARTS		487829	944473	5505.6215		EQUIPMENT-PARTS	STORM DRAIN MNTC/RPR/SUMPS
		9.26	140TH ST PUMP MTC		487837	954089	5375.6215		EQUIPMENT-PARTS	SEWER MAINTENANCE AND REPAIR
		18.06	140TH ST BYPASS PUMP MTC		487836	956539	5375.6215	2025127S	EQUIPMENT-PARTS	SEWER MAINTENANCE AND REPAIR
		31.41	FLOOR DRY		487832	958273	1610.6229		GENERAL SUPPLIES	STREET/BOULEVARD REPAIR & MNTC
		35.24	PARTS-WIPER BLADES		487830	958863	1630.6215		EQUIPMENT-PARTS	STREET EQUIPMENT MAINTENANCE
		14.75	FUEL PUMP BELTS		487831	958914	1540.6215		EQUIPMENT-PARTS	CMF BUILDINGS & GROUNDS MNTC
		30.56	FILTERS		487833	959124	1210.6215		EQUIPMENT-PARTS	POLICE FIELD OPERATIONS/PATROL
		303.98	PARTS - # 931		487835	959578	1210.6215		EQUIPMENT-PARTS	POLICE FIELD OPERATIONS/PATROL
		3.82	FILTERS		487834	959722	1350.6215		EQUIPMENT-PARTS	FIRE VEHICLE MAINTENANCE
		42.02	FILTERS		487834	959722	1210.6215		EQUIPMENT-PARTS	POLICE FIELD OPERATIONS/PATROL
		580.94								
325517	4/23/2025		158558 OUTDOOR CUSTOM SPORTSWEAR LLC							
		155.88	LOGO SHIRTS		487617	608258	5065.6281		UNIFORM/CLOTHING ALLOWANCE	LIQUOR #2 OPERATIONS
		701.35	LOGO SHIRTS		487617	608258	5025.6281		UNIFORM/CLOTHING ALLOWANCE	LIQUOR #1 OPERATIONS
		701.38	LOGO SHIRTS		487617	608258	5095.6281		UNIFORM/CLOTHING ALLOWANCE	LIQUOR #3 OPERATIONS
		1,558.61								
325518	4/23/2025		100374 PEPSI-COLA COMPANY							
		569.20	TAX#1	00002171	488003	44146009	5015.6540		TAXABLE MISC FOR RESALE	LIQUOR #1 STOCK PURCHASES
		569.20								
325519	4/23/2025		143892 PIRTEK BURNSVILLE							

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325519	4/23/2025		<b>143892 PIRTEK BURNSVILLE</b>						<b>Continued...</b>	
		934.55	HYDRAULIC HOSE REPAIR		487860	BUT00012109	2240.6265		REPAIRS-EQUIPMENT	GOLF EQUIPMENT MAINTENANCE
		934.55								
325520	4/23/2025		<b>100316 POWER PLAN</b>							
		67.66	PARTS		487879	P2888070	1610.6215		EQUIPMENT-PARTS	STREET/BOULEVARD REPAIR & MNTC
		67.66	<b>Supplier</b> 101708 RDO EQUIPMENT CO							
325521	4/23/2025		<b>143336 PREMIER LOCATING INC</b>							
		568.84	PREMIER LOCATES 3/16-3/31/25		487915	42996	5805.6249		OTHER CONTRACTUAL SERVICES	STREET LIGHT UTILITY FUND
		568.84								
325522	4/23/2025		<b>101500 PREMIUM WATERS INC</b>							
		23.79	WATER		487631	310713460	2215.6229		GENERAL SUPPLIES	GOLF CLUBHOUSE BUILDING
		.99	WATER		487890	310724340	2215.6249		OTHER CONTRACTUAL SERVICES	GOLF CLUBHOUSE BUILDING
		24.78								
325523	4/23/2025		<b>137785 PROPERTY TAXATION &amp; RECORDS</b>							
		46.00	CUP RECORDING-MCDONALDS		487963	20250409	1015.6239	2024184L	PRINTING	CITY CLERK/ELECTIONS
		46.00								
325524	4/23/2025		<b>153484 PRYES BREWING COMPANY LLC</b>							
		284.50	BEER#1	00052530	488004	96067	5015.6530		BEER	LIQUOR #1 STOCK PURCHASES
		142.00	BEER#2	00052530	488005	96167	5055.6530		BEER	LIQUOR #2 STOCK PURCHASES
		426.50								
325525	4/23/2025		<b>160989 RANGE SERVANT AMERICA INC</b>							
		45.30-	GOLF USE TAX		487636	140865	2200.2330		DUE TO OTHER GOVERNMENT	VALLEYWOOD GOLF
		29.00	SHIPPING		487636	140865	2220.6238		POSTAGE/UPS/FEDEX	GOLF DRIVING RANGE
		45.30	GOLF USE TAX		487636	140865	2220.6229		GENERAL SUPPLIES	GOLF DRIVING RANGE
		630.00	RANGE TOKENS		487636	140865	2220.6229		GENERAL SUPPLIES	GOLF DRIVING RANGE
		659.00								
325526	4/23/2025		<b>149126 RED BULL DISTRIBUTION COMPANY</b>							
		500.10	TAX#1	00052064	488006	5016336356	5015.6540		TAXABLE MISC FOR RESALE	LIQUOR #1 STOCK PURCHASES
		500.10								
325527	4/23/2025		<b>151932 RED WING BUSINESS ADVANTAGE ACCOUNT</b>							
		229.49	BOOTS - M CORDES		487983	7241158332	1710.6281		UNIFORM/CLOTHING ALLOWANCE	PARK MAINTENANCE MANAGEMENT
		250.00	BOOTS - T WEISE		487982	7241159139	1510.6281		UNIFORM/CLOTHING ALLOWANCE	PW ENGINEERING & TECHNICAL

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325527	4/23/2025		151932 RED WING BUSINESS ADVANTAGE ACCOUNT						Continued...	
		479.49								
325528	4/23/2025		147581 RENEWAL BY ANDERSON							
		1.00	REFUND SURCHARGE 12643 EVELETH		487984	20250404	1001.4072		STATE SURTAX COLLECTED	GENERAL FUND REVENUE
		102.78	REFUND BLDG PERMIT 12643 EVELE		487984	20250404	1001.4060		PERMIT-BUILDING PERMIT	GENERAL FUND REVENUE
		103.78								
325529	4/23/2025		162680 RIKKERS, OLEG							
		106.15	FUEL FOR U3 - FDIC - RIKKERS		488018	20250406	1310.6276		SCHOOLS/CONFERENCES/EXP OTHERFIRE TRAINING	
		106.15								
325530	4/23/2025		102632 ROADKILL ANIMAL CONTROL							
		129.00	DEER DISPOSAL		487809	20250331	1610.6240		CLEANING SERVICE/GARBAGE REMOVSTREET/BOULEVARD REPAIR & MNTC	
		129.00								
325531	4/23/2025		100756 SAFETY KLEEN							
		148.00	PARTS WASHER SERVICE		487938	96648419	1630.6265		REPAIRS-EQUIPMENT	STREET EQUIPMENT MAINTENANCE
		148.29	PARTS WASHER SERVICE		487938	96648419	1765.6265		REPAIRS-EQUIPMENT	PARK EQUIPMENT MAINTENANCE
		367.00	PARTS WASHER SERVICE		487938	96648419	1530.6265		REPAIRS-EQUIPMENT	FLEET & BUILDINGS-CMF
		663.29								
325532	4/23/2025		101235 SAFETY SIGNS							
		843.00	TRAFFIC CONTROL 140TH/PL KNOB		487910	25000440	5365.6810	2025127S	CONSTRUCTION IN PROGRESS	SEWER MGMT/REPORTS/DATA ENTRY
		843.00								
325533	4/23/2025		100432 SEH ENGINEERS							
		960.31	CONSTRUCTION ADMIN - NCGT		487966	485461	2017.6235	2021150P	CONSULTANT SERVICES	PARK DEDICATION
		18,779.77	FINAL DESIGN JCRR 140-147		487967	485476	2027.6235	2025104R	CONSULTANT SERVICES	ROAD ESCROW
		19,740.08								
325534	4/23/2025		163580 SELA ROOFING COMMERCIAL DIVISION							
		1,010.19	AVCC ROOF LEAK REPAIR		487935	17794	1900.6266		REPAIRS-BUILDING	AV COMMUNITY CENTER
		1,010.19								
325535	4/23/2025		156003 SITEONE LANDSCAPE SUPPLY LLC							
		933.63	WEED SPRAYING CHEMICALS		488036	151776959001	1610.6214		CHEMICALS	STREET/BOULEVARD REPAIR & MNTC
		933.63								
325536	4/23/2025		100899 SPORTS LIGHTING AUTHORITY							
		6,560.00	PICKLEBALL LIGHTING DESIGN		487612	190	2347.6235	PR230064	CONSULTANT SERVICES	JOHNNY CAKE RIDGE WEST PARK

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325536	4/23/2025		100899 SPORTS LIGHTING AUTHORITY						Continued...	
		6,560.00								
325537	4/23/2025		163632 STERRY, TODD							
		1.00	REFUND SURCHARGE 5063 147TH		487975	20250404	1001.4072		STATE SURTAX COLLECTED	GENERAL FUND REVENUE
		102.78	REFUND BLDG PERMIT 5063 147TH		487975	20250404	1001.4060		PERMIT-BUILDING PERMIT	GENERAL FUND REVENUE
		103.78								
325538	4/23/2025		101467 VALLEY IMAGES							
		60.00	NEW OFFICER PHOTOS		487894	6274	1200.6239		PRINTING	POLICE MANAGEMENT
		60.00								
325539	4/23/2025		152720 VERIZON							
		1,959.60	VERIZON CONNECT SERVICES (MAR)		487950	604000069964	1530.6237		TELEPHONE/PAGERS	FLEET & BUILDINGS-CMF
		1,959.60								
325540	4/23/2025		157039 VINELAND TREE CARE							
		2,595.00	BRUSH HAUL 3/26/25		487639	38006	2245.6249		OTHER CONTRACTUAL SERVICES	GOLF TREE MAINTENANCE
		2,595.00	BRUSH HAUL 3-28-25		487638	38007	2245.6249		OTHER CONTRACTUAL SERVICES	GOLF TREE MAINTENANCE
		1,297.50	BRUSH HAUL 3/28/25		487637	38008	2245.6249		OTHER CONTRACTUAL SERVICES	GOLF TREE MAINTENANCE
		6,487.50								
325541	4/23/2025		149079 WARNERS STELLIAN COMPANY INC							
		749.00	VENT HOOD		487991	INV723288	4432.6740	2021172G	CAPITAL OUTLAY-MACH/EQUIP/OTHE	2024A CAPITAL PROJECTS CIP EXP
		749.00								
20250349	3/19/2025		142866 HEALTHPARTNERS							
		19.68-	MA OLSON NEW DENTAL PLAN JAN-M		488016	20250401	7105.6146		DENTAL INSURANCE	INSURANCE TRUST DENTAL
		19.68-	J CHRISTIANSON CHANGE DENTAL C		488016	20250401	7105.6146		DENTAL INSURANCE	INSURANCE TRUST DENTAL
		6.56-	R ZELLMER CANCEL FAMILY DENTAL		488016	20250401	7105.6146		DENTAL INSURANCE	INSURANCE TRUST DENTAL
		6.56-	A PROSHEK RETIRED CANCEL DENTA		488016	20250401	7105.6146		DENTAL INSURANCE	INSURANCE TRUST DENTAL
		6.56-	A SHARPE CANCEL DENTAL		488016	20250401	7105.6146		DENTAL INSURANCE	INSURANCE TRUST DENTAL
		6.56-	J HENDRICKSON CANCEL DENTAL CO		488016	20250401	7105.6146		DENTAL INSURANCE	INSURANCE TRUST DENTAL
		6.56-	B CHRISTENSEN SINGLE DENTAL		488016	20250401	7105.6146		DENTAL INSURANCE	INSURANCE TRUST DENTAL
		6.56	B CHRISTENSEN DENTAL NEW PACKA		488016	20250401	7105.6146		DENTAL INSURANCE	INSURANCE TRUST DENTAL
		6.56	L HIEBERT NEW HIRE DENTAL		488016	20250401	7105.6146		DENTAL INSURANCE	INSURANCE TRUST DENTAL
		6.56	J OSWOOD NEW HIRE DENTAL COVER		488016	20250401	7105.6146		DENTAL INSURANCE	INSURANCE TRUST DENTAL
		6.56	C DOOBAY NEW HIRE DENTAL COVER		488016	20250401	7105.6146		DENTAL INSURANCE	INSURANCE TRUST DENTAL
		6.56	D WILSON NEW HIRE DENTAL		488016	20250401	7105.6146		DENTAL INSURANCE	INSURANCE TRUST DENTAL
		6.56	R ZELLMER CHANGE TO SINGLE DEN		488016	20250401	7105.6146		DENTAL INSURANCE	INSURANCE TRUST DENTAL
		19.68	M TAYLOR REINSTATE DENTAL JAN-		488016	20250401	7105.6146		DENTAL INSURANCE	INSURANCE TRUST DENTAL

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20250349	3/19/2025		<b>142866 HEALTHPARTNERS</b>						<b>Continued...</b>	
		19.68	MA OLSON CANCEL DENTAL PLAN JA		488016	20250401	7105.6146		DENTAL INSURANCE	INSURANCE TRUST DENTAL
		19.68	J CHRISTENSEN NEW DENTAL PACKA		488016	20250401	7105.6146		DENTAL INSURANCE	INSURANCE TRUST DENTAL
		1,541.60	DENTAL		488016	20250401	7105.6146		DENTAL INSURANCE	INSURANCE TRUST DENTAL
		6,781.50-	J CHRISTIANSON CHANGE MEDICAL		488016	20250401	9000.2115		ACCRUED MEDICAL INSURANCE	PAYROLL CLEARING BAL SHEET
		6,775.50-	MA OLSON CHANGED MEDICAL PLAN		488016	20250401	9000.2115		ACCRUED MEDICAL INSURANCE	PAYROLL CLEARING BAL SHEET
		2,874.00-	M TAYLOR RATE ADJ MEDICAL JAN-		488016	20250401	9000.2115		ACCRUED MEDICAL INSURANCE	PAYROLL CLEARING BAL SHEET
		2,492.00-	R ZELLMER CANCEL FAMILY MEDICA		488016	20250401	9000.2115		ACCRUED MEDICAL INSURANCE	PAYROLL CLEARING BAL SHEET
		2,492.00-	J HENDRICKSON CANCEL MEDICAL C		488016	20250401	9000.2115		ACCRUED MEDICAL INSURANCE	PAYROLL CLEARING BAL SHEET
		2,442.00-	B CHRISTENSEN RATE MEDICAL ADJ		488016	20250401	9000.2115		ACCRUED MEDICAL INSURANCE	PAYROLL CLEARING BAL SHEET
		1,097.00-	A SHARPE CANCEL MEDICAL		488016	20250401	9000.2115		ACCRUED MEDICAL INSURANCE	PAYROLL CLEARING BAL SHEET
		958.00-	A PROSHEK RETIRED CANCEL MEDIC		488016	20250401	9000.2115		ACCRUED MEDICAL INSURANCE	PAYROLL CLEARING BAL SHEET
		814.50	C DOOBAY NEW HIRE MEDICAL COVE		488016	20250401	9000.2115		ACCRUED MEDICAL INSURANCE	PAYROLL CLEARING BAL SHEET
		958.00	R ZELLMER CHANGE TO SINGLE COV		488016	20250401	9000.2115		ACCRUED MEDICAL INSURANCE	PAYROLL CLEARING BAL SHEET
		1,097.00	J OSWOOD NEW HIRE MEDICAL COVE		488016	20250401	9000.2115		ACCRUED MEDICAL INSURANCE	PAYROLL CLEARING BAL SHEET
		1,097.00	L HIEBERT NEW HIRE MEDICAL		488016	20250401	9000.2115		ACCRUED MEDICAL INSURANCE	PAYROLL CLEARING BAL SHEET
		2,215.50	D WILSON NEW HIRE MEDICAL		488016	20250401	9000.2115		ACCRUED MEDICAL INSURANCE	PAYROLL CLEARING BAL SHEET
		2,442.00	B CHRISTENSEN NEW PACKAGE FOR		488016	20250401	9000.2115		ACCRUED MEDICAL INSURANCE	PAYROLL CLEARING BAL SHEET
		2,874.00	M TAYLOR REINSTATE MEDICAL JAN		488016	20250401	9000.2115		ACCRUED MEDICAL INSURANCE	PAYROLL CLEARING BAL SHEET
		6,048.00	MA OLSON NEW MEDICAL PLAN JAN-		488016	20250401	9000.2115		ACCRUED MEDICAL INSURANCE	PAYROLL CLEARING BAL SHEET
		6,781.50	J CHRISTENSEN NEW MEDICAL PACK		488016	20250401	9000.2115		ACCRUED MEDICAL INSURANCE	PAYROLL CLEARING BAL SHEET
		298,378.00	MEDICAL		488016	20250401	9000.2115		ACCRUED MEDICAL INSURANCE	PAYROLL CLEARING BAL SHEET
		298,361.34								
20250418	4/18/2025		<b>102664 US BANK</b>							
		859.85	EMPLOYEE MEDICARE		487252	415251623395	9000.2111		ACCRUED FEDERAL/FICA	PAYROLL CLEARING BAL SHEET
		859.85	CITY SHARE MEDICARE		487252	415251623395	9000.2111		ACCRUED FEDERAL/FICA	PAYROLL CLEARING BAL SHEET
		3,360.94	FEDERAL TAXES PR		487252	415251623395	9000.2111		ACCRUED FEDERAL/FICA	PAYROLL CLEARING BAL SHEET
		5,080.64								
20250419	4/18/2025		<b>100657 MN DEPT OF REVENUE</b>							
		1,640.62	STATE TAX WITHHOLDING		487251	415251623394	9000.2112		ACCRUED STATE W/H	PAYROLL CLEARING BAL SHEET
		1,640.62								
20250420	4/17/2025		<b>100038 APPLE VALLEY FIREFIGHTERS RELI (EFT)</b>							
		1,438.50	FIRE RELIEF DUES		487248	415251623391	9000.2120		ACCRUED BENEFIT LIABILITY	PAYROLL CLEARING BAL SHEET
		1,438.50								
20250421	4/17/2025		<b>151440 VANTAGEPOINT TRANSFER AGENTS</b>							
		350.00	ROTH 457-PLAN #301171-FIRE TOO		487253	415251623396	9000.2120		ACCRUED BENEFIT LIABILITY	PAYROLL CLEARING BAL SHEET
		350.00								

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20250421	4/17/2025		151440 VANTAGEPOINT TRANSFER AGENTS						Continued...	
20250422	4/17/2025		100240 VANTAGEPOINT TRANSFER AGENTS - 457 FT							
		800.00	ICMA-PLAN #301171-FIRE TOO	487249	415251623392		9000.2120		ACCRUED BENEFIT LIABILITY	PAYROLL CLEARING BAL SHEET
		800.00								
20250423	4/17/2025		100241 VANTAGEPOINT TRANSFER AGENTS - 457 PT							
		2,812.16	ICMA-PLAN#306561-FIRE ONLY	487250	415251623393		9000.2120		ACCRUED BENEFIT LIABILITY	PAYROLL CLEARING BAL SHEET
		2,812.16								
		920,094.52	Grand Total							

## Payment Instrument Totals

Checks	347,301.57
EFT Payments	310,483.26
A/P ACH Payment	262,309.69
Total Payments	920,094.52

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 100 4/23/2025

Note: Payment amount may not reflect the actual amount due to data sequencing and/or data selection.

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<u>Company</u>	<u>Amount</u>
01000 GENERAL FUND	147,264.78
02010 CABLE TV RESERVE FUND	160.21
02015 PARK DEDICATION FUND	960.31
02025 ROAD ESCROW FUND	19,180.83
02090 PARTNERS IN EDUCATION	2,450.79
02095 CENTRAL VILLAGE PARKING LOT	76.66
02200 VALLEYWOOD GOLF FUND	39,180.15
02300 PARKS REFERENDUM FUND	18,713.05
04430 2024A CAPITAL PROJECT CIP FUND	5,149.06
04500 CONSTRUCTION PROJECTS	16,248.50
05000 LIQUOR FUND	162,942.27
05200 ARENA FUND	11,253.68
05300 WATER & SEWER FUND	122,278.58
05500 STORM DRAINAGE UTILITY FUND	12,527.04
05600 CEMETERY FUND LEVEL PROGRAM	130.53
05800 STREET LIGHT UTIL FUND	42,944.06
07100 INSURANCE TRUST DENTAL FUND	1,567.84
07200 RISK MANAGEMENT/INSURANCE FUND	8,150.76
09000 PAYROLL CLEARING FUND	308,915.42
Report Totals	920,094.52



ITEM:  
COUNCIL MEETING DATE:  
SECTION:

4.U.  
May 8, 2025  
Consent Agenda

<b>Description:</b> Approve Personnel Report	
<b>Staff Contact:</b> Mary Thelen, HR Coordinator	<b>Department / Division:</b> Human Resources Division

**ACTION REQUESTED:**  
Approve the personnel report.

**SUMMARY:**  
The employment actions attached to this memo are recommended for City Council approval.

**BACKGROUND:**  
The City Council's approval of the Personnel Report includes the ratification of the City Administrator's actions in carrying out the terms and conditions of the employment of the City personnel.

**BUDGET IMPACT:**  
Budgeted positions.

**ATTACHMENTS:**  
  
Personnel Report



### EMPLOYMENT ACTIONS

The following employment actions are recommended for City Council approval:

First Name	Last Name	Action	Position	Status	Dept.	Base Pay Rate	Pay Type	Pay Scale	Date (on or about)
Annika	Bentley	Rehire	Water Safety Instructor	Casual, Seasonal	1940	\$ 19.40	Hourly	C-06	6/10/2025
Kade	Bitterman	Hire	Maintenance Worker I	Full-Time, Regular	1600	\$ 33.55	Hourly	UMI	5/19/2025
Neleh	Bruha	Rehire	Water Safety Instructor	Casual, Seasonal	1940	\$ 19.40	Hourly	C-06	6/10/2025
Stella	Bushard	Rehire	Lifeguard I	Casual, Seasonal	1940	\$ 17.65	Hourly	C-05	6/10/2025
Summer	Davis	Hire	Lifeguard I	Casual, Seasonal	1940	\$ 17.40	Hourly	C-05	6/10/2025
Natalie	Degener	Hire	Lifeguard I	Casual, Seasonal	1940	\$ 17.40	Hourly	C-05	6/10/2025
Krista	Erickson	Rehire	Police Officer	Full-Time, Regular	1200	\$ 9,545.47	Monthly	UP	5/12/2025
Adeline	Ganther	Rehire	Water Safety Instructor	Casual, Seasonal	1940	\$ 19.15	Hourly	C-06	6/10/2025
Hope	Hadac	Hire	Lifeguard I	Casual, Seasonal	1940	\$ 17.40	Hourly	C-05	6/10/2025
Samuel	Johnson	Rehire	Lifeguard I	Casual, Seasonal	1940	\$ 17.65	Hourly	C-05	6/10/2025
Joven	Langseth	Rehire	Water Safety Instructor	Casual, Seasonal	1940	\$ 20.15	Hourly	C-06	6/10/2025
Ashley	Losie	Rehire	Pool Manager	Casual, Seasonal	1940	\$ 26.40	Hourly	C-09	6/10/2025
Alexandra	Matthews	Rehire	Lifeguard I	Casual, Seasonal	1940	\$ 17.65	Hourly	C-05	6/10/2025
Isaac	Matthys	Hire	Maintenance Worker II	Casual, Seasonal	1600	\$ 21.20	Hourly	SM2	4/21/2025
Adam	Moorlach	Rehire	Water Safety Instructor	Casual, Seasonal	1940	\$ 19.40	Hourly	C-06	6/10/2025
Trevor	Olson	Casual to Full-Time	Maintenance Worker I	Full-Time, Regular	5305	\$ 26.75	Hourly	UMI	5/17/2025
Amaya	Perez	Hire	Water Safety Instructor	Casual, Seasonal	1940	\$ 19.15	Hourly	C-06	6/10/2025
Royce	Phang-Vuong	Hire	Police Officer	Full-Time, Regular	1200	\$ 7,158.67	Monthly	UP	5/27/2025
Haley	Portner	Rehire	Lifeguard I	Casual, Seasonal	1940	\$ 17.65	Hourly	C-05	6/10/2025
Jack	Randby	Rehire	Lifeguard I	Casual, Seasonal	1940	\$ 17.65	Hourly	C-05	6/10/2025
Tyler	Schade	Hire	Lifeguard I	Casual, Seasonal	1940	\$ 17.40	Hourly	C-05	6/10/2025
Kelsey	Strang	Rehire	Lifeguard I	Casual, Seasonal	1940	\$ 18.40	Hourly	C-05	6/10/2025
Danika	Toutge	Rehire	Water Safety Instructor	Casual, Seasonal	1940	\$ 19.15	Hourly	C-06	6/10/2025
Adam	Vanderbeek	Accept Resignation	Firefighter	Paid on Call	1300				4/30/2025

The Council's approval of the Personnel Report includes the ratification of the City Administrator's actions in carrying out the terms and conditions of the employment of the City personnel.

First Name	Last Name	Action	Position	Status	Dept.	Base Pay Rate	Pay Type	Pay Scale	Date (on or about)
Peyton	VeDepo	Rehire	Lifeguard I	Casual, Seasonal	1940	\$ 17.65	Hourly	C-05	6/10/2025

The Council’s approval of the Personnel Report includes the ratification of the City Administrator’s actions in carrying out the terms and conditions of the employment of the City personnel.



ITEM:  
COUNCIL MEETING DATE:  
SECTION:

5.A.  
May 8, 2025  
Regular Agenda

**Description:**

Proclaim May 2025, as "Mental Health Awareness Month"

**Staff Contact:**

Christina M. Scipioni, City Clerk

**Department / Division:**

City Clerk's Office

**ACTION REQUESTED:**

Proclaim May 2025 as "Mental Health Awareness Month"

**SUMMARY:**

John Nocker, with National Alliance on Mental Illness (NAMI) Minnesota, has requested a proclamation recognizing May 2025 as "Mental Health Awareness Month".

Mayor Hooppaw is sponsoring this proclamation.

**BACKGROUND:**

N/A

**BUDGET IMPACT:**

N/A

**ATTACHMENTS:**

Proclamation

CITY OF APPLE VALLEY  
**PROCLAMATION**

WHEREAS, May is recognized as Mental Health Awareness Month, a time to raise awareness about mental health issues, confront discrimination, and promote understanding and resources for individuals living with mental health conditions; and;

WHEREAS, mental health conditions are treatable, and recovery is possible, with access to appropriate care, support, and resources; and

WHEREAS, 988 is a critical resource in our community to help people struggling with their mental health; and

WHEREAS, mental health awareness encourages us to take care of our own mental health and to reach out to friends and family who may be struggling; and

WHEREAS, we strive to create a culture of care that connects physical health with mental health and treats mental health care as a right; and

WHEREAS, by highlighting the importance of mental health, we empower individuals to seek support, find hope, and create lasting change in their lives; and

WHEREAS, we want people to know that you are not alone, that even through challenging times there is hope.

NOW, THEREFORE, the City Council of the City of Apple Valley, Dakota County, Minnesota, does hereby proclaim the month of May 2025 as:

**Mental Health Awareness Month**

PROCLAIMED this 8th day of May, 2025.

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Clint Hooppaw, Mayor

ATTEST:

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Christina M. Scipioni, Clerk



ITEM:  
COUNCIL MEETING DATE:  
SECTION:

5.B.  
May 8, 2025  
Regular Agenda

**Description:**

Proclaim May 15, 2025, as "Peace Officer's Memorial Day" and May 12-16, 2025, as "Police Week"

**Staff Contact:**

Deputy Chief Greg Dahlstrom

**Department / Division:**

Police Department

**ACTION REQUESTED:**

Proclaim May 15, 2025, as "Peace Officer's Memorial Day" and May 12-16, 2025, as "Police Week"

**SUMMARY:**

Our officers were profoundly impacted by the line-of-duty death of five Minnesota police officers in 2024. The Police Department thought it was fitting to formally recognize Peace Officer's Memorial Day and Police Week in Apple Valley.

**BACKGROUND:**

In 1962, at the request of Congress, President John F. Kennedy designated May 15th as Peace Officer's Memorial Day and the week in which that day falls as Police Week in the United States.

Members of our department have a storied history of honoring fallen officers and supporting their families. Locally, they have attended numerous law enforcement funerals, stood guard at the memorial on the capitol grounds, and raised funds to support the families of fallen officers.

Nationally, our officers have volunteered their time in Washington, D.C. at the National Law Enforcement Memorial Service and in support of the "Road to Hope", a 250-mile bicycle ride to raise funds and ensure the memory of our nation's fallen officers is never forgotten.

**BUDGET IMPACT:**

**ATTACHMENTS:**

Proclamation

CITY OF APPLE VALLEY  
**PROCLAMATION**

WHEREAS, President John F. Kennedy declared the first Peace Officers Memorial Day on May 15, 1962 to honor the service and sacrifice of fallen officers; and:

WHEREAS, the Apple Valley Police Department has provided professional and compassionate service to this community since 1964; and;

WHEREAS, Peace Officers work under difficult and dangerous conditions regularly; and

WHEREAS, Peace Officers are assaulted and killed in the line of duty at an unacceptable rate across Minnesota and the nation; and:

WHEREAS, the community of Apple Valley continues to honor and support their police department.

NOW, THEREFORE, the City Council of the City of Apple Valley, Dakota County, Minnesota, hereby proclaims May 15<sup>th</sup> 2025, as “Peace Officer’s Memorial Day” and May 12-16, 2025 as:

**“POLICE WEEK”**

in Apple Valley and we invite the residents of our community to honor the fallen police officers and recognize the service given by the men and women who, night and day, stand guard in our midst to protect us.

PROCLAIMED this 8<sup>th</sup> day of May, 2025.

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Clint Hooppaw, Mayor

ATTEST:

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Christina M. Scipioni, City Clerk



ITEM:  
COUNCIL MEETING DATE:  
SECTION:

5.C.  
May 8, 2025  
Regular Agenda

<b>Description:</b> Adopt Resolution Approving Site Plan/Building Permit Authorization of the Apple Valley Village (Cassia) Expansion for Development of a Transitional Care Unit Facility on Lot 2, Block 1, Apple Valley 4th Addition		
<b>Staff Contact:</b> Jennifer Haskamp, AICP, SHC and Jenna Shoosmith, SHC		<b>Department / Division:</b> Community Development Department
<b>Applicant:</b> Nicholas Olson on behalf of Bob Dahl		<b>Project Number:</b> PC25-08-B
<b>Applicant Date:</b> 3/18/2025	<b>60 Days:</b> 5/17/2025	<b>120 Days:</b> 7/16/2025

#### **ACTION REQUESTED:**

Adopt the resolution approving site plan and building permit authorization of the Apple Valley Village (Cassia) Expansion for development of a Transition Care Unit facility on Lot 2, Block 1 Apple Valley Commercial 4th Addition.

#### **SUMMARY:**

Nicholas Olson on behalf of Bob Dahl of the Apple Valley Medical Center (“Applicant”) has applied for Site Plan and Building Permit Authorization to construct a 60-unit (64 bed) skilled nursing facility for transition care (TCU Project) on the subject property. The site is generally located at the intersection of Garrett Avenue and 147th Street West. The proposed Project is located on approximately 5.9 acres and is currently vacant, except for an existing parking lot that has been used for the existing Apple Valley Skilled Care Center (“SCC”) parking. The vacant site has been part of the Owner’s long-term plans to provide a full continuum of care from the health care campus that includes the existing SCC facility and adjacent/connected village apartments to the north of the subject site.

The proposed structure will be approximately 30-feet tall with 63,000 square feet of space programmed for a mix of private and split double units, commercial kitchen and dining room, PT/OT room, nursing stations, and office space. The Project proposes to share parking with the Apple Valley SCC which requires reconfiguration of the south end of the existing parking lot. Reconfiguration of the parking lot will allow for improved flow and access between the two facilities and allow for the construction of a new enclosed walkway to connect the existing SCC facility with the new TCU Project facility. The parking lot and driveway reconfiguration also includes the construction of a Porte Cochere (also described as a Canopy within the plan set) to provide cover for patient drop-off to the new TCU Project facility. Given the proximity of the front entrance of the facility to lot line and shared parking, the Porte Cochere will be constructed across the shared lot line between the new TCU Project site and the existing SCC site.

The proposed parking lot, walkway, and Porte Cochere encroach on or over the shared side lot line with the existing SCC facility to the north. Based on the Applicant's narrative regarding operations, the TCU Project facility and the SCC facility are planned to be under common ownership, function collectively as a health care campus, share the parking lots, and be connected via a new covered walkway. The proposed shared campus layout of the two buildings results in some of the site improvements crossing the shared property line, which does not meet certain setback and dimensional standards of the zoning district if each lot is considered individually. However, since the proposed TCU Project facility and SCC facility are part of medical campus plan under common ownership, it is reasonable to share certain improvements such as parking, sidewalks, walkways, etc., to provide an interconnected facility plan. To achieve the campus plan objective, staff is recommending that easements be placed on both the TCU Project lot and the SCC lot that requires both lots to be considered enjoined for purposes of site improvements and development. The easements would include cross-parking and ingress and egress access, and construction, use, and maintenance of the Porte Cochere and the enclosed walkway.

The Planning Commission reviewed the site plan/building permit request on April 16, 2025, and voted to recommend approval of the request by a 6-0 vote.

#### **BACKGROUND:**

##### **Comprehensive Plan:**

The subject property is guided High Density Residential (HD). High Density Residential areas consist of existing and planned attached multi-family units including apartments, condominiums and allow for assisted living and medical service facilities within the designation. The proposed Project is a Transition Care Unit (TCU) which provides full medical services and temporary living facilities for patients that are in transition from full hospital medical services to other permanent living facilities. The proposed Project is consistent with the guiding of the subject property.

The Apple Valley 2040 Comprehensive Plan emphasizes unified and cohesive neighborhoods and design. It also identifies the need for development that supports community needs. Local demographic trends show a shift towards an aging population. Roughly half of the forecasted population growth in Dakota County will occur in the population group aged 65 or over. The proposed project aligns with the goals and policies of the 2040 Comprehensive Plan because it is compatible with the existing health care campus, and it will provide additional services to the City's senior community.

##### **Zoning:**

The subject property is zoned Planned Development (PD) 290 and is located within subzone 1. Per PD 290, permitted uses include hospitals, clinics, nursing homes, and retirements homes. The proposed Project provides transition care to patients needing medical services before they are discharged to permanent residential facilities. The proposed use is similar to the permitted uses and is consistent with the purpose of the PD ordinance. Permitted



accessory uses include off-street parking, refuse storage, and loading areas that are all included to support the proposed Project.

As proposed, the Project either meets or exceeds the dimensional standards established by PD 290 with the exception of the setback from the shared side lot line with the SCC facility to the north. As previously stated, Staff recommends easements be placed on the subject lots that enjoins them together for purposes of evaluating the setbacks from the shared lot line.

**Site Plan:**

The proposed site plan includes a two-story (63,000 SF) TCU facility with 60-units and 64 beds. Per the Applicant's narrative, the proposed building will include a combination of private and split double units, a commercial kitchen and dining room, a PT/OT room, nurse stations, office space, and a central courtyard.

The proposed facility will be accessible from two (2) access driveways off Garrett Avenue. The submitted site plan shows one (1) new access driveway located southwest of the proposed structure. The parking lot will connect to the existing shared access driveway north of the subject property. The TCU and SCC facilities will share a total of 146 parking stalls, which exceeds the minimum required for rest and nursing homes as detailed above.

Electric and utility meters will be located in the lower level of the structure. A screened mechanical pad and dumpster enclosure will be located outside and be accessible via the new driveway west of the proposed facility.

The main entrance of the proposed building will face north towards the shared access driveway and the proposed parking area located partially on the adjacent SCC site. A Porte Cochere will extend across a two-lane loading/unloading area providing shelter for the entrance (note, the Porte Cochere is located partially on the SCC lot). The lowest point of the Porte Cochere is proposed to be constructed with an approximately 14-foot-tall canopy. Staff recommends including a condition that the Porte Cochere must be able to accommodate emergency vehicle heights and may need to be adjusted taller.

There will be five (5) ancillary entrances and exits on the remaining sides of the building. A new enclosed walkway is proposed to connect the TCU Project facility with the existing SCC facility. Staff recommends including a condition that the walkway must have exterior emergency access points.

Private interior walking/biking paths will connect to the SCC to the north and to 147<sup>th</sup> Street W to the south. Staff recommends including a condition for approval that an additional walking path must be installed parallel to the existing shared access driveway to provide additional connectivity to the parking area and Garrett Avenue to the west.

**Grading and Utilities:**

The proposed project will be served by existing municipal utilities that will be extended to the new facility. Stormwater will be managed via a new retention pond, located southwest of

the proposed building. The City Engineer has reviewed the grading and utility plans, and their comments are included in the attached documents. Issuance of a building permit, grading activity, or utility installation is contingent upon the review and approval of the final grading and utility plans by the City Engineer.

**Elevations:**

Section 155.346(B)(4) establishes generally accepted building material types and states the following:

*Materials shall be those normally utilized in this part of the country for permanent type construction, which are found in what is generally accepted as good architectural design and which are found to be compatible with nearby existing buildings.*

The design of the proposed building is compatible with the existing adjacent structures. Although the sister facilities were constructed in the 1980s, the campus will generally have a cohesive design. The proposed building incorporates similar architectural elements and materials. The external façade will be composed largely of brick and neutral tone cement panels, which are also found on the adjacent buildings. Large rectangular windows and a varied elevation will help to create visual interest. The parapet will be topped with black metal fascia.

**Landscape Plan & Public Use Dedication:**

Section 155.349 requires landscaping for all new commercial, industrial, multiple residential developments to be installed on site at 2.5% of the means construction cost of the building. The applicant has requested the consideration of additional materials to be counted towards the landscaping costs. The full description of additional items and costs can be found in the attached "Landscape Opinion of Probable Cost". Additional landscape materials included in the applicant's request that have been reviewed by the Planning Commission include benches, water features, irrigation, and other hardscape materials. The applicant has included items like sod and seed mix towards the landscaping requirement. These materials are explicitly excluded in the definition of landscaping material per City Code and should not be counted towards the required landscaping cost. Staff will continue to work with the applicant to ensure that the 2.5% requirement is met.

**BUDGET IMPACT:**

N/A

**ATTACHMENTS:**

Resolution  
Memo  
Memo  
Location Map  
Zoning Map  
Applicant Letter

Plan Set  
Exhibit  
Plan Set

CITY OF APPLE VALLEY  
RESOLUTION NO. 2025-\_\_

A RESOLUTION AUTHORIZING ISSUANCE OF A BUILDING PERMIT  
FOR APPLE VALLEY VILLAGE EXPANSION  
AND ATTACHING CONDITIONS THERETO

WHEREAS, pursuant to Minnesota Statutes 462.357 the City of Apple Valley has adopted, as Title XV of the City Code of Ordinances, zoning regulations to control land uses throughout the City; and

WHEREAS, said regulations provide that issuance of a building permit for commercial, industrial, institutional, and multiple residential uses require the specific review and approval of development plans by the Apple Valley Planning Commission and City Council; and

WHEREAS, approval of a site plan/building permit authorization for a proposed 60-unit skilled nursing facility for transition care (TCU Project) development has been requested by Cassia, on property legally described as Lot 2, Block 1 Apple Valley Commercial 4<sup>th</sup> Addition, Dakota County, Minnesota; and

WHEREAS, the Apple Valley Planning Commission reviewed the development plans and recommended approval at its regular meeting on April 16, 2025.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Apple Valley, Dakota County, Minnesota, that the issuance of a building permit for Lot 2, Block 1 Apple Valley Commercial 4th Addition is hereby authorized, subject to all applicable City Codes and standards, and the following conditions:

1. If the Building Permit is not paid for and issued within one (1) year of the date of approval, the approval shall lapse.
2. Construction shall occur in conformance with the site plan received in City offices on March 19, 2025, including parking lot paving and a non-surmountable concrete curb and gutter.
3. Construction shall occur in conformance with the landscape plans received in City offices on March 19, 2025, (including sodded/seeded public boulevard area up to each street curbline); subject to submission of a detailed landscape planting price list for verification of the City's landscaping requirement at the time of building permit application.
4. Construction shall occur in conformance with the elevation plans dated February 12, 2025.

5. Subject to all conditions noted in the City Engineer's memo dated April 11, 2025, on file with the City.
6. Subject to all conditions noted in the Building Official's memo dated March 5, 2025, on file with the City.
7. Prior to the issuance of the building permit, the applicant shall have fully executed and recorded easements granted reciprocally to each the subject property and the adjacent property to the north (Lot 1, Block 5, Apple Valley Commercial Addition, Dakota County, Minnesota) for the following easement interests:
  - a. Cross-parking and ingress and egress access;
  - b. The construction, use, and long-term maintenance of the Porte cochere proposed at the front entrance of the proposed facility on the Property; and
  - c. The construction, use, and long-term maintenance of the proposed enclosed walkway between the existing building and the proposed new building.

The easement(s) shall be approved by the City Attorney prior to execution and recording.

8. The Porte Cochere that extends over the loading/unloading area and main entrance must be able to accommodate emergency vehicle heights.
9. The enclosed walkway that connects the TCU Project facility with the existing SCC facility shall have exterior emergency access points.
10. An additional pedestrian walking path shall be installed parallel to the existing shared access driveway to provide additional connectivity to the parking area and Garrett Avenue to the west.
11. Screening any outdoor mechanical pads or waste receptacles shall be achieved through landscaping, fence, decorative screen or a combination thereof, and approved by the City.
12. Site grading shall occur in conformance with a Natural Resources Management Plan (NRMP) which shall include final grading plan to be submitted for review and approval by the City Engineer; subject to the applicant submitting a copy of the General Storm Water Permit approval from the Minnesota Pollution Control Agency pursuant to Minnesota Rules 7100.1000 - 7100.1100 regarding the State NPDES Permit prior to commencement of grading activity.
13. Infiltration areas shall be constructed in conformance with the City standards and the property owner shall execute a maintenance agreement or other suitable agreement to be filed with the deed that ensures the perpetual maintenance of infiltration areas.

14. Site and building lighting shall consist of downcast, shoebox lighting fixtures or wallpacks with deflector shields which confines light to the property and shall be installed in conformance with Section 155.353 of the city code.
15. Approval of a signage plan is not included with this site plan and building permit authorization. A separate application and signage plan in conformance with the sign regulations must be submitted for review and approval to the City prior to the erection of any signs.
16. Construction and earthmoving activities shall be limited to the hours of 7:00 a.m. to 7:00 p.m. Monday through Friday. Weekend construction hours shall be limited to Saturdays during the hours of 8:00 a.m. to 5:00 p.m.
17. Prior to issuance of a building permit, a construction staging and construction personnel parking plan shall be submitted and approved by the City.
18. Earthmoving activities shall not occur when wind velocity exceeds thirty (30) miles per hour. Watering to control dust shall occur as needed and whenever directed by the Apple Valley Building Official or Zoning Administrator.
19. Issuance of a Building Permit and a final certificate of occupancy is contingent upon the project being constructed in conformance with all the preceding conditions as well as all applicable performance standards of the current zoning regulations. In the event that a certificate of occupancy is requested prior to completion of all required site improvements, a suitable financial guarantee in the amount of 125% of the estimated cost of the unfinished improvements shall be required along with an agreement authorizing the City or its agents to enter the premises and complete the required improvements if they are not completed by a reasonably stipulated deadline, with the cost of such City completion to be charged against the financial guarantee.
20. The ongoing use and occupancy of the premises is predicated on the ongoing maintenance of the structure and all required site improvements as listed in the preceding. No alteration, removal, or change to the preceding building plans or required site improvements shall occur without the express authorization of the City. Site improvements which have deteriorated due to age or wear shall be repaired or replaced in a timely fashion.

BE IT FURTHER RESOLVED that such issuance is subject to a finding of compliance of the construction plans with the Minnesota State Building Code, as determined by the Apple Valley Building Official, and with the Minnesota State Uniform Fire Code, as determined by the Apple Valley Fire Marshal.

ADOPTED this \_\_\_\_th day of \_\_\_\_\_, 2025.

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Clint Hooppaw, Mayor

ATTEST:

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Christina M. Scipioni, City Clerk

DRAFT

TO: Sydnee Stroeing, Associate Planner

FROM: George Dorn, Building Official

DATE: March 5, 2025

SUBJECT: Cassia Expansion, Northeast corner of 147<sup>th</sup> St W and Garrett Ave

- SAC determination is required from Met Council prior to permit issuance from the city.
- Pedestrian walkways and tunnels shall be constructed in accordance with MSBC Section 3104.
- If a separate address is being considered for this building on the same property consult with Dakota county, City Planning, and Fire Marshall
- Geotechnical Report, Boring Log and Special Inspector Agreement are required prior to permit and soil corrections on site.
- Indicate Trash and recycling area calculations, Per MSBC 2020 1303.1500 Subpart 1, recycling space is required in accordance with Table 1-A on plans issued for permit. Please designate this recycling space at the time of permit submittal.
- Submit plans to Minnesota Department of Labor, Plumbing Division for review of proposed plumbing, sanitary and storm design.
- Architectural, Structural and Civil plans are required to be signed with the permit application.
- The domestic and fire suppression water supply is required to be split outside the building with separate shut off valves. Contact our City Engineer for acceptable connections.
- The allowable area and building heights will be determined once the code analysis has been completed.
- Separate sign permits are required. Signed structural drawings will be required for review with the Building Permit application.
- Per MSAC 502.4.4, the access aisles for the accessible areas shall be marked with a designation sign that says “no parking. Review areas under consideration for accessible parking areas.
- Accessible parking required will be required per the Minnesota State Accessibility Code Table 1106.1.
- Provide energy and lighting compliance calculations at the time of permit submittal.



TO: Sydnee Stroeing, Associate Planner

FROM: Evan Acosta, Assistant City Engineer

DATE: April 11, 2025

SUBJECT: Cassia Expansion Site Plan Review per plans dated 03/19/2025

Sydnee,

The following are comments regarding the Cassia Expansion Preliminary Plans dated March 19, 2025. Please include these items as conditions to approval.

**General**

1. All work and infrastructure within public easements or right of way shall be to City standards.
2. Provide a narrative of how the buildings will be constructed and any impacts. The narrative shall include the following:
  - a. Shoring (if applicable)
  - b. Material Storage.
  - c. Haul routes to and from the site.
  - d. Phasing
3. No construction work shall begin prior to a preconstruction meeting conference with a Public works and a Building Inspections representative.
4. Provide a copy of the approval letter from the Department of Labor and Industry (DOLI) prior to construction.
5. Public Work Department (952-953-2400) shall be notified a minimum of 48 hours for any required water main shut downs and/or connections.
6. A stormwater construction and maintenance agreement will be required in advance of any NRMP permit approval.
7. Plans should include reference to all used City of Apple Valley standard detail plates. All Standard detail plates should be shown in the details section of the plans.
8. No trees will be permitted in public easements.
9. A separate Public Improvement project is proposed on 147th Street from Glazier Avenue to Galaxie Avenue and is anticipated to be constructed in 2025 and 2026.

**Permits**

10. Provide a copy of the executed Minnesota Department of Health, Minnesota Pollution Control Agency, Met Council, Department of Labor and any other required permits prior to construction.
11. Department of Labor and Industry (DOLI) shall review private utilities.
12. A right of way permit will be required for all work within public easements or right of

- way.
13. Applicant will be required to obtain a Natural Resources Management Permit (NRMP) which includes submittal of E&SC, Landscape and other Plan Sets.
  14. The applicant will be subject to the requirements of the State NPDES Construction Storm water Permit. The applicant must provide proof of permit.

### **Site**

15. Include Auto turn drawing for service and emergency vehicles entering and leaving the site.
16. Pavement section for public roadways shall match existing roadways and be shown on the plans.
17. Show the location of manholes and gate valves and hydrants on the site plan.
18. Show existing easements on the site/grading and utility plans. Permanent structures are not allowed in drainage and utility easements or private storm water facilities.
19. Signage Plan and details should be included on site plan (i.e. pedestrian crossing signage, ADA, directional signs, no parking, buffer/storm water signs, no snow storage in storm water basins, etc...) for review
20. The new Driveway Apron shall be per City of Apple Valley standard detail plate STR-5.
21. Show locations of proposed lighting fixtures for parking lots and site.
22. Submit a Storm water Management Checklist. The checklist can be found on the City's website at [https://www.cityofapplevalley.org/DocumentCenter/View/16258/Project-Submittal-Checklist\\_Fillable](https://www.cityofapplevalley.org/DocumentCenter/View/16258/Project-Submittal-Checklist_Fillable)

### **Grading & Drainage Plan**

23. Final Storm Water Pollution Prevention Plan (SWPPP) shall be included with plans and shall be reviewed and approved by City Engineer.
24. Final Grading Plans shall be reviewed and approved by City Engineer.
25. Provide the overall site composite Curve Number (CN) along with the impervious % on the area tabulation.
26. Label the EOF's on the grading plan.
27. Provide soil borings in areas of proposed infiltration.
  - Soil boring log does not show borings being taken at location of proposed infiltration basin.
28. Provide rim elevations for each of the catch basins on the grading plan.

### **Storm Sewer**

29. Final locations and sizes of Storm Sewer shall be reviewed with the final construction plans and approved by City Engineer.
30. Storm sewer within right of way and public drainage and utility easement for purposes of connection to public infrastructure shall be reinforced concrete pipe and meet all City standards.

31. Provide infiltration basin detail.

#### **Sanitary Sewer and Water main**

- 32. Final locations and sizes of Sanitary Sewer and Water main shall be reviewed with the final construction plans and approved by City Engineer.
- 33. All water mains located within right of way and public easements for purposes of connection to public infrastructure shall be ductile iron pipe and meet all City standards.
- 34. Provide gate valves on all water lines going into the buildings including fire suppression lines in accordance with City Detail plate
- 35. All watermain shall be a min depth of 8.0'.
- 36. Identify Irrigation service location(s) if applicable per SER-4.
- 37. Provide additional drawing showing required hydrant coverage for site.
- 38. Domestic water and fire service shall be split outside the existing building and the valves shall be located 1.5 times the height of the building away from the building or placed in location readily accessible per City of Apple Valley standard detail plate SER-6.

#### **Landscape and Natural Resources**

- 39. Applicant should provide detail on snow storage locations.
- 40. Applicant to establish 4-6 inches of topsoil as part of site grading.
- 41. Any impacts to existing stormwater management features must mitigate for the impacted treatment volume.
- 42. The infiltration basin proposed mix 33-361. Native seed mixes have a long establishment period (up to 3-4 years). The applicant may wish to plant plugs or larger plants to accelerate establishment and permit closure. (Building permit can be closed prior to NRMP).
- 43. According to City code, tree planting plan must follow 15-10-5 diversity rule, meaning tree replacement schedule may not exceed 15% of one family, 10% of one genus, and 5% of one species.
- 44. Planting of maple species is highly discouraged due to severe overplanting, please consider alternative species.
- 45. According to City code sections 152.15 and 152.46, a Tree Preservation Component (TPC) plan is required. Please review the relevant City code sections and provide the required information, including but not limited to a complete tree inventory of all significant trees with species, diameter at breast height (DBH), and condition, and required replacement calculations.
- 46. Please ensure plan set includes tree protection fencing for all trees in or adjacent to construction zone, including trees near parking lot.
- 47. Please include tree protection fencing and tree planting detail plates in plan set. a






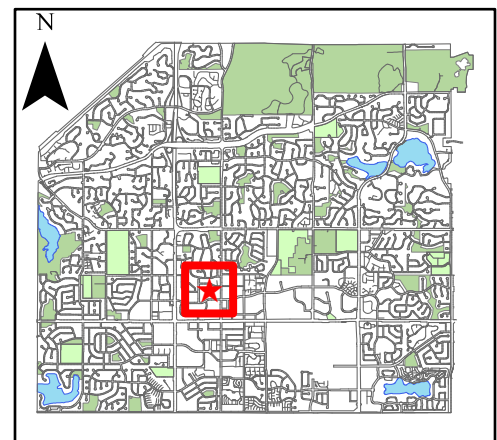
## Apple Valley Village (Cassia) Location Map

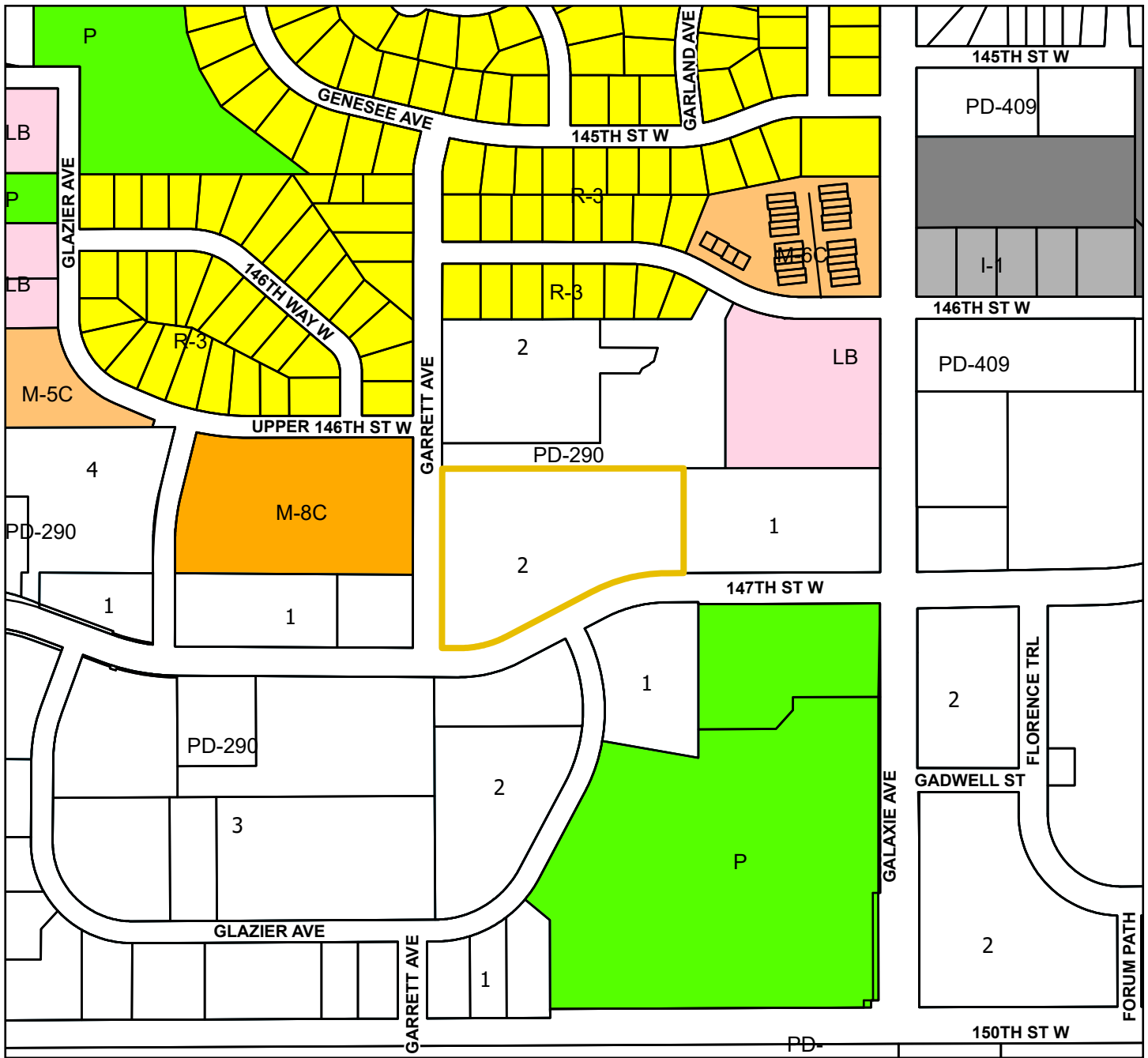
14650 Garrett Avenue

 Subject Property



0 205 410 Feet  






# Apple Valley Village (Cassia) Zoning Map

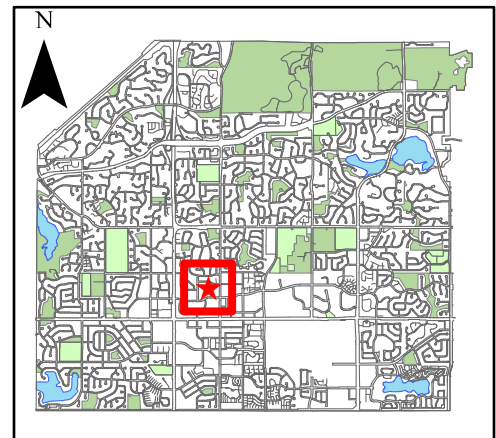
14650 Garrett Avenue

Subject Property



0 205 410 Feet

A horizontal scale bar with markings for 0, 205, and 410 feet.





**March 18, 2025**

Sydnee Stroeing  
Associate Planner  
City of Apple Valley  
7100 147<sup>th</sup> Street W  
Apple Valley, MN 55124  
Sydnee.stroeing@applevalleymn.gov



**RE: Apple Valley Village Expansion – Project Narrative**  
**Location: 14650 Garrett Avenue, Apple Valley, MN**

Sydnee,

Thank you for reviewing the following narrative and attached materials being submitted on behalf of Cassia in support of their development plans to expand upon their existing senior housing and health care facility. This submittal requests review of the attached Site Plan and Architectural Plans in support of a Site Plan approval.

The following narrative describes the proposed project and provides further details including demonstration of how the project is compliant with applicable criteria and the City of Apple Valley's Comprehensive Plan.

## **PROJECT NARRATIVE**

The subject property currently sits vacant, directly South of the existing Apple Valley Village Facility at the intersection of Garrett Avenue and 147<sup>th</sup> Street West. Cassia is proposing to develop this 5.9-acre lot into a 63,000 square foot, 60-unit (64-bed) skilled nursing facility that focuses specifically on short term stay (transitional care unit or TCU) to their existing continuum of care. The proposed facility would include a combination of private and split double units, a commercial kitchen and dining room, PT/OT room, nurse stations, office space, a courtyard, and other amenities for residents to enjoy. The new building will be connected to the existing Apple Valley Health Care Center by a connecting link so staff and residents can be connected to the existing campus.

The project will also include associated parking and site infrastructure. In addition to the existing surface parking stall count, 7 regular parking stalls and 4 ADA parking stalls are proposed, as well as new drive access from Garrett Ave and a connection to the existing drive access to Apple Valley Village. Drive access has been designed to accommodate deliveries from Semi tractor/trailers and ease of entry and exit by waste/recycling trucks and emergency services. The expansion will be served by existing municipal utilities that will be extended to the new facility. Stormwater will be managed via a new detention pond, located West/Southwest of the proposed building.

The property is located within a "Planned Development District" that allows skilled care as a use. The proposed expansion fits into, and builds upon, the existing Apple Valley Village campus and would serve to satisfy the needs of the growing Apple Valley population.

## **COMMUNITY SUPPORT AND THE CITY'S COMPREHENSIVE PLAN**

Apple Valley's 2040 Comprehensive Plan highlights the growing need for support of the senior population. Apple Valley's population is projected to reach 63,600 by 2040, a roughly 20% increase over where it sits today. In addition to this growth, demographic trends show a shift towards an aging population, with ages 55 and older carrying a high growth percentage while the under 18 population percentage of Apple Valley is projected to decrease. Most notably, the 70-74 age cohort is expected to experience the largest net growth through 2040, driven by aging "Baby Boomers".

In response to concerns around the demographic changes, Apply Valley started prioritizing senior housing development in 2000 and oversaw the completion of multiple senior options that resulted in hundreds of added units. The proposed expansion of Cassia's Apple Valley Village campus will be a welcome addition to a community that already strives to provide its elderly residents with exceptional and ample housing.

Please see attached moratorium support letter from the City dated 12-5-24.

## TIMELINE

Cassia is proposing construction to commence in the Spring of 2026 and conclude in the fall of 2027. Obtaining approval from city staff and planning commission will allow Cassia to proceed with full plan development and submittal to the State and City for all applicable reviews and permits.

Please contact us at 952.426.0699 or via email at [Nicholas.Olson@ISGInc.com](mailto:Nicholas.Olson@ISGInc.com) and [Mitchell.Cookas@ISGInc.com](mailto:Mitchell.Cookas@ISGInc.com) with any questions or if there is any additional information we can provide in support of this project.

Sincerely,



Nicholas D. Olson  
Development Services Coordinator  
[Nicholas.Olson@ISGInc.com](mailto:Nicholas.Olson@ISGInc.com)



Mitchell Cookas, PLA  
Project Manager  
[Mitchell.Cookas@ISGInc.com](mailto:Mitchell.Cookas@ISGInc.com)



City of Apple Valley  
7100 147th Street W.  
Apple Valley, MN 55124

Phone: (952) 953-2500  
Fax: (952) 953-2515  
[www.applevalleymn.gov](http://www.applevalleymn.gov)

December 5, 2024

Mr. Dave Shaw, Administrator  
Cassia – Apple Valley Village Health Care Center  
14610 Garrett Avenue  
Apple Valley, MN 55124

**Subject: Support for Moratorium Exception and Campus Expansion – Cassia / Augustana**

Dear Mr. Shaw,

Thank you for contacting the City of Apple Valley regarding your pursuit of a Moratorium Exception from the Minnesota Department of Health. On behalf of the City, we are pleased to provide the following information to support Cassia's planned expansion initiative.

The City's **2040 Comprehensive Plan** highlights the growing needs of our community, including those of our senior population. Apple Valley's population has steadily increased from 45,550 in 2000 to 56,375 in 2020 and is projected to reach 63,600 by 2040. Alongside this growth, demographic trends show a significant shift in age distribution. In 1990, 35% of residents were under 18, while only 7% were aged 55 or older. By 2015, the proportion of residents under 18 had decreased to 18%, while those aged 55 and older had increased to 26%. Notably, the 70-74 age cohort is expected to experience the largest net growth through 2040, driven by aging baby boomers.

In response to these demographic changes, the City has prioritized senior housing developments since 2000. Key projects include The Legends (163 units), Orchard Path (330 units), Zvago (58-unit senior cooperative), Risor (172 units), and Applewood Pointe (99 units). These developments underscore Apple Valley's commitment to addressing the evolving housing and care needs of its senior residents.

The proposed expansion of Cassia's Apple Valley Village Health Care Center aligns with these priorities and reflects a collaborative effort between the City and Cassia. Preliminary discussions have focused on modifying existing facilities and planning new additions to the campus. The required planning review process, involving the Planning Commission and City Council, will ensure all development approvals are in place before construction begins.

Based on our understanding of your proposal, key elements that support the expansion include:

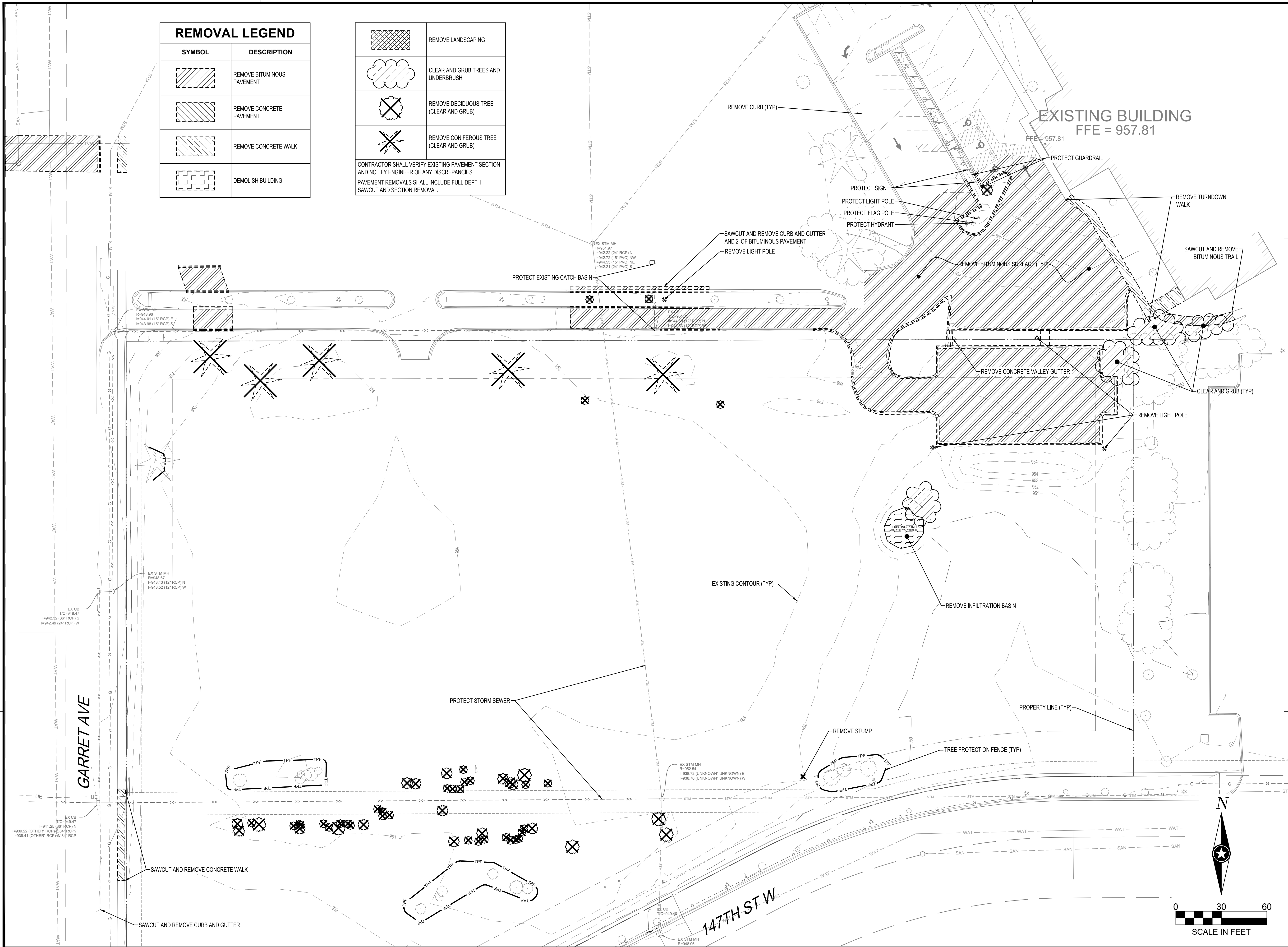
- Cassia/Augustana's continued control and management of the site.
- The location within a "planned development district" that permits the type of facility being proposed, with adjustments to existing units/beds in the current Transitional Care Unit (TCU) building and the addition of new units/beds in a planned adjacent building.

We wish you success in pursuing the Moratorium Exception and look forward to working with you on a development plan that will enhance senior living options in Apple Valley.

Sincerely,

Tim Benetti  
Community Development Director





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PROJECT  
**CASSIA -  
APPLE VALLEY  
VILLAGE  
SKILLED CARE  
CENTER**

APPLE VALLEY MINNESOTA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

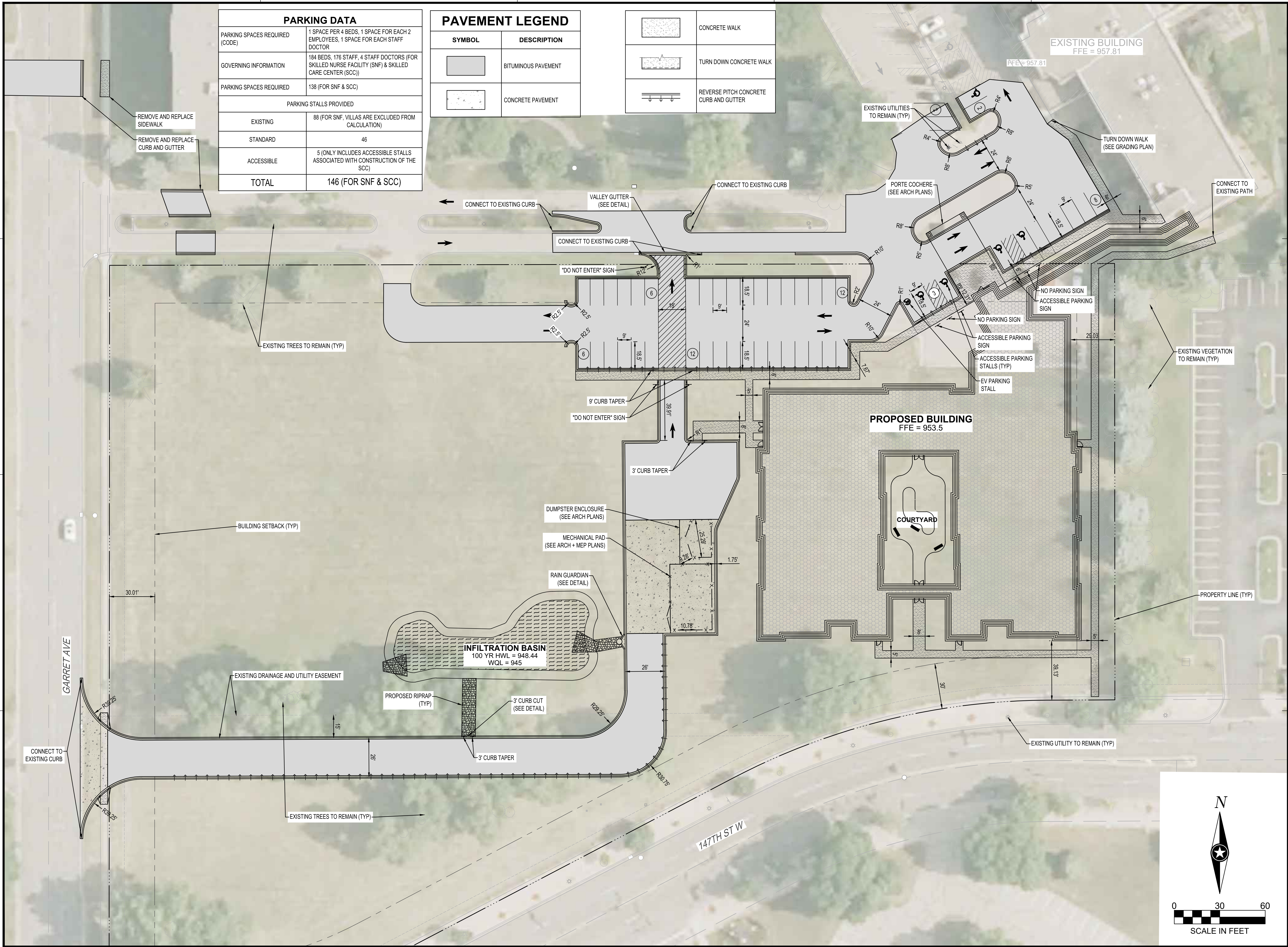
PROJECT NO.	24-31908
FILE NAME	31908 C2 EXIST
DRAWN BY	DWG
DESIGNED BY	DWG
REVIEWED BY	MGC
ORIGINAL ISSUE DATE	11/11
CLIENT PROJECT NO.	-

TITLE  
**EXISTING SITE  
AND REMOVAL  
PLAN**

SHEET  
**C2-10**

PRELIMINARY NOT FOR CONSTRUCTION





PARKING DATA	
PARKING SPACES REQUIRED (CODE)	1 SPACE PER 4 BEDS, 1 SPACE FOR EACH 2 EMPLOYEES, 1 SPACE FOR EACH STAFF DOCTOR
GOVERNING INFORMATION	184 BEDS, 176 STAFF, 4 STAFF DOCTORS (FOR SKILLED NURSE FACILITY (SNF) & SKILLED CARE CENTER (SCC))
PARKING SPACES REQUIRED	138 (FOR SNF & SCC)
PARKING STALLS PROVIDED	
EXISTING	88 (FOR SNF, VILLAS ARE EXCLUDED FROM CALCULATION)
STANDARD	46
ACCESSIBLE	5 (ONLY INCLUDES ACCESSIBLE STALLS ASSOCIATED WITH CONSTRUCTION OF THE SCC)
TOTAL	146 (FOR SNF & SCC)

PAVEMENT LEGEND	
SYMBOL	DESCRIPTION
	BITUMINOUS PAVEMENT
	CONCRETE PAVEMENT

	CONCRETE WALK
	TURN DOWN CONCRETE WALK
	REVERSE PITCH CONCRETE CURB AND GUTTER



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PROJECT

**CASSIA -  
APPLE VALLEY  
VILLAGE  
SKILLED CARE  
CENTER**

APPLE VALLEY MINNESOTA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO.	24-31908
FILE NAME	31908 C3 SITE
DRAWN BY	DWG
DESIGNED BY	DWG
REVIEWED BY	MGC
ORIGINAL ISSUE DATE	11/11
CLIENT PROJECT NO.	-

TITLE

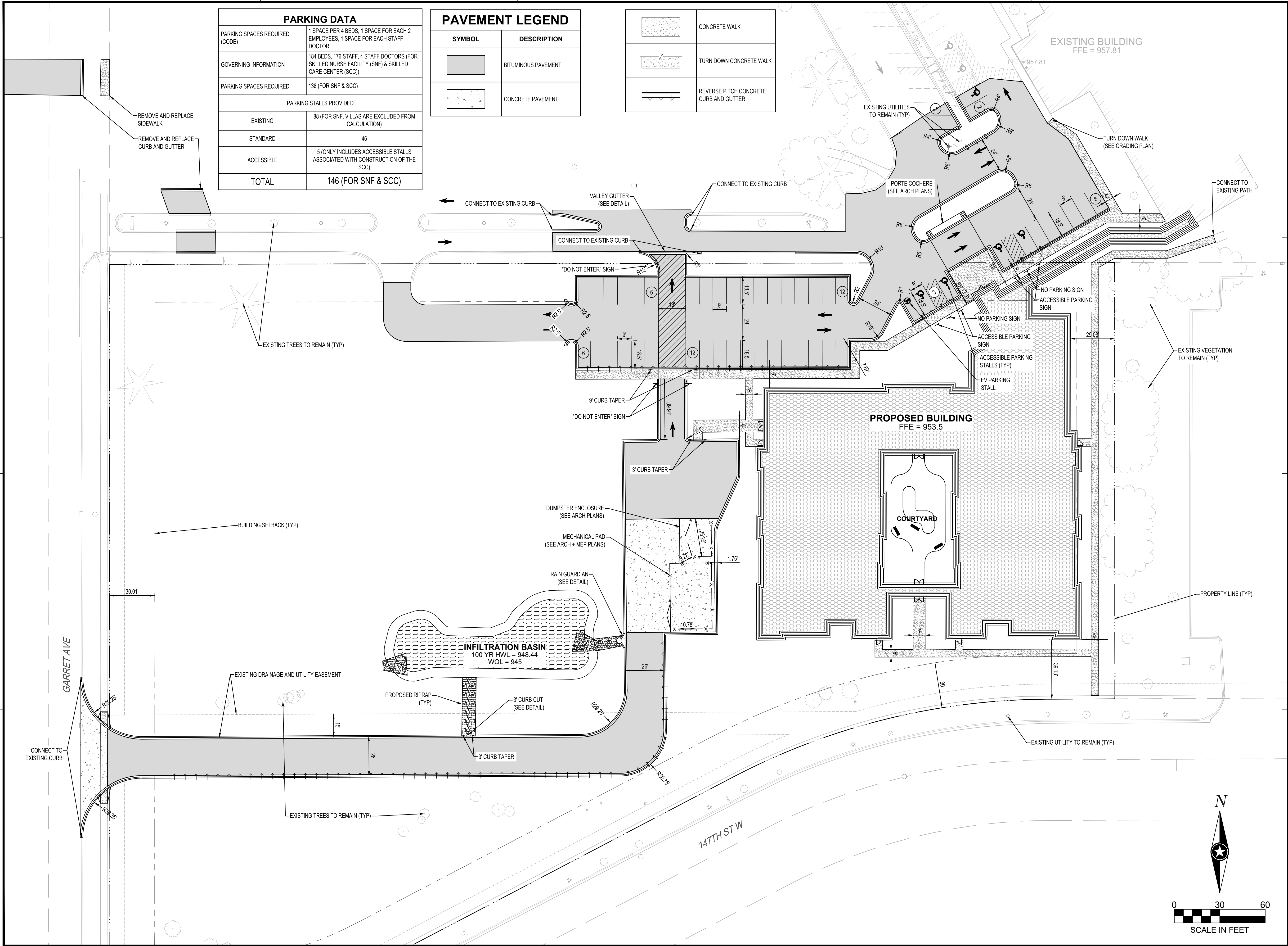
**SITE PLAN**

SHEET

**C3-10**

PRELIMINARY NOT FOR CONSTRUCTION





PARKING DATA	
PARKING SPACES REQUIRED (CODE)	1 SPACE PER 4 BEDS, 1 SPACE FOR EACH 2 EMPLOYEES, 1 SPACE FOR EACH STAFF DOCTOR
GOVERNING INFORMATION	184 BEDS, 176 STAFF, 4 STAFF DOCTORS (FOR SKILLED NURSE FACILITY (SNF) & SKILLED CARE CENTER (SCC))
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TOTAL	146 (FOR SNF & SCC)

PAVEMENT LEGEND	
SYMBOL	DESCRIPTION
	BITUMINOUS PAVEMENT
	CONCRETE PAVEMENT

	CONCRETE WALK
	TURN DOWN CONCRETE WALK
	REVERSE PITCH CONCRETE CURB AND GUTTER

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PROJECT

**CASSIA - APPLE VALLEY VILLAGE SKILLED CARE CENTER**

APPLE VALLEY MINNESOTA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO.	24-31908
FILE NAME	31908 C3 SITE
DRAWN BY	DWG
DESIGNED BY	DWG
REVIEWED BY	MGC
ORIGINAL ISSUE DATE	11/11
CLIENT PROJECT NO.	-

TITLE

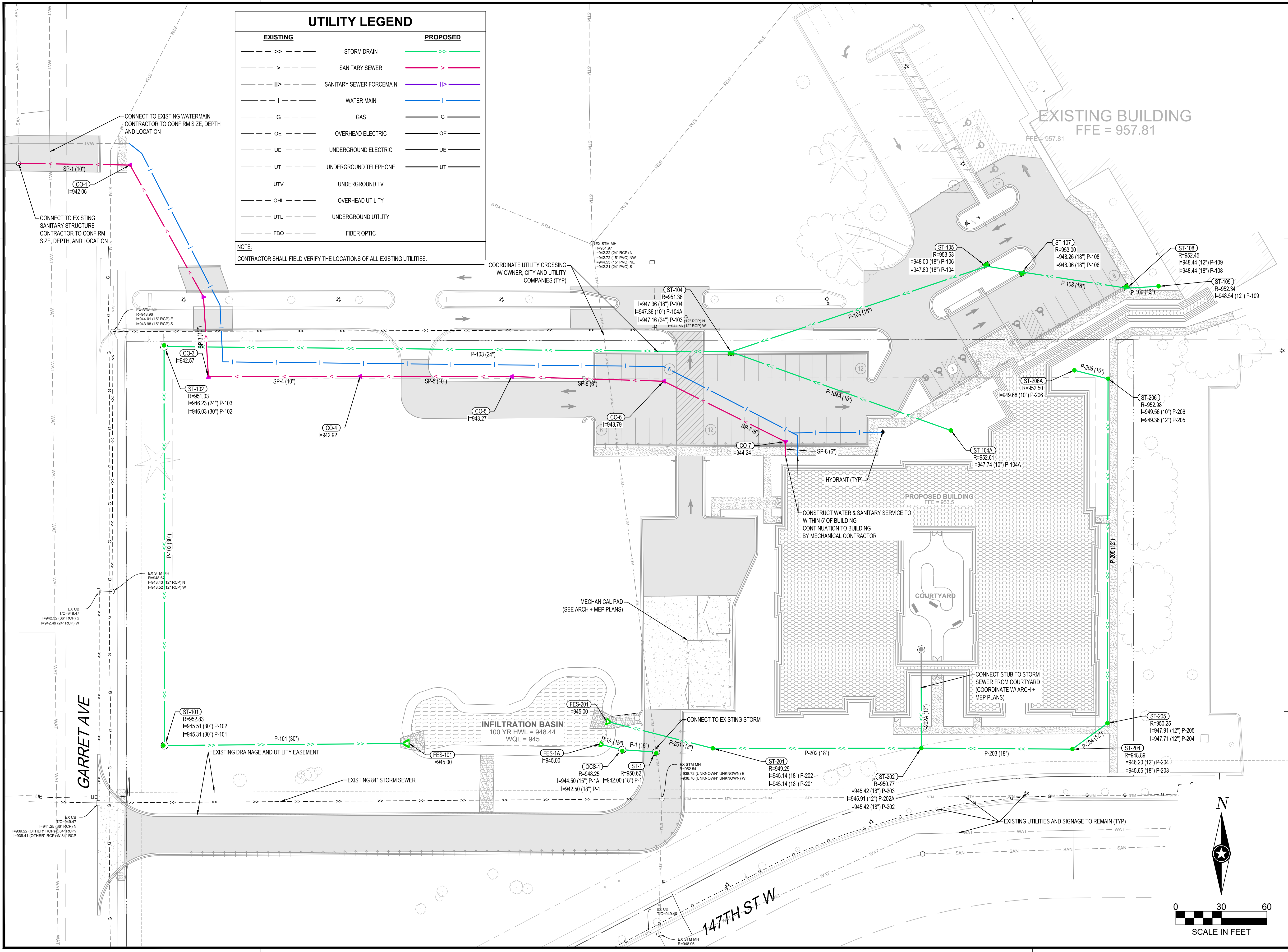
**SITE PLAN**

SHEET

**C3-10**

PRELIMINARY NOT FOR CONSTRUCTION





UTILITY LEGEND	
EXISTING	PROPOSED

NOTE:  
CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES.

PROJECT

**CASSIA -  
APPLE VALLEY  
VILLAGE  
SKILLED CARE  
CENTER**

APPLE VALLEY MINNESOTA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO. 24-31908

FILE NAME 31908 C3 UTILITY

DRAWN BY DWG

DESIGNED BY DWG

REVIEWED BY MGC

ORIGINAL ISSUE DATE -/-/-

CLIENT PROJECT NO. -

TITLE

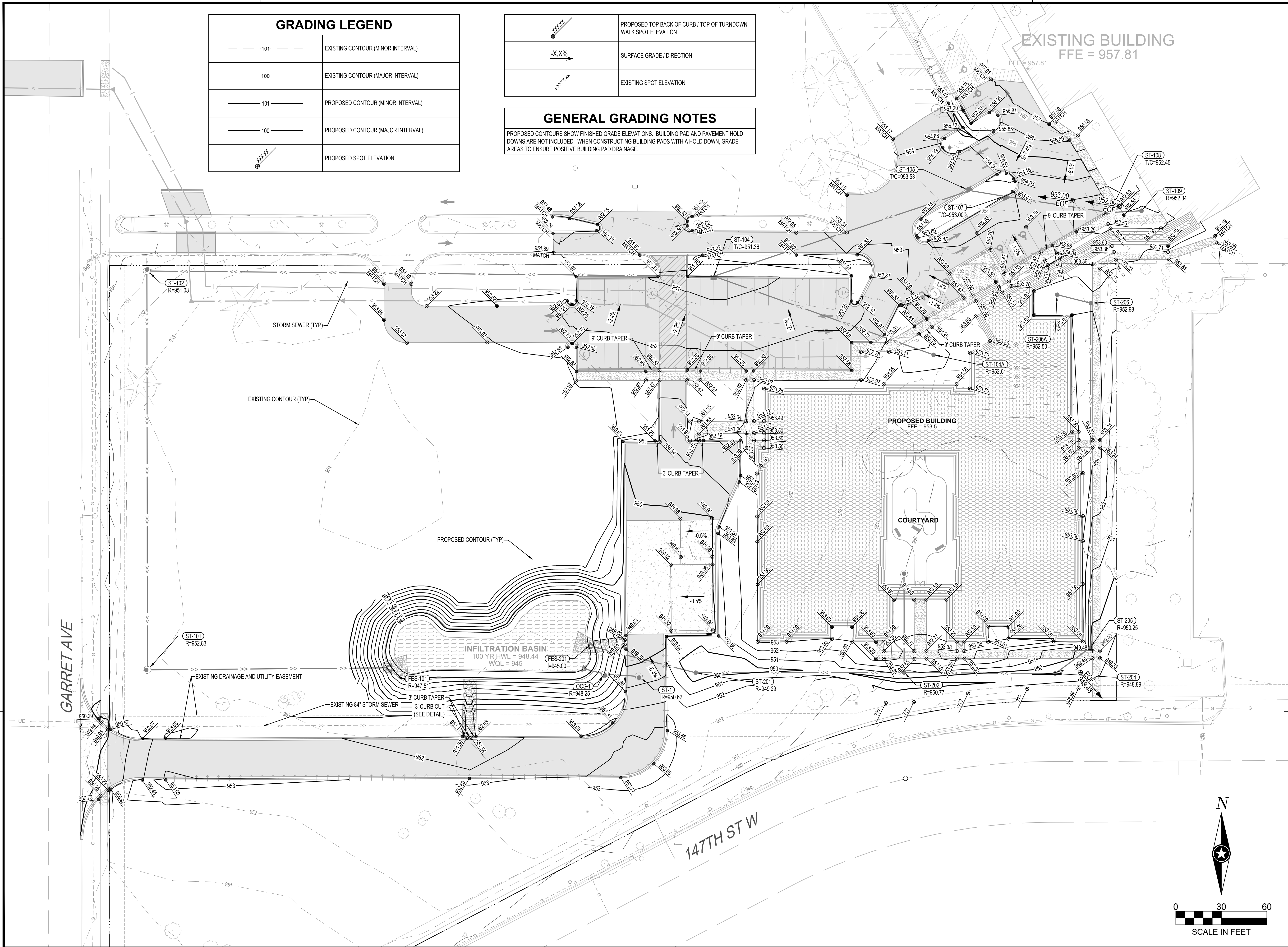
**UTILITY PLAN**

SHEET

**C3-20**

PRELIMINARY NOT FOR CONSTRUCTION





GRADING LEGEND	
---101---	EXISTING CONTOUR (MINOR INTERVAL)
---100---	EXISTING CONTOUR (MAJOR INTERVAL)
---101---	PROPOSED CONTOUR (MINOR INTERVAL)
---100---	PROPOSED CONTOUR (MAJOR INTERVAL)
●X.XX	PROPOSED SPOT ELEVATION

---X.XX---	PROPOSED TOP BACK OF CURB / TOP OF TURNDOWN WALK SPOT ELEVATION
---X.XX%	SURFACE GRADE / DIRECTION
---X.XX---	EXISTING SPOT ELEVATION

**GENERAL GRADING NOTES**

PROPOSED CONTOURS SHOW FINISHED GRADE ELEVATIONS. BUILDING PAD AND PAVEMENT HOLD DOWNS ARE NOT INCLUDED. WHEN CONSTRUCTING BUILDING PADS WITH A HOLD DOWN, GRADE AREAS TO ENSURE POSITIVE BUILDING PAD DRAINAGE.



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PROJECT

**CASSIA -  
APPLE VALLEY  
VILLAGE  
SKILLED CARE  
CENTER**

APPLE VALLEY MINNESOTA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO.	24-31908
FILE NAME	31908 C4 GRADING PLAN
DRAWN BY	DWG
DESIGNED BY	DWG
REVIEWED BY	MGC
ORIGINAL ISSUE DATE	11/11
CLIENT PROJECT NO.	-

TITLE

**GRADING PLAN**

SHEET

**C4-10**

PRELIMINARY NOT FOR CONSTRUCTION



SITE RESTORATION SCHEDULE

SYMBOL	QTY	DESCRIPTION
GROUND COVERS		
[Symbol]	62,653 SF	LAWN SOD LOCAL KENTUCKY BLUEGRASS MIX
[Symbol]	5,031 SF	MN 33-261 STORMWATER SEED MIX WITH EROSION CONTROL MEASURES
[Symbol]	16,427 SF	SHREDDED HARDWOOD MULCH 3" DEPTH MULCH

CITY LANDSCAPE SUMMARY

THE PROPOSED LANDSCAPE MATERIALS SHALL AMOUNT TO MINIMUM 2.5% OF THE TOTAL CONSTRUCTION COST



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PROJECT

**CASSIA -  
APPLE VALLEY  
VILLAGE  
SKILLED CARE  
CENTER**

APPLE VALLEY MINNESOTA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO.	24-31908
FILE NAME	31908 C5-LAND
DRAWN BY	DWG
DESIGNED BY	DWG
REVIEWED BY	MGC
ORIGINAL ISSUE DATE	11-1-24
CLIENT PROJECT NO.	-

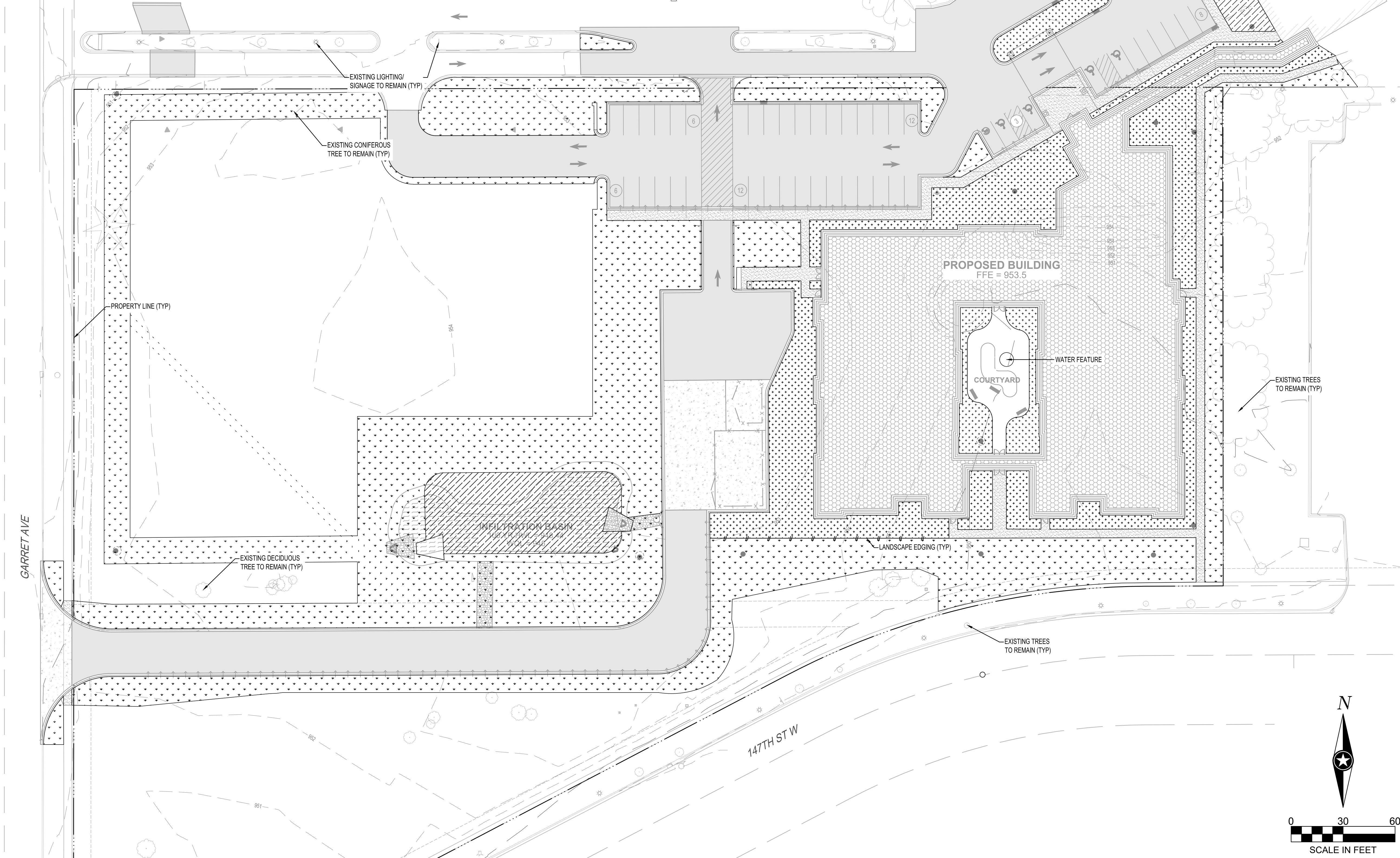
TITLE

**SITE  
RESTORATION  
PLAN**

SHEET

**C5-10**

PRELIMINARY NOT FOR CONSTRUCTION



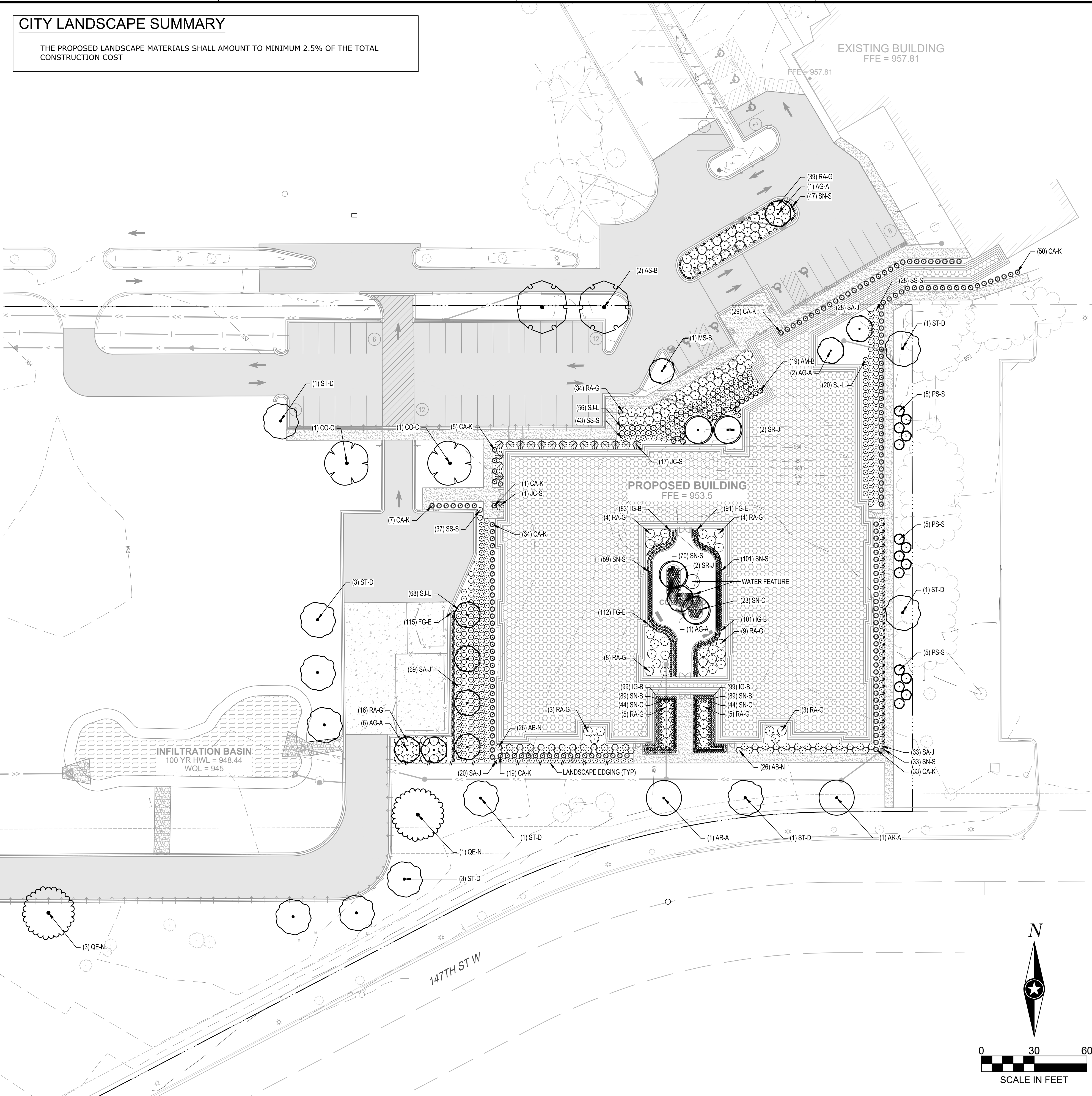


PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	ROOT
EVERGREEN TREES					
	PS-S	15	PINUS STROBUS 'STOWE PILLAR' STOWE PILLAR WHITE PINE	12' HT MIN	B & B
OVERSTORY TREES					
	AR-A	2	ACER RUBRUM 'AUTUMN SPIRE' AUTUMN SPIRE MAPLE	5" CAL	B & B
	AS-B	2	ACER SACCHARUM 'BAILSTA' FALL FIESTA® SUGAR MAPLE	5" CAL	B & B
	CO-C	2	CELTIS OCCIDENTALIS COMMON HACKBERRY	5" CAL	B & B
	ST-D	11	GLEDTISIA TRIACANTHOS 'DRAVES' STREET KEEPER HONEYLOCUST	5" CAL	B & B
	QE-N	4	QUERCUS ELLIPSOIDALIS NORTHERN PIN OAK	5" CAL	B & B
UNDERSTORY TREES					
	AG-A	10	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE' AUTUMN BRILLIANCE SERVICEBERRY	3" CAL	B & B
	MS-S	1	MALUS X 'SPRING SNOW' SPRING SNOW CRABAPPLE	3" CAL	B & B
	SR-J	4	SYRINGA RETICULATA JAPANESE TREE LILAC	3" CAL	B & B
DECIDUOUS SHRUBS					
	AM-B	19	ARONIA MELANOCARPA BLACK CHOKEBERRY	#10	CONT
	RA-G	130	RHUS AROMATICA 'GRO-LOW' GRO-LOW FRAGRANT SUMAC	#10	CONT
	SS-S	108	SORBARIA SORBIFOLIA 'SEM' SEM ASH LEAF SPIREA	#10	CONT
	SA-J	150	SPIRAEA ALBIFLORA JAPANESE WHITE SPIREA	#10	CONT
	SJ-L	144	SPIRAEA JAPONICA 'LITTLE PRINCESS' LITTLE PRINCESS JAPANESE SPIREA	#10	CONT
EVERGREEN SHRUBS					
	AB-N	52	ABIES BALSAMEA 'NANA' DWARF BALSAM FIR	#7	CONT
	JC-S	18	JUNIPERUS CHINENSIS 'SEA GREEN' SEA GREEN JUNIPER	#7	CONT
GRASSES					
	CA-K	178	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' FEATHER REED GRASS	#3	CONT
	FG-E	318	FESTUCA GLAUCA 'ELIJAH BLUE' BLUE FESCUE	#3	CONT
PERENNIALS					
	IG-B	478	IRIS GERMANICA 'BREAKERS' BREAKERS TALL IRIS	#1	CONT
	SN-S	488	SALVIA NEMOROSA SALVIA NEMOROSA 'SENSATION DEEP ROS' SENSATION DEEP ROSE IMPROVED SAGE	#1	CONT
	SN-C	111	SALVIA NEMOROSA 'CARRADONNA' CARRADONNA SALVIA	#1	CONT

CITY LANDSCAPE SUMMARY

THE PROPOSED LANDSCAPE MATERIALS SHALL AMOUNT TO MINIMUM 2.5% OF THE TOTAL CONSTRUCTION COST



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PROJECT  
**CASSIA -  
APPLE VALLEY  
VILLAGE  
SKILLED CARE  
CENTER**

APPLE VALLEY MINNESOTA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

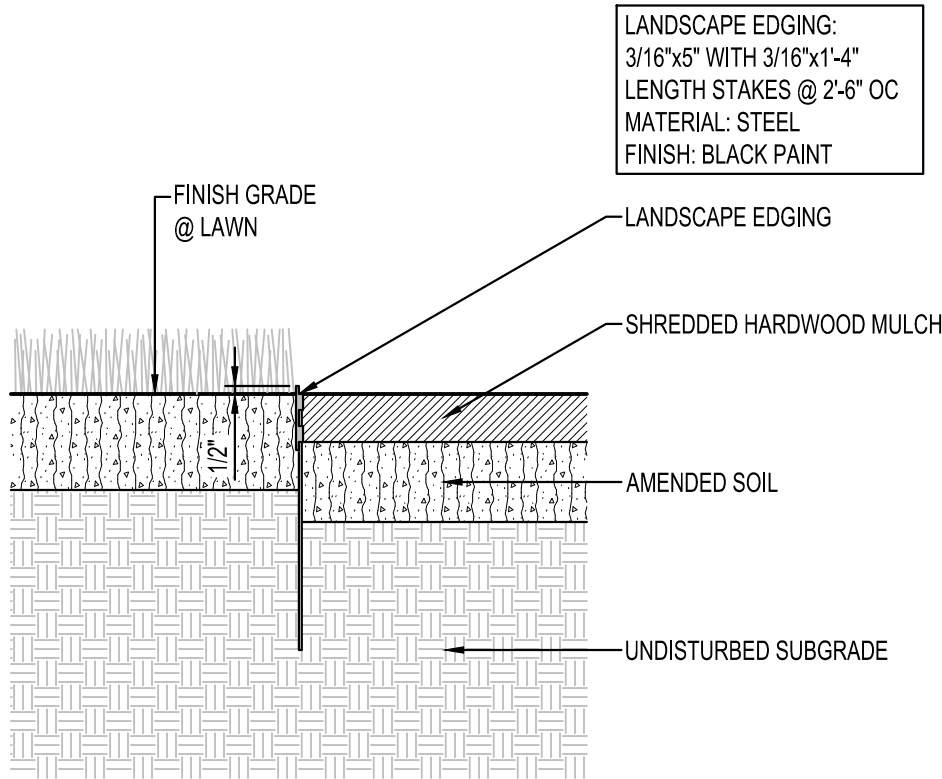
PROJECT NO.	24-31908
FILE NAME	31908 C5-LAND
DRAWN BY	DWG
DESIGNED BY	DWG
REVIEWED BY	MGC
ORIGINAL ISSUE DATE	11-1-24
CLIENT PROJECT NO.	-

TITLE  
**PLANTING PLAN**

SHEET  
**C5-20**

PRELIMINARY NOT FOR CONSTRUCTION





LANDSCAPE EDGING  
NTS

- PLANTING NOTES**
- COORDINATE LOCATION OF ALL UTILITIES (LINES, DUCTS, CONDUITS, SLEEVES, FOOTINGS, ETC.) WITH LOCATIONS OF PROPOSED LANDSCAPE ELEMENTS (FENCE, FOOTINGS, TREE ROOTBALLS, ETC.). CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO OWNER'S REPRESENTATIVE PRIOR TO CONTINUING WORK.
  - SAVE AND PROTECT ALL EXISTING TREES NOT NOTED TO BE REMOVED.
  - REMOVE ALL CONSTRUCTION DEBRIS AND MATERIALS INJURIOUS TO PLANT GROWTH FROM PLANTING PITS AND BEDS PRIOR TO BACKFILLING WITH PLANTING MIX.
  - REFER TO PLANTING DETAILS FOR AMENDED SOIL DEPTH IN PLANTING BEDS AND SURROUNDING TREES.
  - FIELD STAKE PLANTINGS ACCORDING TO PLAN. OWNER'S REPRESENTATIVE SHALL APPROVE ALL PLANT LOCATIONS PRIOR TO INSTALLATION. OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REVISE PLANTING LAYOUT AT TIME OF INSTALLATION.
  - ALL PLANT MATERIALS SHALL BE TRUE TO THEIR SCIENTIFIC NAME AND SIZE AS INDICATED IN THE PLANT SCHEDULE.
  - IF DISCREPANCIES EXIST BETWEEN THE NUMBER OF PLANTS DRAWN ON THE PLANTING PLAN AND THE NUMBER OF PLANTS IN THE SCHEDULE, THE PLANTING PLAN SHALL GOVERN.
  - ANY PROPOSED SUBSTITUTIONS OF PLANT SPECIES SHALL BE MADE WITH PLANTS OF EQUIVALENT OVERALL FORM, HEIGHT, BRANCHING HABIT, FLOWER, LEAF, COLOR, FRUIT AND CULTURE, AND ONLY AFTER WRITTEN APPROVAL OF THE OWNER'S REPRESENTATIVE.
  - ALL PLANT MATERIALS MUST CONFORM TO AMERICAN STANDARDS FOR NURSERY STOCK (ANSI Z60.1), LATEST EDITION PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, WASHINGTON D.C. LARGER SIZED PLANT MATERIALS OF THE SPECIES LISTED MAY BE USED IF THE STOCK CONFORMS TO ANSI Z60.1.
  - ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE CONTRACTOR TO BE IN A LIVE AND HEALTHY GROWING CONDITION FOR ONE FULL GROWING SEASON (ONE YEAR) AFTER FINAL PROJECT ACCEPTANCE OR SHALL BE REPLACED BY THE CONTRACTOR FREE OF CHARGE WITH THE SAME GRADE AND SPECIES.
  - ALL TREES SHALL HAVE A STRONG CENTRAL LEADER. ANY TREES DEEMED NOT TO HAVE A STRONG CENTRAL LEADER SHALL BE REJECTED.
  - CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE DUE TO CONSTRUCTION OPERATIONS. ANY AREAS THAT ARE DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER.
  - PROVIDE SHREDDED HARDWOOD MULCH SURROUNDING ALL PROPOSED TREES (5' Ø) AND WITHIN PLANTING BEDS TO A 3" MINIMUM DEPTH AS SHOWN IN TREE PLANTING DETAIL. DO NOT USE AN UNDERLAYMENT SUCH AS PLASTIC SHEET OR LANDSCAPE FABRIC. APPLY PRE-EMERGENT TO ALL PLANTING BEDS PRIOR TO MULCHING. REFER TO PLANS FOR ADDITIONAL DETAILS. REFER TO STORMWATER DETAILS FOR BASIN CONSTRUCTION AND MULCH APPLICATION.
  - CONTRACTOR SHALL PROVIDE SAMPLE(S) OF MULCH TO BE APPROVED BY THE LANDSCAPE ARCHITECT.
  - INDICATED QUANTITIES ARE ESTIMATES AND SHALL BE CONFIRMED BY THE CONTRACTOR.
  - ADJUST SPACING OF PLANT MATERIALS AROUND ADJACENT UTILITY STRUCTURES.
  - OWNER/ARCHITECT TO CONFIRM SITE FURNISHINGS, SIGNAGE, WASTE RECEPTACLES AND RELATED SITE FEATURES.

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PROJECT

**CASSIA -  
APPLE VALLEY  
VILLAGE  
SKILLED CARE  
CENTER**

APPLE VALLEY MINNESOTA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO.	24-31908
FILE NAME	31908 C5-LAND
DRAWN BY	DWG
DESIGNED BY	DWG
REVIEWED BY	MGC
ORIGINAL ISSUE DATE	--/--
CLIENT PROJECT NO.	-

TITLE

**LANDSCAPE  
DETAILS**

SHEET

**C5-30**

PRELIMINARY NOT FOR CONSTRUCTION



# Opinion of Probable Cost

ISG

Client Name: Cassia

Location: 14650 Garrett Ave., Apple Valley, MN

ISG Project Number: 31908

Date: 3/18/25

## Cassia - Apple Valley Village Addition Landscape, Plantings + Restoration

No.	ITEM DESCRIPTION	UNIT	QTY	UNIT PRICE	TOTAL AMOUNT
	Lawn Sod - Local Kentucky Bluegrass	SY	6,960	\$5.00	\$34,800.00
	Overstory Trees (Deciduous) - 4-5" cal. B&B	EA	21	\$2,500.00	\$52,500.00
	Ornamental Trees (Deciduous) - 3-4" cal. B&B	EA	15	\$2,000.00	\$30,000.00
	Coniferous Trees - 12-14' tall B&B	EA	15	\$1,800.00	\$27,000.00
	Stormwater Seed Mix (MN 33-261) w/ EC features	SY	559	\$2.00	\$1,118.00
	Shredded Hardwood Mulch - 3" Depth	CY	272	\$125.00	\$34,000.00
	Deciduous Shrubs - #10 Cont.	EA	551	\$140.00	\$77,140.00
	Evergreen Shrubs - #7 Cont.	EA	70	\$120.00	\$8,400.00
	Grasses - #3 Cont.	EA	496	\$40.00	\$19,840.00
	Perennials - #1 Cont.	EA	1,077	\$25.00	\$26,925.00
	Stone Benches & Planter Boxes in Courtyard	LS	1	\$18,000.00	\$18,000.00
	Water Feature/Fountain in Courtyard	LS	1	\$20,000.00	\$20,000.00
	Site Furnishings - Seating, Waste Receptacles, etc.	LS	1	\$20,000.00	\$20,000.00
	Site & Wayfinding Signage	LS	1	\$12,500.00	\$12,500.00
	Landscape Edging - 5" tall Steel	LF	138	\$12.00	\$1,656.00
	Irrigation System	LS	1	\$25,000.00	\$25,000.00
				Subtotal	<b>\$408,879.00</b>
				20% Contingency (Design & Construction)	<b>\$81,776.00</b>
				<b>TOTAL COST</b>	<b>\$490,655.00</b>

Disclaimer: The Opinion of Probable Cost illustrates the estimated costs to construct for project planning purposes and represents the consultant's best judgment as a design professional as of this time, is non-binding and is intended for informational purposes only. The Consultant does not have control over the cost of labor and materials, or bidding. The Opinion of Probable Cost is based on recent experience and recent bidding data and assumes work to be completed by private contractors and specialists. The unit prices assume 2025 construction and the quantities are estimates only made during the preliminary design phase. Consultant recommends adding an appropriate inflation factor to the total Project Cost to account for inflation each year from date of this estimate.

PROPOSED FIRST LEVEL

AREA  
TOTAL SF: 34,000

SKILLED CARE UNIT MIX  
ONE BEDROOM: 28 @ 350-370 SF  
TWO BEDROOM: 2 @ 660 SF

- LEGEND
- ADMINISTRATION
  - CIRCULATION
  - COMMON SPACE
  - PT/OT
  - SKILLED NURSING UNIT
  - SUPPORT



## PROPOSED SECOND LEVEL

## AREA

TOTAL SF: 29,600

## SKILLED CARE UNIT MIX

ONE BEDROOM: 28 @ 350-370 SF

TWO BEDROOM: 2 @ 660 SF

## LEGEND

## ADMINISTRATION

CIRCULATION

COMMON SPACE

## SKILLED NURSING UNIT

 SUPPORT



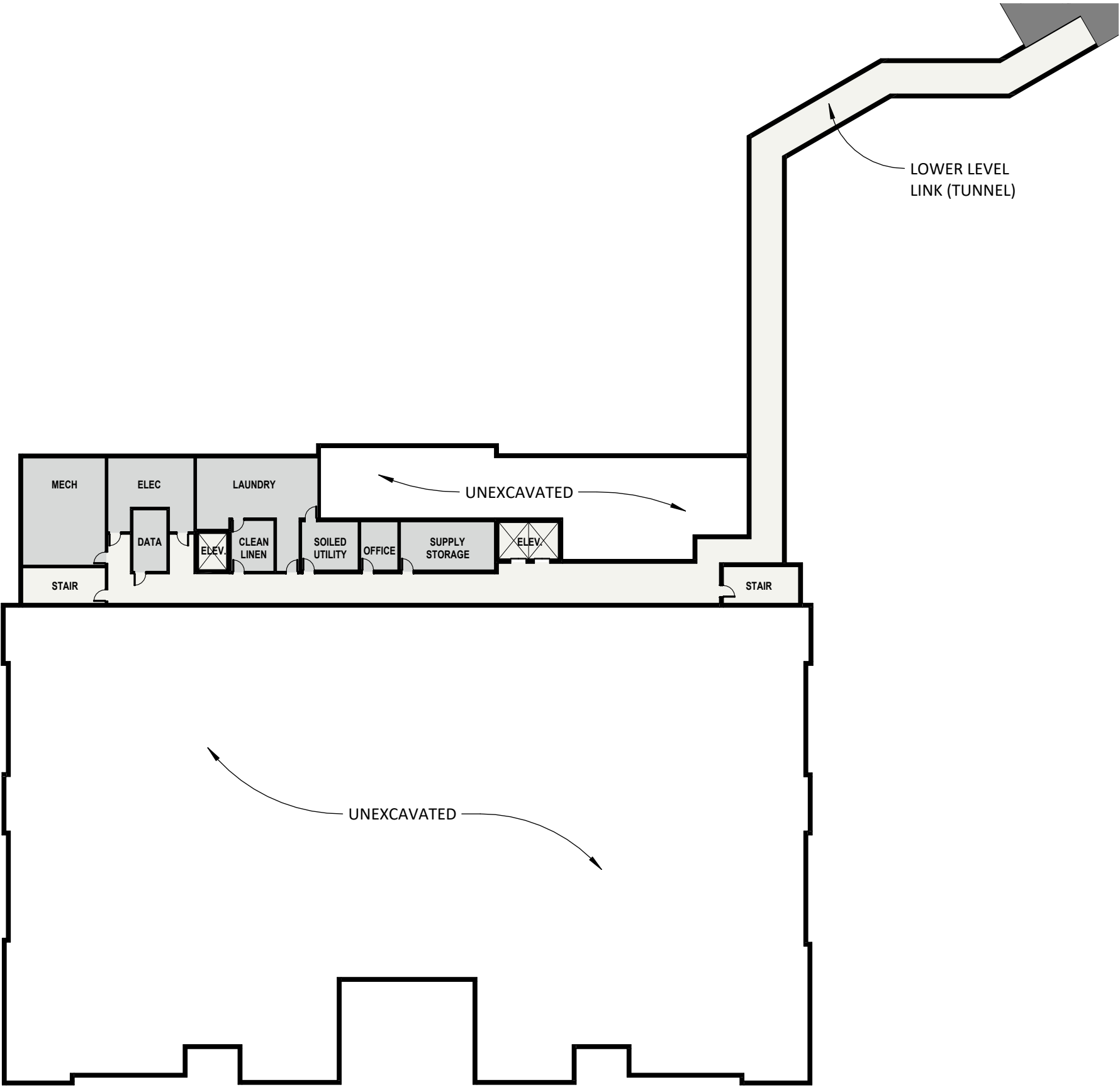
PROPOSED LOWER LEVEL

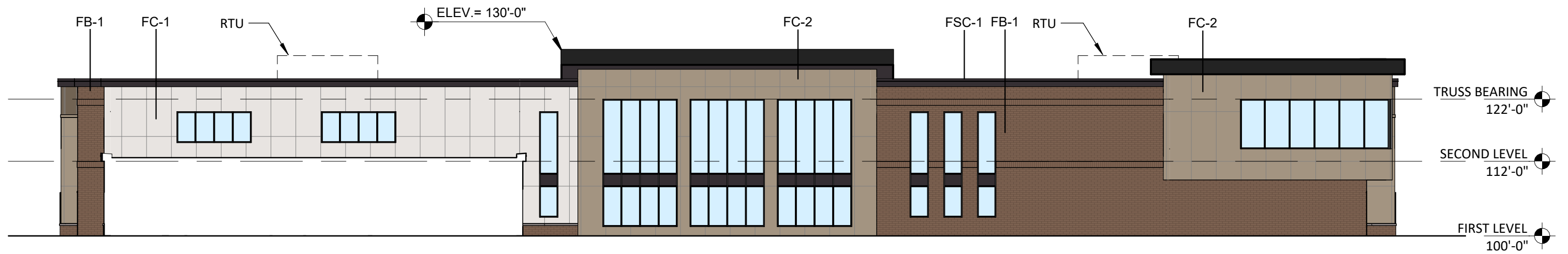
AREA  
TOTAL SF: 9,150

LEGEND

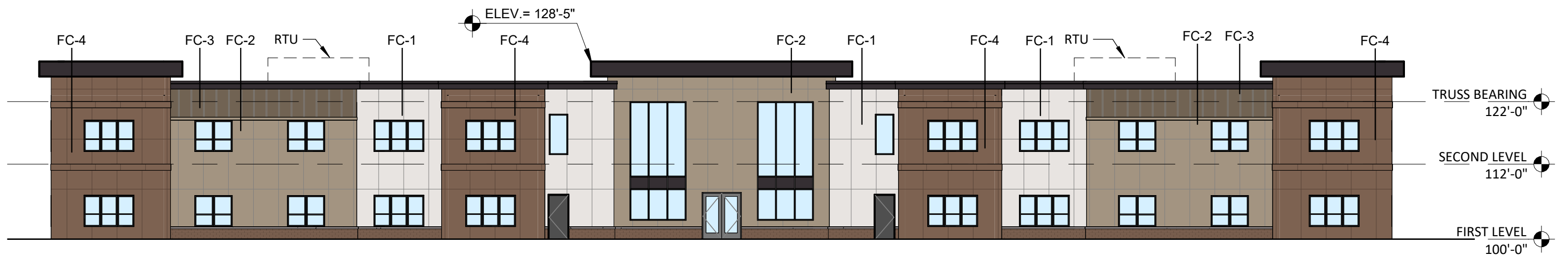
CIRCULATION

SUPPORT

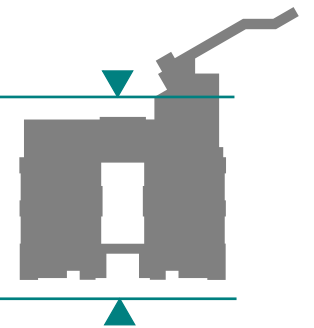


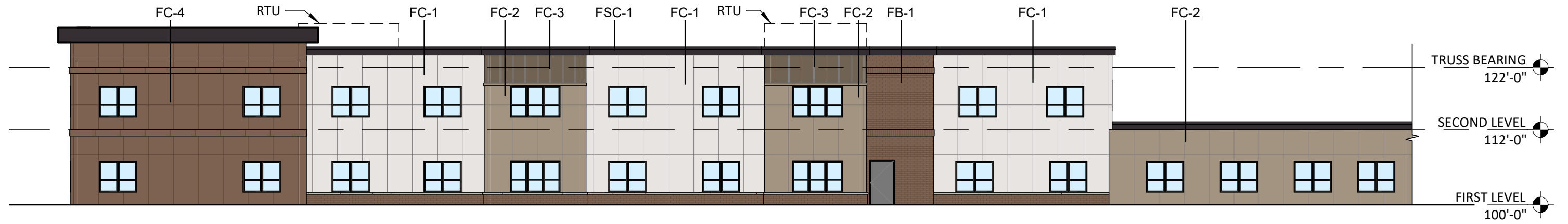


NORTH

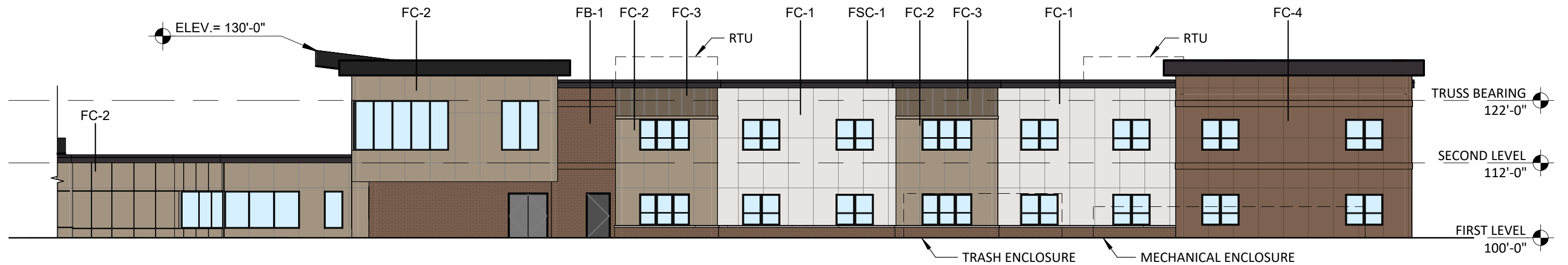


SOUTH





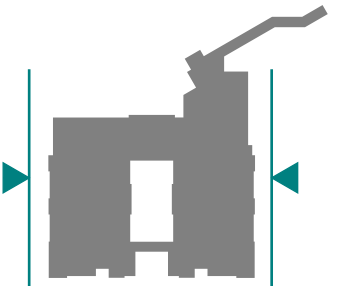
EAST

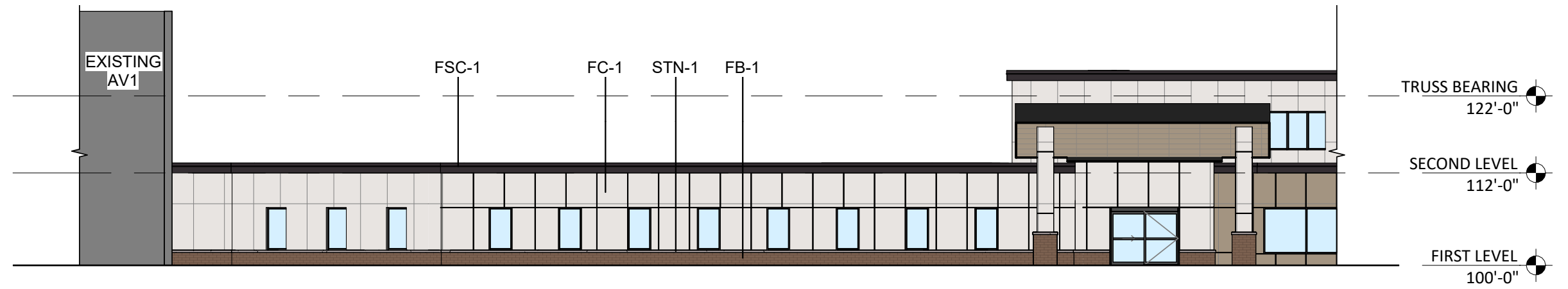


WEST

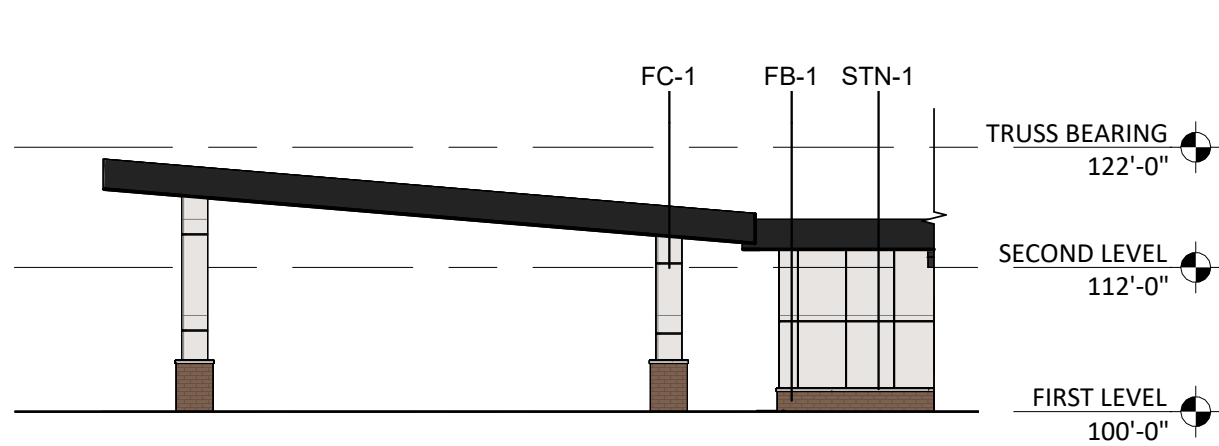


TRASH & MECHANICAL ENCLOSURE

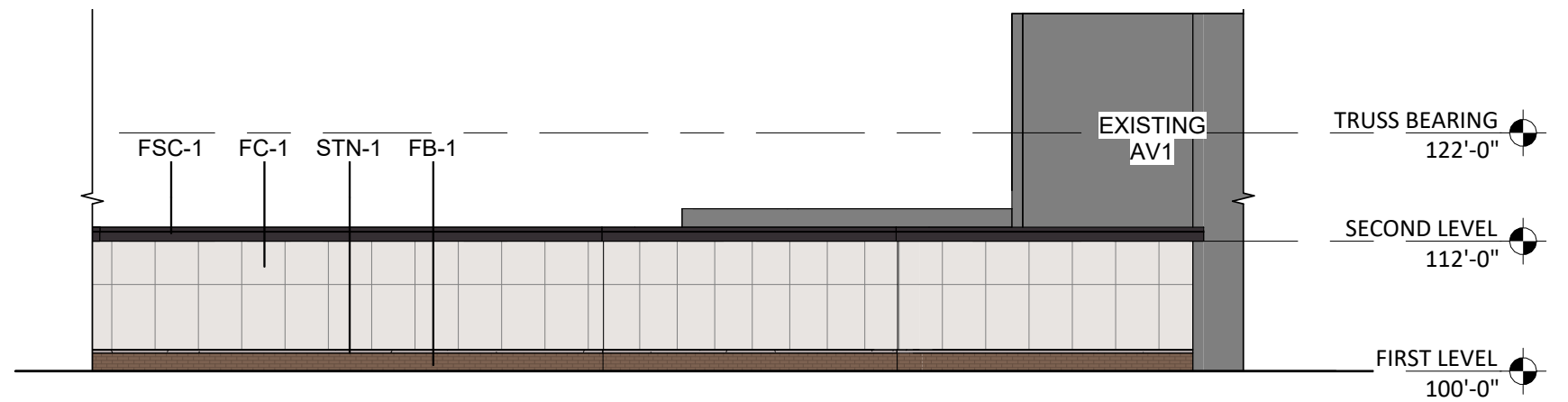




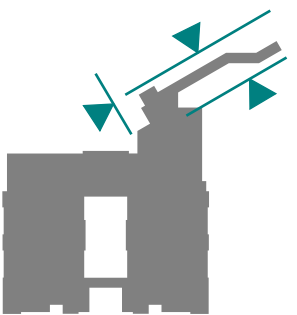
LINK - NORTH



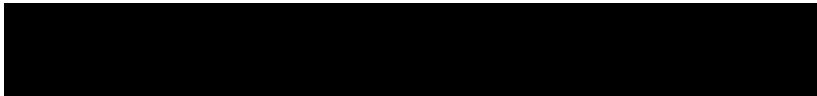
CANOPY ELEVATION



LINK - SOUTH





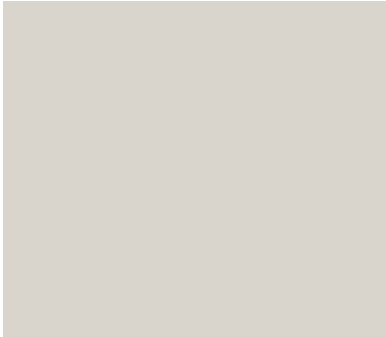


FSC-1: METAL FASCIA

FIBER CEMENT PANELS



FC-3



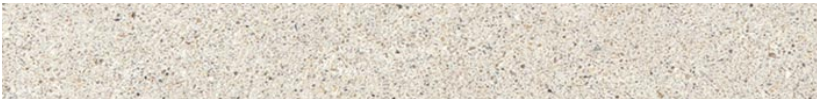
FC-1



FC-4



FC-2



STN - PRECAST SILLS



FB-1: ARCHITECTURAL FACE BRICK



PRIMARY ENTRY | NORTH FACADE





ITEM:  
COUNCIL MEETING DATE:  
SECTION:

5.D.  
May 8, 2025  
Regular Agenda

<b>Description:</b> Kelley Park Improvements		
<b>Staff Contact:</b> Sydnee Stroeing, Associate Planner		<b>Department / Division:</b> Community Development Department
<b>Applicant:</b> City of Apple Valley		<b>Project Number:</b> PC24-03-ZGFBV
<b>Applicant Date:</b>	<b>60 Days:</b>	<b>120 Days:</b>

**ACTION REQUESTED:**

1. Pass an ordinance approving the rezoning of Lot 1, Block 1 and Lot 1, Block 2, Kelley Park from "PD-739" (Planned Development No. 739) to "P" (Institutional).
2. Adopt a resolution approving setback variances for a bandshell structure from Galante Lane from 35' to 20', and from Fortino Street 35' to 23'.
3. Adopt a resolution approving a setback variance for a restroom and pavilion structure from 152nd Street West from 35' to 20'.
4. Adopt a resolution approving setback variances for the expansion of a parking lot from Foliage Avenue from 20' to 13', from 152nd Street West from 20' to 10', and from Fortino Street from 20' to 10'.
5. Adopt a resolution approving the site plan/building permit authorization for the construction of a bandshell structure, restroom and pavilion structure, and other improvements at Kelley Park.

**SUMMARY:**

Kelley Park is located at 6855 Fortino Street in Central Village. The existing park facilities include playground equipment, splashpad, park shelter, restrooms, stage area, internal sidewalks, and landscaping features. Most existing facilities and materials will be removed as part of the improvements to Kelley Park -- the clock tower and some of the landscaping materials will be reused. The planned improvements to Kelley Park include a stage structure (bandshell), restroom with an attached pavilion, playground equipment, splashpad, increased parking, and stormwater management facilities. The Parks and Recreation Department has submitted application for the following land use actions:

- Rezoning - The site is zoned "PD-739" (Planned Development No. 739) and has been requested to be rezoned to "P" (Institutional).
- Variances - multiple variances would be required to allow the proposed locations of the bandshell structure, restroom/pavilion structure, and the expanded parking lot.

- Site Plan and Building Permit Authorization - the updates to Kelley Park would include 3,650 sq. ft. bandshell, a 460 sq. ft. restroom with an attached pavilion, additional parking, improved stormwater facilities, and other park equipment upgrades.

The Planning Commission reviewed the request for the rezoning on March 20, 2024. The Planning Commission voted to recommend approval of the requested rezoning by a 5-0 vote. The Planning Commission reviewed the requests for variances and site plan/building permit authorization of the Kelley Park improvements on April 16, 2025. The Planning Commission's findings regarding the variances can be found in the attached resolutions. The variances and site plan/building authorization were recommended for approval by a 6-0 vote.

### **BACKGROUND:**

**Previous Review of Kelley Park:** Previous requests and actions related to Kelley Park improvements have been reviewed by both the Planning Commission and City Council within the last year. The previous reviews include:

- Planning Commission review and recommendation of approval of the rezoning of Kelley Park from "PD-739" (Planned Development No. 739) to "P" (Institutional) (March 20, 2024).
- City Council approval of the vacation of drainage and utility easements and approval of Kelley Park final plat (July 25, 2024).

**Zoning:** The property is currently zoned "PD-739" and is under consideration to be rezoned to "P". As mentioned above, the Planning Commission has recommended approval of this rezoning. The site plan/building permit authorization is being reviewed based on the proposed rezoning to "P" and related development standards as follows:

- Setbacks
  - Buildings along collector streets: 40'
  - Buildings along other streets: 35'
  - Parking along public streets: 20'
- Maximum Building Coverage: 20%
- Maximum Building Height (w/o CUP): 40'

The proposed plan does not meet the building and parking setback requirements for the "P" zoning district. Variances are being requested as part of the Kelley Park improvements. The variance requests for this project are discussed below.

**Site Plan:** The existing park is surrounded by street right-of-way on all four sides of the property -- 152nd St W to the north, Foliage Ave to the east, Fortino St to the south, and Galante Ln to the west. The existing parking lot will be expanded from 38 spaces to 105 spaces. On-site parking surrounding Kelley Park will decrease from 68 spaces to 65 spaces.

The total parking count for the park will be 170 spaces.

A stage with an associated green room, storage room, bathroom, and electrical closet (shown on the plans as "Bandshell") is being proposed in the southwest corner of the existing park. The existing restroom on the north side of the park will be removed and replaced with a new restroom and pavilion. Upgraded stormwater features will also be incorporated into the park improvements.

Additional Park improvements that are shown in the plans include new playground and splash pad equipment.

**Variance Requests:** By State Statute, and City Ordinance, a variance can only be approved if it is found that a practical difficulty exists related to the request. Two building setback variances and parking setback variances are being requested in connection with the Kelley Park improvements. The justification of the variances is discussed below.

- **Bandshell Building Setback Variance from Streets:** The bandshell structure is shown to be 23' from the property line along Fortino Street and 20' from the property line along Galante Street. The building setback requirement for streets in the "P" zoning district is 35'. The setback variance along streets is requested because the location of the bandshell helps to maximize lawn area for events and is best suited based on the existing grades of the site.
- **Pavilion/Restroom Building Setback from 152nd Street West:** The restroom/pavilion structure is shown to be 20' from the property line along 152nd Street West where the requirement is 35'. This setback variance along the street is being requested because this location is optimal in relationship to activities on site and blocks active play zones from traffic, as well as being optimal for utilization of existing utilities.
- **Parking Setback Variance from Streets:** The parking stalls abutting Foliage Avenue are shown to be 13' from the property line. The drive aisles along 152nd Street West and Fortino Street are shown to be 10' from the property lines. The requirement for parking setbacks along public streets is 20'. The parking setback variances along streets are requested because the existing parking area is being expanded to better serve parking needs -- this is less disturbance than completely removing the existing parking, adding new access spaces, and relocating parking. Additionally, the current parking condition for Kelley Park does not adequately serve the number of spaces needed, specifically during the summer months with the events that are hosted at the park.

The Planning Commission's findings related to the above variances can be found in the attached resolutions.

**Stormwater, Grading, and Utilities:** The improvements to Kelley Park will include upgraded stormwater management facilities. The park does not have any stormwater

mitigation currently. Five infiltration basins are being added to the site. The stormwater basins will be connected to existing utilities along Fortino Street. The restrooms will utilize existing utilities connecting from 152nd Street West. The upgraded splash pad equipment will include an underground storage vault for irrigation reuse. The grading and utilities plans have been reviewed by the Engineering Department -- all related comments and conditions are included in their memo.

**Elevations:** The primary building material of the restroom/pavilion and bandshell buildings include a rock faced CMU. Secondary materials include concrete with a Formliner finish, metal panels along the roof, thermally modified dimensional wood, and prefinished aluminum.

**Landscaping:** Code requires that 2.5% of the means construction cost of the building be incorporated on-site as landscaping. The proposed plans show the removal of approximately 80 trees on the site. A total of 90 trees of multiple varieties are proposed to be added to the site. A variety of other shrubs, perennials, grasses, and other plantings are proposed as well. Replacement trees can be counted towards the 2.5% landscape requirement on site. Staff will continue to work with the consultant to ensure that the landscaping requirements are met.

#### **BUDGET IMPACT:**

The project is part of the 2023 Parks Referendum. Budgets and bidding are still being determined and as such elements of this plan are subject to minor changes.

#### **ATTACHMENTS:**

Ordinance  
Resolution  
Resolution  
Resolution  
Resolution  
Memo  
Memo  
Location Map  
Zoning Map  
Plan Set  
Plan Set  
Plan Set  
Elevations

CITY OF APPLE VALLEY  
ORDINANCE NO. \_\_\_\_

AN ORDINANCE OF THE CITY OF APPLE VALLEY, MINNESOTA AMENDING THE  
ZONING MAP BY REZONING CERTAIN LAND

WHEREAS, the Planning Commission of the City of Apple Valley held a public hearing on property described herein on March 20, 2024, as required by City Code Section 155.400(D), and

WHEREAS, on March 20, 2024, the Planning Commission recommended the rezoning as hereinafter described.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Apple Valley, Dakota County, Minnesota, that:

1. The boundaries of the zoning districts established by City Code Section 155.006 are hereby amended by rezoning the following described property located at 6855 Fortino St. from “PD-739” (Planned Development 739) to “P” (Institutional):

Lot 1, Block 1 and Lot 1, Block 2, Kelley Park, Dakota County, Minnesota

2. This ordinance shall become effective upon its passage and publication.

Passed this \_\_\_\_ day of \_\_\_\_\_, 2025

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Clint Hooppaw, Mayor

ATTEST:

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Christina M. Scipioni, City Clerk

CITY OF APPLE VALLEY  
RESOLUTION NO. 2025 - \_\_\_\_

A RESOLUTION APPROVING SETBACK VARIANCES FOR THE BANDSHELL  
BUILDING AT KELLEY PARK  
AND ATTACHING CONDITIONS THERETO

WHEREAS, pursuant to Minnesota Statutes 462.357 the City of Apple Valley has adopted, as Title XV of the City Code of Ordinances, zoning regulations to control land uses throughout the City; and

WHEREAS, pursuant to the City's said regulations, a "Variance" is an exception granted by the City Council from the literal provisions of the zoning regulations where unique conditions exist which do not apply to the area in general; and

WHEREAS, the City of Apple Valley is the owner of property located 6855 Fortino Street, and legally described as Lot 1, Block 1, Kelley Park, Dakota County, Minnesota ("Property"); and

WHEREAS, the City of Apple Valley Parks Department has filed an application for variances to reduce the building setback from Galante Lane from 35' to 20' and the building setback from Fortino Street from 35' to 23' to construct a bandshell structure in the southwest corner of the Property, abutting Galante Lane and Fortino Street; and

WHEREAS, the Apple Valley Planning Commission reviewed the variance requests at a public meeting held on April 16, 2025, and recommended approval of the variances based on the following determination:

1. Kelley Park is located within the Central Village area – a pedestrian oriented, integrated mixed use development area that includes building, structures, and parking facilities with reduced setbacks. Central Village is in the zoning district "PD-739" (Planned Development No. 739) which sets out the minimum area requirements that include reduced setbacks.
2. Kelley Park was previously zoned "PD-739", and the property was subject to the reduced setback requirements. The property was rezoned to "P" (Institutional) to remain consistent with the zoning of other publicly owned City Parks. The "P" zoning district requires increased setbacks in comparison to "PD-739".
3. Kelley Park is surrounded by public streets on all four sides of the property. The building setbacks along streets in "P" zoning district are increased in comparison to internal property lines. It is not typical for a property to be completely surrounded by public streets.
4. Properties and buildings that are zoned "PD-739" and that are directly adjacent to Kelley Park include setbacks as close as 10' to Galante Lane and Fortino Street.



5. The location of the bandshell is best suited for the existing grades of the site, helps to maximize lawn area for events that are held at the park, and is oriented best for sun as related to events. The location of the bandshell in relationship to the street parking area assists with staging and loading for events.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Apple Valley, Dakota County, Minnesota, that the two variances listed above to construct a bandshell structure in the southwest corner of the Property, abutting Galante Lane and Fortino Street on property located at 6855 Fortino Street and legally described as Lot 1, Block 1, Kelley Park are hereby approved, subject to all applicable City Codes and standards, and the following conditions:

1. If the Building Permit is not paid for and issued within one (1) year of the date of approval, the variance approval shall lapse.
2. Approval of the variance is subject to the issuance of and compliance with the building permit and Building Code requirements for the construction of the bandshell structure.
3. Construction shall occur in conformance with the approved site plan dated March 27, 2025, on file in City offices.
4. Construction shall occur in conformance with the elevation plan dated March 17, 2025, on file in City offices.
5. Construction shall occur in conformance with the landscape plan dated March 17, 2025, on file in City offices.
6. Site grading shall occur in conformance with a Natural Resources Management Plan (NRMP) which shall include final grading plan to be submitted for review and approval by the City Engineer. No tree removal, site work or any other land disturbing activity shall occur until the NRMP is issued.
7. Construction shall be limited to the hours of 7:00 a.m. to 7:00 p.m. Monday through Friday. Weekend construction shall be limited to 8:00 a.m. to 5:00 p.m. Saturdays.
8. Earthmoving activities shall not occur when wind velocity exceeds thirty (30) miles per hour. Watering to control dust shall occur as needed and whenever directed by the Apple Valley Building Official or Zoning Administrator.
9. Issuance of a Building Permit and a final certificate of occupancy is contingent upon the project being constructed in conformance with all the preceding conditions as well as all applicable performance standards of the current zoning regulations.
10. The ongoing use and occupancy of the premises is predicated on the ongoing maintenance of the structure and all required site improvements as listed in the preceding. No alteration, removal, or change to the preceding building plans or

required site improvements shall occur without the express authorization of the City. Site improvements which have deteriorated due to age or wear shall be repaired or replaced in a timely fashion.

BE IT FURTHER RESOLVED that issuance of the building permit is subject to a finding of compliance of the construction plans with the Minnesota State Building Code, as determined by the Apple Valley Building Official, and with the Minnesota State Uniform Fire Code, as determined by the Apple Valley Fire Marshal.

ADOPTED this \_\_\_\_ day of \_\_\_\_\_, 20\_\_.

\_\_\_\_\_  
Clint Hooppaw, Mayor

ATTEST:

\_\_\_\_\_  
Christina M. Scipioni, City Clerk

CERTIFICATE

I, Christina Scipioni, City Clerk, hereby certify that the above resolution is a true and correct copy of a resolution adopted by the City Council of the City of Apple Valley, Dakota County, Minnesota, on the \_\_\_\_ day of \_\_\_\_\_, 2025.

\_\_\_\_\_  
Christina M. Scipioni, City Clerk

CITY OF APPLE VALLEY  
RESOLUTION NO. 2025 - \_\_\_\_

A RESOLUTION APPROVING SETBACK VARIANCES FOR A RESTROOM AND  
PAVILION STRUCTURE AT KELLEY PARK  
AND ATTACHING CONDITIONS THERETO

WHEREAS, pursuant to Minnesota Statutes 462.357 the City of Apple Valley has adopted, as Title XV of the City Code of Ordinances, zoning regulations to control land uses throughout the City; and

WHEREAS, pursuant to the City's said regulations, a "Variance" is an exception granted by the City Council from the literal provisions of the zoning regulations where unique conditions exist which do not apply to the area in general; and

WHEREAS, the City of Apple Valley is the owner of property located 6855 Fortino Street, and legally described as Lot 1, Block 1, Kelley Park, Dakota County, Minnesota ("Property"); and

WHEREAS, the City of Apple Valley Parks Department has filed an application for a variance to reduce the building setback from 152<sup>nd</sup> Street West from 35' to 20' to construct a restroom and pavilion structure in the north-central area of the Property, adjacent to 152<sup>nd</sup> Street West; and

WHEREAS, the Apple Valley Planning Commission reviewed the variance request at a public meeting held on April 16, 2025, and recommended approval of the variance based on the following determination:

1. Kelley Park is located within the Central Village area – a pedestrian oriented, integrated mixed use development area that includes building, structures, and parking facilities with reduced setbacks. Central Village is in the zoning district "PD-739" (Planned Development No. 739) which sets out the minimum area requirements that include reduced setbacks.
2. Kelley Park was previously zoned "PD-739", and the property was subject to the reduced setback requirements. The property was rezoned to "P" (Institutional) to remain consistent with the zoning of other publicly owned City Parks. The "P" zoning district requires increased setbacks in comparison to "PD-739".
3. Kelley Park is surrounded by public streets on all four sides of the property. The setbacks along streets in "P" zoning district are increased in comparison to internal property lines. It is not typical for a property to be completely surrounded by public streets.
4. Properties and buildings that are zoned "PD-739" and that are directly adjacent to Kelley Park include building setbacks as close as 10' to 152<sup>nd</sup> Street West.

5. The restroom and pavilion structure will replace the existing restroom facility on the Property. The new restroom and pavilion structure is located in the same area as the previous restroom facility. The restroom will utilize existing utilities that served the previous restroom facility.
6. The location of the restroom/pavilion structure is optimal in relationship to other activities and amenities at Kelley Park. The structure also blocks active play area from traffic along 152<sup>nd</sup> Street West.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Apple Valley, Dakota County, Minnesota, that the variance listed above to construct a restroom and pavilion structure in the north-central area of the Property, adjacent to 152<sup>nd</sup> Street West on property located at 6855 Fortino Street and legally described as Lot 1, Block 1, Kelley Park is hereby approved, subject to all applicable City Codes and standards, and the following conditions:

1. If the Building Permit is not paid for and issued within one (1) year of the date of approval, the variance approval shall lapse.
2. Approval of the variance is subject to the issuance of and compliance with the building permit and Building Code requirements for the construction of the restroom/pavilion structure.
3. Construction shall occur in conformance with the approved site plan dated March 27, 2025, on file in City offices.
4. Construction shall occur in conformance with the elevation plan dated March 17, 2025, on file in City offices.
5. Construction shall occur in conformance with the landscape plan dated March 17, 2025, on file in City offices.
6. Site grading shall occur in conformance with a Natural Resources Management Plan (NRMP) which shall include final grading plan to be submitted for review and approval by the City Engineer. No tree removal, site work or any other land disturbing activity shall occur until the NRMP is issued.
7. Construction shall be limited to the hours of 7:00 a.m. to 7:00 p.m. Monday through Friday. Weekend construction shall be limited to 8:00 a.m. to 5:00 p.m. Saturdays.
8. Earthmoving activities shall not occur when wind velocity exceeds thirty (30) miles per hour. Watering to control dust shall occur as needed and whenever directed by the Apple Valley Building Official or Zoning Administrator.
9. Issuance of a Building Permit and a final certificate of occupancy is contingent upon the project being constructed in conformance with all the preceding conditions as well as all applicable performance standards of the current zoning regulations.

10. The ongoing use and occupancy of the premises is predicated on the ongoing maintenance of the structure and all required site improvements as listed in the preceding. No alteration, removal, or change to the preceding building plans or required site improvements shall occur without the express authorization of the City. Site improvements which have deteriorated due to age or wear shall be repaired or replaced in a timely fashion.

BE IT FURTHER RESOLVED that issuance of the building permit is subject to a finding of compliance of the construction plans with the Minnesota State Building Code, as determined by the Apple Valley Building Official, and with the Minnesota State Uniform Fire Code, as determined by the Apple Valley Fire Marshal.

ADOPTED this \_\_\_\_ day of \_\_\_\_, 20\_\_.

\_\_\_\_\_  
Clint Hooppaw, Mayor

ATTEST:

\_\_\_\_\_  
Christina M. Scipioni, City Clerk

#### CERTIFICATE

I, Christina Scipioni, City Clerk, hereby certify that the above resolution is a true and correct copy of a resolution adopted by the City Council of the City of Apple Valley, Dakota County, Minnesota, on the \_\_\_\_ day of \_\_\_\_, 2025.

\_\_\_\_\_  
Christina M. Scipioni, City Clerk

CITY OF APPLE VALLEY  
RESOLUTION NO. 2025 - \_\_\_\_

A RESOLUTION APPROVING SETBACK VARIANCES FOR THE EXPANDED PARKING  
FACILITY AT KELLEY PARK  
AND ATTACHING CONDITIONS THERETO

WHEREAS, pursuant to Minnesota Statutes 462.357 the City of Apple Valley has adopted, as Title XV of the City Code of Ordinances, zoning regulations to control land uses throughout the City; and

WHEREAS, pursuant to the City's said regulations, a "Variance" is an exception granted by the City Council from the literal provisions of the zoning regulations where unique conditions exist which do not apply to the area in general; and

WHEREAS, the City of Apple Valley is the owner of property located 6855 Fortino Street, and legally described as Lot 1, Block 1, Kelley Park, Dakota County, Minnesota ("Property"); and

WHEREAS, the City of Apple Valley Parks Department has filed an application for a variances to reduce the parking setback from Foliage Avenue from 20' to 13', the parking setback from 152<sup>nd</sup> Street West from 20' to 10', and the parking setback from Fortino Street from 20' to 10' to expand the parking facility on the east side of the Property, abutting Foliage Avenue, 152<sup>nd</sup> Street West, and Fortino Street; and

WHEREAS, the Apple Valley Planning Commission reviewed the variance requests at a public meeting held on April 16, 2025, and recommended approval of the variances based on the following determination:

1. Kelley Park is located within the Central Village area – a pedestrian oriented, integrated mixed use development area that includes building, structures, and parking facilities with reduced setbacks. Central Village is in the zoning district "PD-739" (Planned Development No. 739) which sets out the minimum area requirements that include reduced setbacks.
2. Kelley Park was previously zoned "PD-739", and the property was subject to the reduced setback requirements. The property was rezoned to "P" (Institutional) to remain consistent with the zoning of other publicly owned City Parks. The "P" zoning district requires increased setbacks in comparison to "PD-739".
3. Kelley Park is surrounded by public streets on all four sides of the property. The parking setbacks along streets in "P" zoning district are increased in comparison to internal property lines. It is not typical for a property to be completely surrounded by public streets.
4. Properties with parking facilities that are zoned "PD-739" and that are directly adjacent to Kelley Park include setbacks as close as 5' to public streets.

5. The existing parking facility at Kelley Park does not adequately serve the parking demands, specifically during events held at the park throughout the year.
6. The expanded parking facility will increase parking stall count and will utilize the existing accesses off of 152<sup>nd</sup> Street West and Fortino Street – this is less disturbance than completely removing the existing parking, adding new access spaces, and relocating parking.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Apple Valley, Dakota County, Minnesota, that the variances listed above to expand the parking facility on the east side of the Property, abutting Foliage Avenue, 152<sup>nd</sup> Street West, and Fortino Street on property located at 6855 Fortino Street and legally described as Lot 1, Block 1, Kelley Park are hereby approved, subject to all applicable City Codes and standards, and the following conditions:

1. Construction shall occur in conformance with the approved site plan dated March 27, 2025, on file in City offices.
2. Construction shall occur in conformance with the approved landscape plan dated March 17, 2025, on file in City offices.
3. Site grading shall occur in conformance with a Natural Resources Management Plan (NRMP) which shall include final grading plan to be submitted for review and approval by the City Engineer. No tree removal, site work or any other land disturbing activity shall occur until the NRMP is issued.
4. Construction shall be limited to the hours of 7:00 a.m. to 7:00 p.m. Monday through Friday. Weekend construction shall be limited to 8:00 a.m. to 5:00 p.m. Saturdays.
5. Earthmoving activities shall not occur when wind velocity exceeds thirty (30) miles per hour. Watering to control dust shall occur as needed and whenever directed by the Apple Valley Building Official or Zoning Administrator.
6. Issuance of a Building Permit and a final certificate of occupancy is contingent upon the project being constructed in conformance with all the preceding conditions as well as all applicable performance standards of the current zoning regulations.
7. The ongoing use and occupancy of the premises is predicated on the ongoing maintenance of the structure and all required site improvements as listed in the preceding. No alteration, removal, or change to the preceding building plans or required site improvements shall occur without the express authorization of the City. Site improvements which have deteriorated due to age or wear shall be repaired or replaced in a timely fashion.

BE IT FURTHER RESOLVED that issuance of the building permit is subject to a finding of compliance of the construction plans with the Minnesota State Building Code, as determined by



the Apple Valley Building Official, and with the Minnesota State Uniform Fire Code, as determined by the Apple Valley Fire Marshal.

ADOPTED this \_\_\_\_ day of \_\_\_\_\_, 20\_\_.

\_\_\_\_\_  
Clint Hooppaw, Mayor

ATTEST:

\_\_\_\_\_  
Christina M. Scipioni, City Clerk

#### CERTIFICATE

I, Christina Scipioni, City Clerk, hereby certify that the above resolution is a true and correct copy of a resolution adopted by the City Council of the City of Apple Valley, Dakota County, Minnesota, on the \_\_\_\_ day of \_\_\_\_\_, 2025.

\_\_\_\_\_  
Christina M. Scipioni, City Clerk

CITY OF APPLE VALLEY  
RESOLUTION NO. 2025-\_\_

A RESOLUTION AUTHORIZING ISSUANCE OF A BUILDING PERMIT  
FOR KELLEY PARK IMPROVEMENTS AND ATTACHING CONDITIONS THERETO

WHEREAS, pursuant to Minnesota Statutes 462.357 the City of Apple Valley has adopted, as Title XV of the City Code of Ordinances, zoning regulations to control land uses throughout the City; and

WHEREAS, said regulations provide that issuance of a building permit for commercial, industrial, institutional and multiple residential uses require the specific review and approval of development plans by the Apple Valley Planning Commission and City Council; and

WHEREAS, the City of Apple Valley is the owner of property located 6855 Fortino Street, and legally described as Lot 1, Block 1, Kelley Park, Dakota County, Minnesota ("Property"); and

WHEREAS, approval of a building permit authorization of proposed 3,650 square foot bandshell building, 460 square foot restroom building and attached pavilion, and other improvements to Kelley Park has been requested by the City of Apple Valley Parks Department; and

WHEREAS, the Apple Valley Planning Commission reviewed the development plans and recommended approval at its regular meeting on April 16, 2025.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Apple Valley, Dakota County, Minnesota, that the issuance of a building permit for Kelley Park bandshell building, restroom and attached pavilion, and other improvements is hereby authorized, subject to all applicable City Codes and standards, the approval of all requested variances, and the following conditions:

1. If the Building Permit is not paid for and issued within one (1) year of the date of approval, the approval shall lapse.
2. Construction shall occur in conformance with the site plan dated March 27, 2025, including parking lot paving and a non-surmountable concrete curb and gutter.
  - a. Setbacks to all structures and parking areas shall be shown on the site plan prior to issuance of a building permit.
3. Construction shall occur in conformance with the landscape plans dated March 17, 2025, (including sodded/seeded public boulevard area up to each street curblane); subject to submission of a detailed landscape planting price list for verification of the City's 2½% landscaping requirement at the time of building permit application.

4. Construction shall occur in conformance with the elevation plans dated March 17, 2025.
5. Subject to all conditions noted in the City Engineer's memo dated April 11, 2025, on file with the City.
6. Subject to all conditions noted in the Building Official's memo dated April 11, 2025, on file with the City.
7. All necessary mechanical protrusions visible to the exterior shall be screened or handled in accordance with Section 155.346 (3) (a) (b) of the city code.
8. Site grading shall occur in conformance with a Natural Resources Management Plan (NRMP) which shall include final grading plan to be submitted for review and approval by the City Engineer; subject to the applicant submitting a copy of the General Storm Water Permit approval from the Minnesota Pollution Control Agency pursuant to Minnesota Rules 7100.1000 - 7100.1100 regarding the State NPDES Permit prior to commencement of grading activity.
9. Infiltration areas shall be constructed in conformance with the City standards and the property owner shall execute a maintenance agreement or other suitable agreement to be filed with the deed that ensures the perpetual maintenance of infiltration areas.
10. Site and building lighting shall consist of downcast, shoebox lighting fixtures or wallpacks with deflector shields which confines light to the property and shall be installed in conformance with Section 155.353 of the city code.
  - a. A photometric plan will be required for review prior to issuance of a building permit.
11. Approval of a signage plan is not included with this site plan and building permit authorization. A separate application and signage plan in conformance with the sign regulations must be submitted for review and approval to the City prior to the erection of any signs.
12. Construction and earthmoving activities shall be limited to the hours of 7:00 a.m. to 7:00 p.m. Monday through Friday. Weekend construction hours shall be limited to Saturdays during the hours of 8:00 a.m. to 5:00 p.m.
13. Prior to issuance of a building permit, a construction staging and construction personnel parking plan shall be submitted and approved by the City.
14. Earthmoving activities shall not occur when wind velocity exceeds thirty (30) miles per hour. Watering to control dust shall occur as needed and whenever directed by the Apple Valley Building Official or Zoning Administrator.

15. Issuance of a Building Permit and a final certificate of occupancy is contingent upon the project being constructed in conformance with all the preceding conditions as well as all applicable performance standards of the current zoning regulations.
16. The ongoing use and occupancy of the premises is predicated on the ongoing maintenance of the structure and all required site improvements as listed in the preceding. No alteration, removal, or change to the preceding building plans or required site improvements shall occur without the express authorization of the City. Site improvements which have deteriorated due to age or wear shall be repaired or replaced in a timely fashion.

BE IT FURTHER RESOLVED that such issuance is subject to a finding of compliance of the construction plans with the Minnesota State Building Code, as determined by the Apple Valley Building Official, and with the Minnesota State Uniform Fire Code, as determined by the Apple Valley Fire Marshal.

ADOPTED this \_\_\_\_ day of \_\_\_\_\_, 2025.

\_\_\_\_\_  
Clint Hooppaw, Mayor

ATTEST:

\_\_\_\_\_  
Christina M. Scipioni, City Clerk

TO: Sydnee Stroeing, Associate City Planner

FROM: Evan Acosta, Assistant City Engineer

DATE: April 11, 2025

SUBJECT: Kelley Park Plans and Addendum #1 Dated 03/28/2025

Sydnee,

The following are comments regarding the Kelley Park Preliminary Site Plans and Addendum #1 dated March 28, 2025. Please include these comments as conditions of approval.

**General**

1. The City's Civil Engineer has compiled suggested plan revisions for the applicant and shared with them to be incorporated into the final design.
2. All work and infrastructure within public easements or right of way shall be to City standards.
3. Record plan asbuilts are required for all Civil plan sheets. The irrigation reuse system shall also have a certification from the engineer of record that it was properly installed and functioning.
4. Provide a narrative of how the buildings will be constructed and any impacts. The narrative shall include the following:
  - a. Shoring (if applicable)
  - b. Material Storage.
  - c. Haul routes to and from the site.
  - d. Phasing
5. No construction work shall begin prior to a preconstruction meeting conference with a Public works and a Building Inspections representative.
6. Provide a copy of the approval letter from the Department of Labor and Industry (DOLI) prior to construction.
7. Public Work Department (952-953-2400) shall be notified a minimum of 48 hours for any required water main shutdowns and/or connections.
8. A stormwater maintenance agreement will be required for the infiltration basins.
9. Plans should include reference to all used City of Apple Valley standard detail plates. All Standard detail plates should be shown in the details section of the plans.

**Site**

10. Include Auto turn drawing for service and emergency vehicles entering and leaving the site.
11. Pavement section for public roadways shall match existing roadways and be shown on the plans.
12. Final signage plan and details (i.e. pedestrian crossing signage, ADA, directional signs, no

parking, buffer/storm water signs, no snow storage in storm water basins, etc...) to be approved by City Engineer.

13. Provide applicable City Detail Plates on the detail sheets for work within ROW.

### **Permits**

14. Provide a copy of the executed Minnesota Department of Health, Minnesota Pollution Control Agency, Met Council, Department of Labor and any other required permits prior to construction.
15. Department of Labor and Industry (DOLI) shall review private utilities.
16. A right of way permit will be required for all work within public easements or right of way.
17. The applicant will be subject to the requirements of the State NPDES Construction Storm water Permit. The applicant must provide proof of permit.

### **Grading & Drainage Plan**

18. Final Storm Water Pollution Prevention Plan (SWPPP) shall be included with plans and shall be reviewed and approved by City Engineer.
19. Provide the overall site composite Curve Number (CN) along with the impervious % on the area tabulation.
20. Provide a detail for the proposed infiltration basins.

### **Storm Sewer**

21. Final Storm Sewer plans shall be reviewed and approved by the City Engineer.
22. Provide a profile of the CBMH 15 – EX STMH 10 storm run.
23. Provide cross section details for the proposed filtration basins.

### **Sanitary Sewer and Water main**

24. Final locations and sizes of the sanitary sewer and watermain shall be reviewed with the final construction plans and approved by the City Engineer.
  - Coordinate all sewer and water service connections with the City's Civil Engineer and Utilities Department.
25. Watermain shall have a bury depth of at least 8.0 feet.

### **Landscape and Natural Resources**

26. Applicant should provide detail on snow storage locations.
27. Applicant to establish 4-6 inches of topsoil as part of site grading.
28. Any impacts to existing stormwater management features must mitigate for the impacted treatment volume.
29. Tree planting plan must follow 15-10-5 diversity rule.
30. Applicant may wish to provide pretreatment prior to discharge to infiltration basin.

31. Applicant will be required to execute a stormwater maintenance agreement with the City prior to work occurring.
32. Applicant to protect and transplant as many healthy trees as possible. If the basketball court does not happen, we should protect the trees in the area.  
Please include detail plates for tree installation and tree protection zone fencing.



TO: Sydnee Stroeing, Associate Planner

FROM: George Dorn, Building Official

DATE: Aril 11, 2025

SUBJECT: Kelley Park

- SAC determination is required from Met Council prior to permit issuance from the city.
- Geotechnical Report, Boring Log and Special Inspector Agreement are required prior to permit and soil corrections on site.
- Indicate Trash and recycling area calculations, Per MSBC 2020 1303.1500 Subpart 1, recycling space is required in accordance with Table 1-A on plans issued for permit. Please designate this recycling space at the time of permit submittal.
- Submit plans to Minnesota Department of Labor, Plumbing Division for review of proposed plumbing, sanitary and storm design.
- Architectural, Structural and Civil plans are required to be signed with the permit application.
- Per MSAC 502.4.4, the access aisles for the accessible areas shall be marked with a designation sign that says "no parking". Review areas under consideration for accessible parking areas.
- Diaper changing tables shall be permitted on the wall facing the front of the water closet in family or assisted-use toilet rooms and bathing rooms. They are not allowed on the side wall. Room 106 Page A201. See MSAC 604.3.3
- RPZ is required as indicated on page AQ310 3D Reference view for splash pad. A test report will be required prior to turning on the water.
- Backflow prevention required on the water inlet to the underground storage vault used for irrigation. A testing report will be required prior to turning on the water. Water meter is also required to monitor the water usage going into the underground vault.
- How will the level of domestic water be monitored to auto fill the vault?
- I don't see a water line or sanitary sewer line from the drinking fountain/dog bowls on the civil plans, please revise drawings to depict this area.
- Footing depth for the signs indicate 3'5" on L510, frost depth for our area is 42".
- 2% of tables for the public are required to be accessible, page L511
- All water lines shall be protected from freezing by the Minnesota State Plumbing Code.
- Will the accessible route to the Bandshell stage floor be designed at 1:20? Or will the route be designed by a ramp? If so the design must follow all the MSAC 405 requirements with a maximum rise of 30 inches. It appears the elevation change is more than that. Will there be a need for a switchback wheelchair ramp? If so consider that in the design.
- Glass used in handrails and guards shall be in accordance with MSBC 2407.

- Provide details for the adult changing station verifying structural capacity, connection details, weight limit, user belt, tipping prevention, etc.
- Provide elongated toilet bowls for public per MSPC 411.1



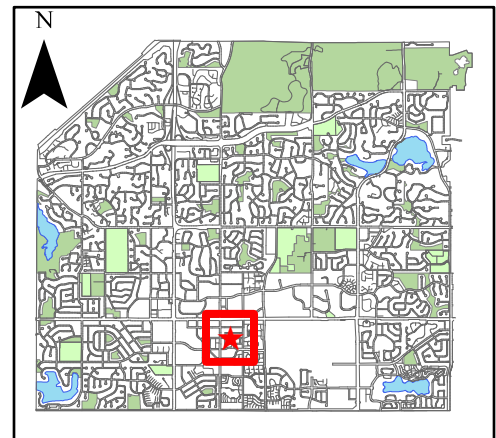

## Kelley Park Location Map

6855 Fortino Street

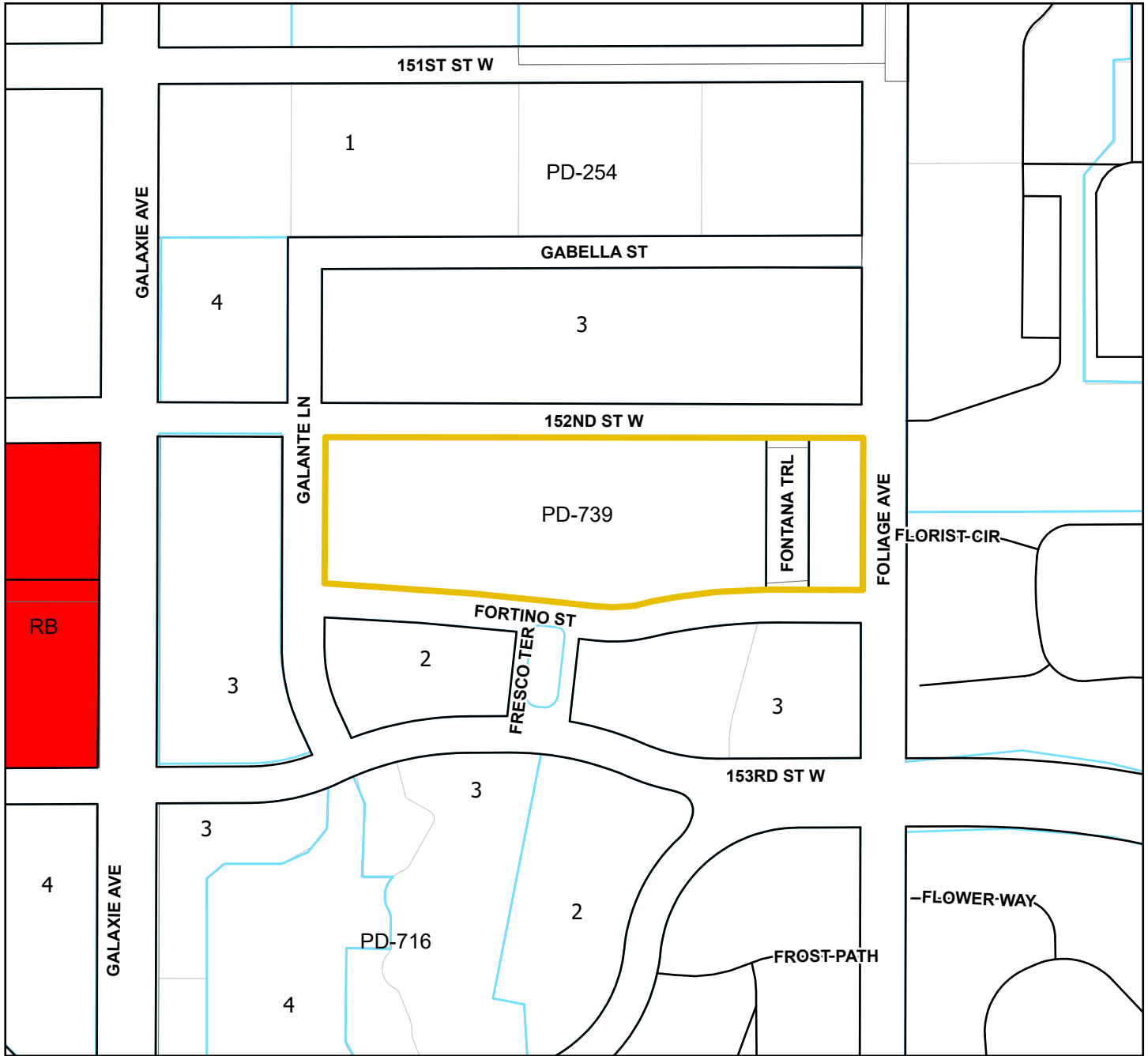
 Subject Property



0 130 260 Feet








## Kelley Park Zoning Map

6855 Fortino Street

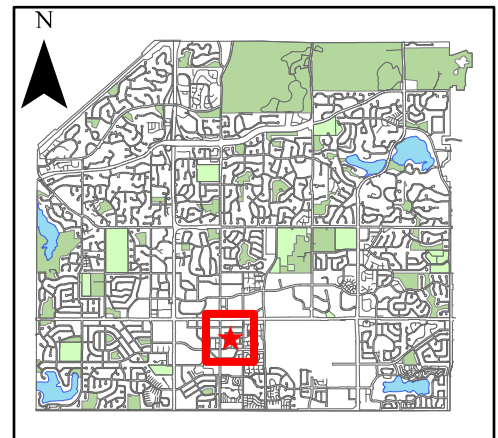
 Subject Property



0 130 260 Feet



A scale bar showing distances of 0, 130, and 260 feet.





CITY OF APPLE VALLEY  
6855 FORTINO STREET  
APPLE VALLEY, MINNESOTA 55124

## SHEET INDEX

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G111	LIFE SAFETY PLANS		A211	ENLARGED PLANS AND INTERIOR ELEVATIONS
G120	MOUNTING HEIGHTS		A220	DOOR SCHEDULES AND GLAZING ELEVATIONS
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<b>CIVIL ENGINEERING</b>			A401	WALL SECTIONS - BANDSHELL
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C404	SWPPP NARRATIVE		S201	ROOF FRAMING PLAN
C405	SWPPP NOTES		S300	FOUNDATION DETAILS
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C608	MNDOT PEDESTRIAN CURB RAMP DETAILS		P500	PLUMBING DETAILS
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L212	SITE LAYOUT ENLARGEMENT PLAN		E101	LIGHTING PLANS
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L511	SITE DETAILS - FURNISHINGS			
L512	SITE DETAILS			
L513	SITE DETAILS - ALTERNATE A			
L514	SITE DETAILS - ALTERNATE B			
L550	PLANTING DETAILS			



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G001

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MIN. REGISTRATION		DATE



3/17/2025 4:21:47 PM

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B

A

LIST OF ABBREVIATIONS	
CODE	LIST OF ABBREVIATIONS DESCRIPTION
A/E	ARCHITECT/ENGINEER
AC	ALTERNATING CURRENT
ACI	AMERICAN CONCRETE INSTITUTE
ACM	ASBESTOS CONTAINING MATERIAL
ACT	ACOUSTICAL CEILING TILE
ADA	AMERICANS W/DISABILITIES ACT
AFF	ABOVE FINISH FLOOR
AHU	AIR HANDLING UNIT
AISC	AMERICAN INSTITUTE OF STEEL CONSTRUCTION
ALT	ALTERNATE
ALUM	ALUMINUM
ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE
ARCH	ARCHITECT
ASI	ARCHITECTURAL SUPPLEMENTAL INSTRUCTION
AWI	AMERICAN WOODWORKING INSTITUTE
BD	BOARD
BLDG	BUILDING
BM	BEAM
BOT	BOTTOM
BRG	BEARING
BTU	BRITISH THERMAL UNITS
BUR	BUILT UP ROOFING
CAB	CABINET
CB	CATCH BASIN
CG	CORNER GUARD
CI	CAST IRON
CIP	CAST IN PLACE
CJ	CONTROL JOINT
CLG	CEILING
CLR	CLEAR
CMU	CONCRETE MASONRY UNIT
CO	CLEAN OUT
CONC	CONCRETE
CPT	CARPET
CSMT	CASEMENT
CSWK	CASEWORK
CT	CERAMIC TILE
CUH	CABINET UNIT HEATER
CWT	CERAMIC WALL TILE
DEMO	DEMOLITION
DEPT	DEPARTMENT
DF	DRINKING FOUNTAIN
DIA	DIAMETER
DIAG	DIAGONAL
DIM	DIMENSION
DIST	DISTANCE
DOC	DOCUMENT
DR	DOOR
DTL	DETAIL
DW	DISHWASHER
DWG	DRAWING
EA	EACH
EIRS	EXTERIOR INSULATION FINISH SYSTEM
EJ	EXPANSION JOINT
ELEC	ELECTRIC
ELEV	ELEVATOR/ELEVATION
EP	EPOXY PAINT
EQ	EQUAL
EQUIP	EQUIPMENT
EWG	ELECTRIC WATER COOLER
EXIST	EXISTING
FD	FLOOR DRAIN
FEC	FIRE EXTINGUISHER CABINET
FF	FINISH FLOOR
FFE	FURNITURE, FIXTURE, AND EQUIPMENT
FHC	FIRE HOSE CABINET
FIN	FINISH
FLR	FLOOR
FND	FOUNDATION
FTG	FOOTING
FWC	FABRIC WALL COVERING

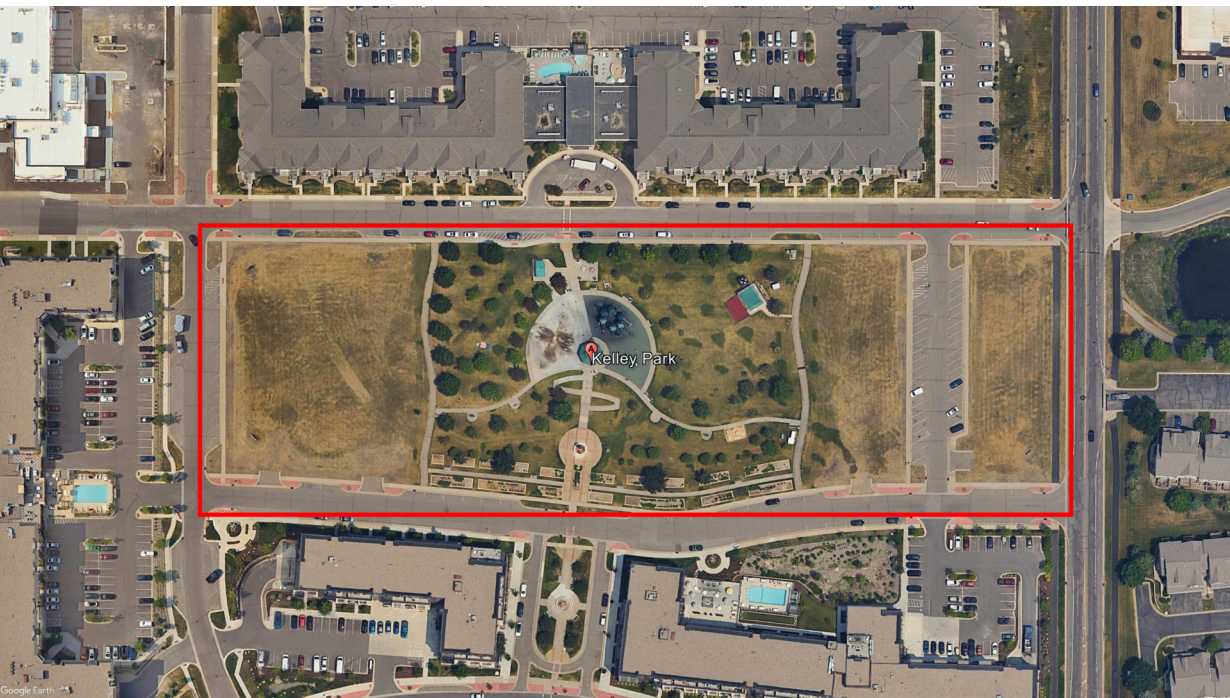
LIST OF ABBREVIATIONS	
CODE	LIST OF ABBREVIATIONS DESCRIPTION
GALV	GALVANIZED
GC	GENERAL CONTRACTOR
GEN	GENERAL
GL	GLASS OR GLAZING
GSB	GYPSSUM WALL BOARD
H8	HOSE BIB
HCP	HANDICAP
HDW	HARDWARE
HDWD	HARDWOOD
HM	HOLLOW METAL
HORZ	HORIZONTAL
HT	HEIGHT
IBC	INTERNATIONAL BUILDING CODE
INSUL	INSULATION
JAN	JANITOR
LAM	LAMINATE
LAV	LAVATORY
MAS	MASONRY
MB	MARKERBOARD
MDF	MEDIUM DENSITY FIBERBOARD
MECH	MECHANICAL
MH	MANHOLE
ML	MATCHLINE
MTL	METAL
MTL STD	METAL STUD
NC	NON COMBUSTIBLE
NIC	NOT IN CONTRACT
NOM	NOMINAL
NTS	NOT TO SCALE
OC	ON CENTER
OFCI	OWNER FURNISHED CONTRACTOR INSTALLED
OFOI	OWNER FURNISHED OWNER INSTALLED
OH	OVERHEAD
OSB	ORIENTED STRAND BOARD
PB	PARTICLE BOARD
PC	PRECAST
PLAM	PLASTIC LAMINATE
PLAST	PLASTER
PLYWD	PLYWOOD
PREV	PREVIOUS
PT	PAINT
PTD	PAPER TOWEL DISPENSER
RAD	RADIUS
REINF	REINFORCEMENT
REQ'D	REQUIRED
REV	REVERSE
RM	ROOM
RO	ROUGH OPENING
RTU	ROOF TOP UNIT
SD	SMOKE DETECTOR
SECT	SECTION
SHIT	SHEET
SIM	SIMILAR
SPO	SOAP DISPENSER
SPEC	SPECIFICATIONS
SQ	SQUARE
SUSP	SUSPEND
TC	THIN COAT
TEMP	TEMPORARY/TEMPERATURE
TO	TOP OF
TP	TOILET PARTITIONS
TPD	TOILET PAPER DISPENSER
TRTD	TREATED
TS	TRANSITION STRIP
TYP	TYPICAL
UL	UNDERWRITERS LABORATORIES
UNO	UNLESS NOTED OTHERWISE
VCT	VINYL COMPOSITION TILE
W/	WITH
WD	WOOD
WDW	WINDOW

PROJECT SPEC ID LIST	
SPEC ID	SPEC. SECTION & DESCRIPTION
ACS-1	10 2800 - ADULT CHANGING STATION
AED-1	10 4300 - AUTOMATED EXTERNAL DEFIBRILLATOR AND CABINET
ALSTOR-1	08 4313 - ALUMINUM STORE FRONT
BCS-1	10 2800 - BABY CHANGING STATION; POLYETHYLENE
CFIN-5	03 3000 - CAST IN PLACE CONCRETE FORMLINER FINISH
CMU-1	04 2000 - STANDARD GREY CMU
FBRTK-1	10 4400 - FIRE EXTINGUISHER BRACKET
FRP-1	06 8316 - FIBERGLASS REINFORCED PANEL - PEBBLED
FRP-2	06 8316 - FIBERGLASS REINFORCED PANEL - SMOOTH
GB-18	10 2800 - GRAB BAR; 18 INCHES
GB-36	10 2800 - GRAB BAR; 36 INCHES
GB-42	10 2800 - GRAB BAR; 42 INCHES
GYP BD-6	09 2116 - 5/8" TYPE X MOLD-RESISTANT GYPSUM BOARD
GYP SHTG-2	09 2116 - 5/8" GLASS MAT FACED GYPSUM SHEATHING
INSUL GL-1	08 8000 - CLEAR INSULATED GLAZING
INSUL-42	07 2100 - POLYISOCYANURATE NAIL BASE BONDED TO OSB
LOUVER-1	08 9100 - 24"x24" LOUVER
LOUVER-2	08 9100 - 18"x12" LOUVER
LOUVER-3	08 9100 - 36"x12" LOUVER
MET STUD-1	05 4000 - STRUCTURAL STEEL STUDS
MET STUD-2	09 2116 - NON-LOADBEARING METAL STUDS, 20 GA.
MIR-50	10 2800 - MIRROR; FRAMELESS
MIR-VR	10 2800 - MIRROR; VANDAL RESISTANT
MTL PNL-10	07 4113 - METAL ROOF PANEL, NOT INSULATED.
MTL PNL-20	07 4213 - METAL WALL PANEL, SINGLE THICKNESS, NOT INSULATED
NO-1	10 2800 - SANITARY NAPKIN DISPOSAL
PT-1	09 9123 - PAINT
PT-2	09 9123 - PAINT
PTD-2	10 2800 - PAPER TOWEL DISPENSER; ROLL TYPE
RMU-10	04 2000 - ROCK FACED CMU, INTEGRALLY COLORED
SEALANT-1	07 9200 - JOINT SEALANT OR CAULKING WITH OR WITHOUT BACKER ROD
SIDING-60	07 4623 - THERMALLY MODIFIED DIMENSIONAL WOOD
SIGN-1	10 1400 - EXTERIOR SIGNAGE OR INTERIOR SIGN
SMF-2	07 6200 - PREFINISHED ALUMINUM
SP-1	10 2800 - SOAP DISPENSER; WALL MOUNT
ST-1	09 9300 - STAIN
TP-2	10 2800 - TOILET PAPER DISPENSER; DOUBLE ROLL
UNDERLAY-2M	07 4113 - EAVE PROTECTION MEMBRANE (METAL ROOFS)
VPR RET-4	03 3000 - 15 MIL UNDERSLAB VAPOR RETARDER
WD BLDG	06 1000 - WOOD BLOCKING
WD SHTG-30	06 1000 - 1/2" SHEATHING
WD SHTG-32	06 1000 - 3/4" SHEATHING

INDEX OF DRAWINGS	
NUMBER	NAME
GENERAL	
G101	TITLE SHEET
G102	TYPICAL ASSEMBLIES
G111	LIFE SAFETY PLANS
G120	MOUNTING HEIGHTS
ARCHITECTURAL	
A050	SITE PLANS
A201	FLOOR PLANS
A210	ROOF PLANS
A211	ENLARGED PLANS AND INTERIOR ELEVATIONS
A220	DOOR SCHEDULE AND GLAZING ELEVATIONS
A301	EXTERIOR ELEVATIONS
A401	WALL SECTIONS - BANDSHELL
A402	WALL SECTIONS - RESTROOM BUILDING
A510	DETAILS
A511	DETAILS
A651	ROOM IDENTIFICATION SIGNAGE
A701	REFLECTED CEILING PLANS

- PROJECT GENERAL NOTES**
- A. THE **RESTROOM BUILDING FLOOR ELEVATION** OF 100'-0" NOTED ON ARCHITECTURAL AND STRUCTURAL DRAWINGS EQUALS ELEVATION OF 951.50' NOTED ON CIVIL DRAWINGS.
- B. THE **BANDSHELL STAGE FLOOR ELEVATION** OF 104'-0" NOTED ON ARCHITECTURAL AND STRUCTURAL DRAWINGS EQUALS ELEVATION OF 947.60' NOTED ON CIVIL DRAWINGS.
- C. THE OWNER'S NORMAL OPERATIONS WILL BE CONTINUED DURING CONSTRUCTION. THE CONSTRUCTION SHALL NOT INTERFERE WITH THESE OPERATIONS IN ANY WAY WITHOUT THE OWNER'S EXPRESSED CONSENT.
- D. IT SHALL BE EACH TRADE CONTRACTOR'S RESPONSIBILITY TO VISIT THE SITE AND FAMILIARIZE HIMSELF/HERSELF WITH ALL EXISTING CONDITIONS. EACH CONTRACTOR SHALL TAKE ALL NECESSARY FIELD MEASUREMENTS AND OTHERWISE VERIFY ALL DIMENSIONS AND EXISTING CONSTRUCTION CONDITIONS INDICATED AND/OR SHOWN ON THE DRAWINGS. SHOULD ANY ERROR OR INCONSISTENCY EXIST, THE CONTRACTOR SHALL NOT PROCEED WITH THE WORK AFFECTED THEREBY UNTIL REPORTING THE SAME TO THE ARCHITECT AND THE OWNER'S REPRESENTATIVE FOR CLARIFICATION AND/OR CORRECTION.
- E. DIMENSIONS FOLLOWED BY +/- SHALL BE REVIEWED AND ALL NECESSARY ADJUSTMENTS MADE PRIOR TO FABRICATION AND/OR INSTALLATION OF WORK. NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.
- F. ALL EXISTING CONSTRUCTION AND SURFACES WHICH ARE TO REMAIN BUT ARE AFFECTED BY THE WORK UNDER THIS CONTRACT SHALL BE RESTORED AND REFINISHED TO MATCH THE CONSTRUCTION, FINISH AND ALIGNMENT OF THE EXISTING ADJACENT CONSTRUCTION AND FINISHES.
- G. VERIFY QUANTITY, SIZE AND LOCATION OF ALL FLOOR, ROOF AND WALL OPENINGS FOR MECHANICAL AND ELECTRICAL WORK WITH THE APPROPRIATE TRADE. PROVIDE ALL OPENINGS SHOWN OR REQUIRED FOR COMPLETION OF WORK.
- H. COORDINATE SIZE AND LOCATION OF ALL ACCESS PANELS WITH APPROPRIATE TRADES. COORDINATE SIZE AND LOCATION OF ALL HOUSE-KEEPING PADS AND/OR EQUIPMENT SUPPORTS WITH APPROPRIATE EQUIPMENT MANUFACTURER.
- I. PROVIDE POSITIVE SLOPE TO ALL FLOOR DRAINS WHILE KEEPING FLOOR LEVEL AT WALL BASE CONDITION. PROVIDE FIRE WATCH DURING FIELD CUTTING AND WELDING OPERATIONS, MEETING OWNER'S REQUIREMENTS.
- J. PROVIDE FIRE RETARDANT WOOD BLOCKING AND/OR 18 GA METAL PLATES BETWEEN STUDS AT ALL LOCATIONS REQUIRING BLOCKING IN WALL. THESE LOCATIONS INCLUDE BUT ARE NOT LIMITED TO GRAB BARS, CRASH RAILS, CABINETS, WALL HUNG SHELVES, ARTWORK, ETC.
- K. THE EXTENT OF HATCHING ON DRAWINGS IS ONLY SUFFICIENT TO INDICATE THE NATURE OF THE CONSTRUCTION OR MATERIALS. TERMINATION OF THE HATCHING SHALL NOT BE CONSTRUED TO REPRESENT A CHANGE OR TERMINATION OF MATERIAL.
- L. THE CONTRACTOR SHALL VERIFY THE EXISTENCE, LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES IN WORK AREAS PRIOR TO PROCEEDING WITH CONSTRUCTION. ALL DISCREPANCIES SHALL BE DOCUMENTED AND FORWARDED TO ARCHITECT AND OWNER'S REPRESENTATIVE FOR ACTION.
- M. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INVESTIGATE FIELD CONDITIONS AND PROVIDE AS NEEDED TEMPORARY SUPPORTS, SHORING AND/OR PROTECTION OF EXISTING STRUCTURES AND UNDERGROUND UTILITIES DURING EXECUTION OF WORK.
- N. ALL WORK TO CONFORM TO THE REQUIREMENTS OF THE LOCAL AND STATE CODES.
- O. RELEVANT DIMENSIONS AND ELEVATIONS FOR EQUIPMENT INSTALLATIONS SHALL BE VERIFIED AGAINST MANUFACTURER'S CERTIFIED EQUIPMENT DRAWINGS.
- P. CONTRACTOR SHALL PROVIDE TEMPORARY DUST PROOF PARTITIONS AS REQUIRED, OR WHERE REQUESTED BY OWNER'S REPRESENTATIVE. PARTITIONS SHALL BE FIRE RATED WHERE REQUIRED BY CODE HAVING JURISDICTION. ALL TEMPORARY PARTITIONS SHALL BE CONSTRUCTED IN A MANNER AND OF MATERIALS OFFERING ADEQUATE PROTECTION TO OWNER'S EQUIPMENT AND PERSONNEL.
- Q. DO NOT SCALE DRAWINGS TO DETERMINE SIZES AND DIMENSIONS. USE FIGURED DIMENSIONS ONLY. DIMENSIONS ARE TO FINISHED FACE OF WALLS UNLESS OTHERWISE NOTED. ALL PERIMETER DIMENSIONS ARE FROM FACE OF PERIMETER WALLS. ALL DIMENSIONS TO EXISTING WALL ARE TO FACE OF WALL UNLESS OTHERWISE NOTED.
- R. ALL PENETRATIONS TO FLOORS, CEILINGS AND WALLS SHALL BE SEALED AND FIRE STOPPED TO A FIRE RATING EQUAL TO THE CONSTRUCTION BEING PENETRATED.
- S. NEW WORK SHALL ALIGN WITH AND MATCH EXISTING WORK UNLESS NOTED OTHERWISE.

## PROJECT VICINITY MAP



KELLEY PARK  
6855 FORTINO ST  
APPLE VALLEY, MN 55124

## DESIGN TEAM

### Architect

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Contact: Nick Nowacki

## SYMBOLS LEGEND

### ROOM IDENTIFICATION TAG

SAMPLE ROOM NAME  
101 ROOM NUMBER  
150 SF ROOM AREA

### OPENING IDENTIFICATION TAGS

TYPE DOOR NUMBER  
TYPE WINDOW IDENTIFICATION  
CURTAINWALL / STOREFRONT IDENTIFICATION

### COLUMN/GRID/LEVEL IDENTIFICATION

XX.X NEW COLUMN / STRUCTURAL GRID  
XX.X EXISTING COLUMN / STRUCTURAL GRID  
NAME EL+ ELEVATION DATUM

### ASSEMBLY IDENTIFICATION

A4.25 WALL / FLOOR / ROOF TAG

### MATERIAL/OBJECT IDENTIFICATION

(7) MATERIAL ID TAG

### REVISION DELTA AND CLOUD

1 REVISION TAG  
REVISION CLOUD

### DRAWING IDENTIFICATION

4A DRAWING NUMBER  
View Name DRAWING NAME  
SCALE: 1/8" = 1'-0" DRAWING SCALE  
X.XX SHEET NUMBER

### SECTION IDENTIFICATION

1 DIRECTION OF CUT  
1 DRAWING NUMBER  
A101 SHEET NUMBER

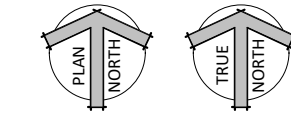
### DETAIL SECTION IDENTIFICATION

Ref DRAWING NUMBER  
A101 SHEET NUMBER

### ELEVATION IDENTIFICATION

1 ELEVATION NUMBER  
A101 SHEET NUMBER  
1

### NORTH ARROW



### SHEET KEYNOTES

XX KEYNOTE

## MATERIAL MATRIX

- CONCRETE; CUT/SURFACE PATTERN	- RIGID INSULATION; CUT PATTERN
- FILL; SEE STRUCTURAL	- TAPERED INSULATION; SURFACE PATTERN
- BRICK; CUT PATTERN	- SPANDREL GLAZING; SURFACE PATTERN
- BRICK; SURFACE PATTERN	- GLAZING; SURFACE PATTERN
- CMU; CUT PATTERN	- A.C.T (1); SURFACE PATTERN
- CMU; SURFACE PATTERN	- A.C.T (2); SURFACE PATTERN
- BURNISHED CMU; SURFACE PATTERN	- A.C.T (3); SURFACE PATTERN
- GROUT; CUT PATTERN	- A.C.T; CUT PATTERN
- STONE; CUT PATTERN	- CARPET TILE; SURFACE PATTERN
- ALUMINUM; CUT PATTERN	- ACCENT CARPET TILE; SURFACE PATTERN
- STEEL; CUT PATTERN	- INTERIOR GYPSUM; CUT PATTERN
- MDF; CUT PATTERN	- EXTERIOR GYPSUM SHEATHING; CUT PATTERN
- PLYWOOD; CUT PATTERN	- TILE; CUT PATTERN
- SOLID SURFACE; CUT PATTERN	- EARTH; CUT PATTERN
- WOOD; CUT PATTERN	- PEA ROCK; CUT PATTERN
- WOOD; SURFACE PATTERN	- SAND; CUT PATTERN
- METAL PANEL; SURFACE	
- CORRUGATED METAL PANEL; SURFACE	
- FLUSH METAL PANEL; SURFACE	

## CONFLUENCE

### LANDSCAPE ARCHITECT CONFLUENCE

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Minneapolis, MN 55401  
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### ARCHITECT JLG ARCHITECTS

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I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA  
THOMAS JAMES BETTI  
REG. NO. 44897  
DATE 3/17/2025

### REVISION SCHEDULE

NO.	DESCRIPTION	DATE
-----	-------------	------

KELLEY PARK  
CITY OF APPLE VALLEY  
6855 FORTINO STREET  
APPLE VALLEY, MN

Project Number	24327
Issue	100% CD SET
Date	03-17-25

## TITLE SHEET

# G101



THE LINE SHOWN ABOVE IS NOT TO SCALE. IT IS ONLY A REPRESENTATION OF THE SHEET'S ACTUAL SIZE. THE SQUARES ABOVE ARE NOT TO SCALE. THEY ARE ONLY A REPRESENTATION OF THE SHEET'S ACTUAL SIZE. IF PRINTED CORRECTLY, THE SQUARES ABOVE WILL BE THE SAME SIZE AS THE SHEET'S ACTUAL SIZE.

File Location: N:\0058353\_00\dwg\0058353\_00\CD\CV-01.dwg / SAVE DATE: 3/17/2025 5:28 PM BY: easceek / PLOT DATE: 3/18/2025 8:41 AM BY: Nic Meyer

# 100% CONSTRUCTION DOCUMENTS FOR SITE IMPROVEMENTS

## FOR KELLEY PARK CITY OF APPLE VALLEY

PREPARED FOR:  
**CITY OF APPLE VALLEY**  
DAKOTA COUNTY  
APPLE VALLEY, MN 55124  
CONTACT: ERIC CARLSON, PARKS & RECREATION DIRECTOR  
PHONE: 952-953-2310  
EMAIL: ERIC.CARLSON@APPLEVALLEYMN.GOV

PREPARED BY:  
**Westwood**  
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Fax (952) 937-5822 Minnetonka, MN 55343  
Toll Free (888) 937-5150 [westwoodps.com](http://westwoodps.com)  
Westwood Professional Services, Inc.

PROJECT NUMBER: 0058353  
CONTACT: NIC MEYER

SHEET INDEX	
Sheet List Table	
SHEET NUMBER	SHEET TITLE
C.000	Cover
C.100	Exisitng Conditions
C.101	Civil Removals Plan - West
C.102	Civil Removals Plan - East
C.200	Overall Civil Site Plan
C.201	Civil Site Plan - West
C.202	Civil Site Plan - East
C.300	Overall Civil Grading Plan
C.301	Civil Grading Plan - West
C.302	Civil Grading Plan - East
C.400	Overall Erosion Control Plan
C.401	Erosion Control Plan - West
C.402	Erosion Control Plan - East
C.403	SWPPP Narrative
C.404	SWPPP Notes
C.405	SWPPP Notes
C.500	Overall Civil Utility Plan
C.501	Civil Utility Plan - West
C.502	Civil Utility Plan - East
C.600	Civil Site Construction Details
C.601	Civil Site Construction Details
C.602	Civil Site Construction Details
C.603	MNDOT Pedestrian Curb Ramp Details
C.604	MNDOT Pedestrian Curb Ramp Details
C.605	MNDOT Pedestrian Curb Ramp Details
C.606	MNDOT Pedestrian Curb Ramp Details
C.607	MNDOT Pedestrian Curb Ramp Details
C.608	MNDOT Pedestrian Curb Ramp Details



Vicinity Map  
(NOT TO SCALE)

NO.	DATE	REVISION	SHEETS
	####	####	
	####	####	
	####	####	
	####	####	
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	####	####	
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DD DOCUMENTS  
FOR  
SITE IMPROVEMENTS  
FOR  
KELLEY PARK  
CITY OF APPLE VALLEY

INITIAL SUBMITTAL DATE: 12/06/24 SHEET: C.000 OF 06

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*Shari Lynn S. Ahrens*  
SHARI LYNN S. AHRENS  
DATE: 03/17/2025 LICENSE NO. 42797

Revision Schedule		
No.	Date	Description

**KELLEY PARK IMPROVEMENTS**  
CITY OF APPLE VALLEY  
6855 FORTINO STREET  
APPLE VALLEY, MN

Project Number	23485
Issue	100% CD SET
Date	03-17-2025

COVER  
**SHEET**  
**C.000**



THE SQUARE ABOVE EACH COLOR  
WITH BLACK AND WHITE LETTERS  
IF PRINTED CORRECTLY

THE LINE SHOWN ABOVE IS  
EXACTLY ONE INCH LONG AT THIS  
SCALE & DRAWING SIZE

D

C

B

A



## LEGEND

	SANITARY MANHOLE		CABLE TV BOX		BOUNDARY LINE
	SEWER CLEANOUT		CABLE TV MANHOLE		RIGHT-OF-WAY LINE
	SEPTIC COVER		FIBER OPTIC MANHOLE		LOT LINE
	STORM MANHOLE		FIBER OPTIC PEDESTAL		EASEMENT LINE
	BEEHIVE CATCH BASIN		NATURAL GAS METER		SECTION LINE
	CATCH BASIN		NATURAL GAS VALVE		CABLE TELEVISION LINE
	FLARED END SECTION		UNKNOWN MANHOLE		GAS LINE
	HYDRANT		MISCELLANEOUS METER		POWER OVERHEAD
	GATE VALVE		MISCELLANEOUS PEDESTAL		POWER UNDERGROUND
	WATER METER		STEEL/WOOD POST		SANITARY SEWER
	FIRE DEPARTMENT CONNECTION		SIGN		STORM SEWER
	CURB STOP BOX		MAIL BOX		TELEPHONE OVERHEAD
	WATER MANHOLE		FLAG POLE		TELEPHONE UNDERGROUND
	WELL		FOUND MONUMENT (SEE LABEL)		WATERMAIN
	POST INDICATOR VALVE		CAST IRON MONUMENT (SEE LABEL)		FIBER OPTIC
	DOUBLE DETECTOR CHECK VALVE		SET MONUMENT (SEE LABEL)		FENCE LINE
	FARM HYDRANT				CONTROLLED ACCESS
	ELECTRIC BOX				CURB & GUTTER
	ELECTRIC METER				CONCRETE SURFACE
	ELECTRIC MANHOLE				BITUMINOUS SURFACE
	STREET LIGHT				INDEX CONTOUR
	POWER POLE				INTERVAL CONTOUR
	TELEPHONE BOX				
	TELEPHONE MANHOLE				
	HAND HOLE/JUNCTION BOX				

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UNDER THE LAWS OF THE STATE OF MINNESOTA.

*Shari Lynn S. Ahrens*

SHARI LYNN S. AHRENS  
DATE: 03/17/2025 LICENSE NO. 42797

Revision Schedule		
No.	Date	Description

# KELLEY PARK IMPROVEMENTS

## CITY OF APPLE VALLEY

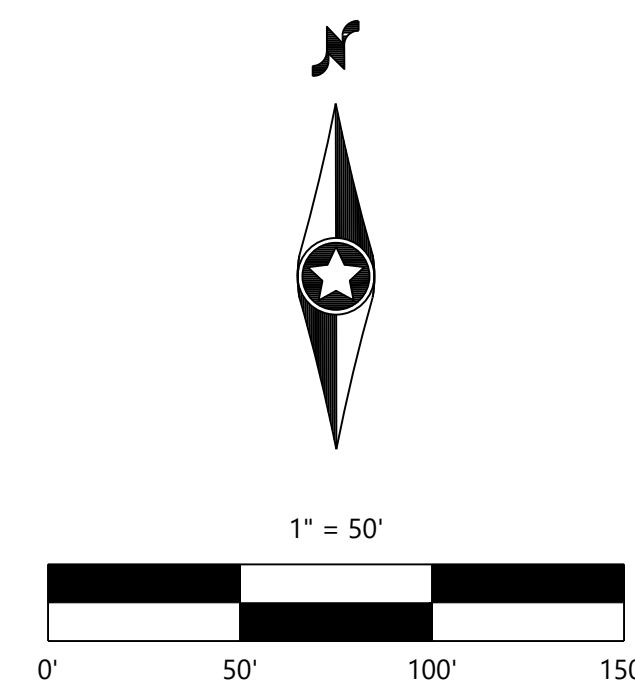
### 6855 FORTINO STREET APPLE VALLEY, MN

Project Number	23485
Issue	100% CD SET
Date	03-17-2025

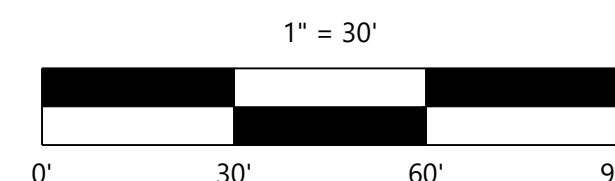
EXISTING  
CONDITIONS

# SHEET

## C.100













THE LINE SHOWN ABOVE IS  
EXACTLY ONE INCH LONG AT THIS  
SCALE TO GRAPHIC SCALE SIZE

THE SQUARE ABOVE IS ONE  
FOOT LONG AT THIS SCALE  
WITH EACH AND WHITE LETTERS  
IF PRINTED CORRECTLY

152ND ST W

GALANTE ST

FORTINO ST

153RD ST W

FOLIAGE AVE

## SITE LEGEND

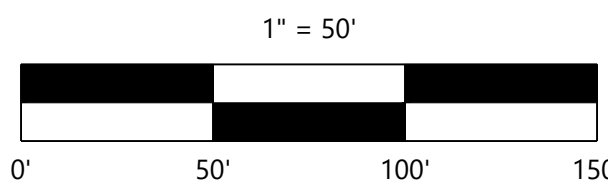
EXISTING	PROPOSED	
		PROPERTY LINE
		LOT LINE
		SETBACK LINE
		EASEMENT LINE
		CURB AND GUTTER
		TIP-OUT CURB AND GUTTER
		POND NORMAL WATER LEVEL
		RETAINING WALL
		FENCE
		CONCRETE PAVEMENT
		CONCRETE SIDEWALK
		HEAVY DUTY BITUMINOUS PAVEMENT
		NORMAL DUTY BITUMINOUS PAVEMENT
		NUMBER OF PARKING STALLS
		TRANSFORMER
		SITE LIGHTING
		TRAFFIC SIGN
		POWER POLE
		BOLLARD / POST

## GENERAL SITE NOTES

- BACKGROUND INFORMATION FOR THIS PROJECT PROVIDED BY **CONFLUENCE, MINNEAPOLIS, MN, 10/23/2024.**
- LOCATIONS AND ELEVATIONS OF EXISTING TOPOGRAPHY AND UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY SITE CONDITIONS AND UTILITY LOCATIONS PRIOR TO EXCAVATION/CONSTRUCTION. IF ANY DISCREPANCIES ARE FOUND, THE ENGINEER SHOULD BE NOTIFIED IMMEDIATELY.
- REFER TO BOUNDARY SURVEY FOR LOT BEARINGS, DIMENSIONS AND AREAS.
- ALL DIMENSIONS ARE TO FACE OF CURB OR EXTERIOR FACE OF BUILDING UNLESS OTHERWISE NOTED.
- REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS AND LOCATIONS OF EXITS, RAMPS, AND TRUCK DOCKS.
- ALL CURB RADII ARE SHALL BE 3.0 FEET (TO FACE OF CURB) UNLESS OTHERWISE NOTED.
- ALL CURB AND GUTTER SHALL BE **B618** UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGGERS AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. PLACEMENT OF THESE DEVICES SHALL BE APPROVED BY THE CITY AND ENGINEER PRIOR TO PLACEMENT. TRAFFIC CONTROL DEVICES SHALL CONFORM TO APPROPRIATE MNDOT STANDARDS.
- BITUMINOUS PAVEMENT AND CONCRETE SECTIONS TO BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.
- CONTRACTOR SHALL MAINTAIN FULL ACCESS TO ADJACENT PROPERTIES DURING CONSTRUCTION AND TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES.
- SITE LIGHTING SHOWN ON PLAN IS FOR REFERENCE ONLY. REFER TO LIGHTING PLAN PREPARED BY OTHERS FOR SITE LIGHTING DETAILS AND PHOTOMETRICS.

## SITE DEVELOPMENT SUMMARY

• EXISTING ZONING:	INSTITUTIONAL - PARK
• GROSS SITE AREA:	257,875 SF (5.92 AC)
• BUILDING GROSS SIZE:	(SEE ARCHITECTURE PLANS)
• CURRENT BUILDING SETBACK:	35 FEET
• PROPOSED BUILDING SETBACK:	15 FEET
• CURRENT PARKING SETBACKS:	20 FEET
• PROPOSED PARKING SETBACKS:	10 FEET
• EXISTING SURFACE PARKING LOT - (35 REG., 3 ADA) STREET - (17 REG., 48 PARA., 3 ADA)	106 SPACES 38 SPACES 68 SPACES
• PROPOSED SURFACE PARKING LOT - (96 REG., 5 ADA) - 4 STALLS ELECTRIC READY STREET - (12 REG., 49 PARA., 4 ADA)	170 SPACES 105 SPACES 65 SPACES
• PARKING SPACE/DRIVE AISLE: TYPICAL PARALLEL FOOD TRUCK	9' WIDE X 18.5' LONG, 24' AISLE 8' WIDE X 23' LONG 8' WIDE X 25' LONG
• IMPERVIOUS SITE AREA: IMPERVIOUS: PERVIOUS:	2.16 AC 3.76 AC



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*Shari Lynn S. Ahrens*  
SHARI LYNN S. AHRENS  
DATE: 03/17/2025 LICENSE NO. 42797

### Revision Schedule

No.	Date	Description	#

**KELLEY PARK IMPROVEMENTS**

CITY OF APPLE VALLEY

6855 FORTINO STREET

APPLE VALLEY, MN

Project Number 23485

Issue 100% CD SET

Date 03-17-2025

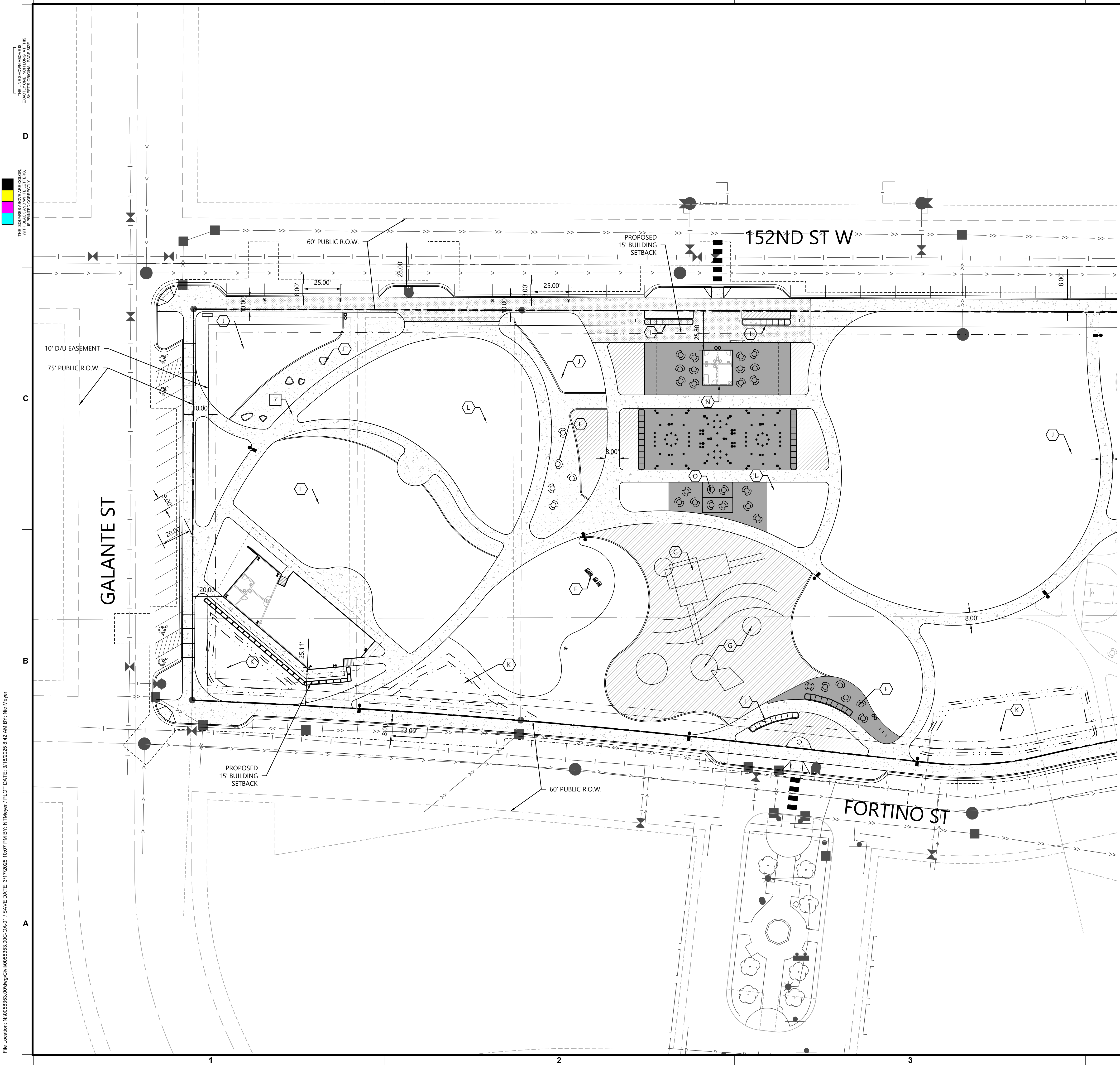
OVERALL CIVIL SITE  
PLAN

**SHEET**

**C.200**



File Location: N:\0058353.00\dwg\Civil\0058353.00\CD\0A-01.dwg / PLOT DATE: 3/17/2025 10:07 PM BY: NTMeyer / SAVE DATE: 3/17/2025 10:07 PM BY: NTMeyer / PLOT DATE: 3/17/2025 8:42 AM BY: Nic Meyer



SITE LEGEND

EXISTING	PROPOSED	
		PROPERTY LINE
		LOT LINE
		SETBACK LINE
		EASEMENT LINE
		CURB AND GUTTER
		TIP-OUT CURB AND GUTTER
		POND NORMAL WATER LEVEL
		RETAINING WALL
		FENCE
		CONCRETE PAVEMENT
		CONCRETE SIDEWALK
		HEAVY DUTY CONCRETE
		COLORADO CONCRETE
		HEAVY DUTY BITUMINOUS PAVEMENT
		NORMAL DUTY BITUMINOUS PAVEMENT
		NUMBER OF PARKING STALLS
		TRANSFORMER
		SITE LIGHTING
		TRAFFIC SIGN
		POWER POLE
		BOLLARD / POST

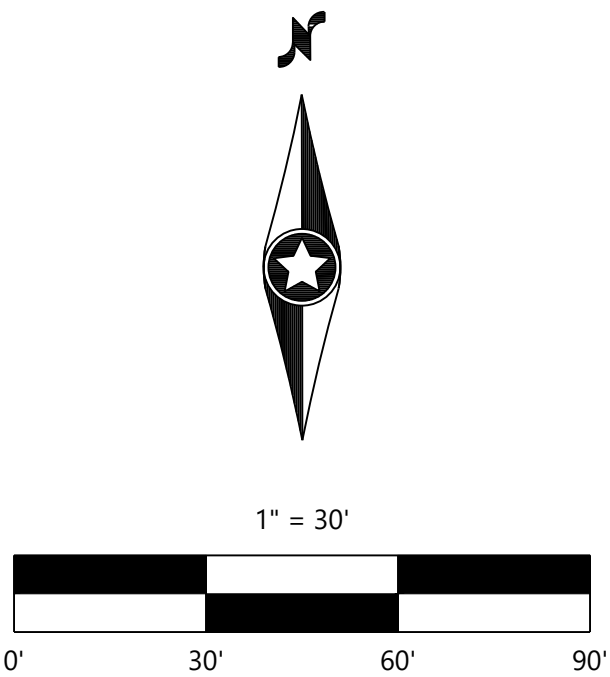
1 SITE DETAILS (SI-0XX)

- 1 **B618** CURB AND GUTTER
- 2 SURMOUNTABLE CURB AND GUTTER
- 3 FLUSH CURB AND GUTTER
- 5 INTEGRAL CURB AND WALK
- 6 CONCRETE CROSS GUTTER
- 7 PUBLIC CONCRETE SIDEWALK
- 9A **PUBLIC OR PRIVATE** PEDESTRIAN CURB RAMP
- 10AB PRIVATE PARALLEL PEDESTRIAN CURB RAMP
- 11 CROSS WALK STRIPING
- 13 TRAFFIC ARROW
- 14 RE-INSTALLED CLOCK TOWER
- 15 HANDICAP ACCESSIBLE SIGNAGE AND STRIPING
- 16 PRECAST CONCRETE WHEEL STOP
- 18 BIKE RACK (SEE LANDSCAPE ARCHITECT)
- 19 BITUMINOUS PAVEMENT (PARKING LOT)
- 21 BITUMINOUS PAVEMENT (TRAIL)
- 27 CONCRETE WALK AND DRIVEWAY OPENINGS AT RESIDENTIAL ENTRANCES
- 31 SIGN POST WITH BOLLARD
- 38 SIDEWALK STEP AND LANDING
- 44 CONCRETE CURB & GUTTER, CATCH BASIN LOCATION AND TRANSITION
- 45 B612 AND SURMOUNTABLE CURB TRANSITION
- 48 CONCRETE STAIR AND RAILING DETAIL (SEE LANDSCAPE ARCHITECT)
- 49 POURED CONCRETE RETAINING WALL (SEE STRUCTURAL)
- 50 SITE LIGHTING (SEE LANDSCAPE ARCHITECT)
- 51 LIMESTONE BOULDER STORMWATER CHECK DAM

A SITE KEYNOTES

- A SAWCUT LINE  
B SNOW STORAGE AREA  
C TRANSFORMER PAD  
D CONDENSER LOCATION, REFER TO MECH.  
E MECHANICAL EQUIPMENT, REFER TO MECH.  
F SITE FURNISHINGS - REFER TO LANDSCAPE ARCHITECT  
G PLAY EQUIPMENT - REFER TO LANDSCAPE ARCHITECT  
I PRECAST CONCRETE SEAT WALL - REFER TO LANDSCAPE ARCHITECT  
J BERM  
K INFILTRATION BASIN  
L PERFORMANCE LAWN - REFER TO LANDSCAPE ARCHITECT  
M TRELLIS - REFER TO LANDSCAPE ARCHITECT  
N PARK RESTROOM BUILDING - SEE ARCHITECT  
O PROPOSED PARK SHELTER - SEE ARCHITECT  
P TRANSFORMER  
Q MONUMENT / DIGITAL SIGN

\*\*SEE C.200 OVERALL SITE PLAN FOR SITE NOTES



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AM A DULY LICENSED PROFESSIONAL ENGINEER  
UNDER THE LAWS OF THE STATE OF MINNESOTA.  
*Shari Lynn S. Ahrens*  
SHARI LYNN S. AHRENS  
DATE: 03/17/2025 LICENSE NO. 42797

Revision Schedule			#
No.	Date	Description	

**KELLEY PARK IMPROVEMENTS**  
CITY OF APPLE VALLEY  
6855 FORTINO STREET  
APPLE VALLEY, MN

Project Number	23485
Issue	100% CD SET
Date	03-17-2025

CIVIL SITE PLAN -  
WEST  
**SHEET**  
**C.201**

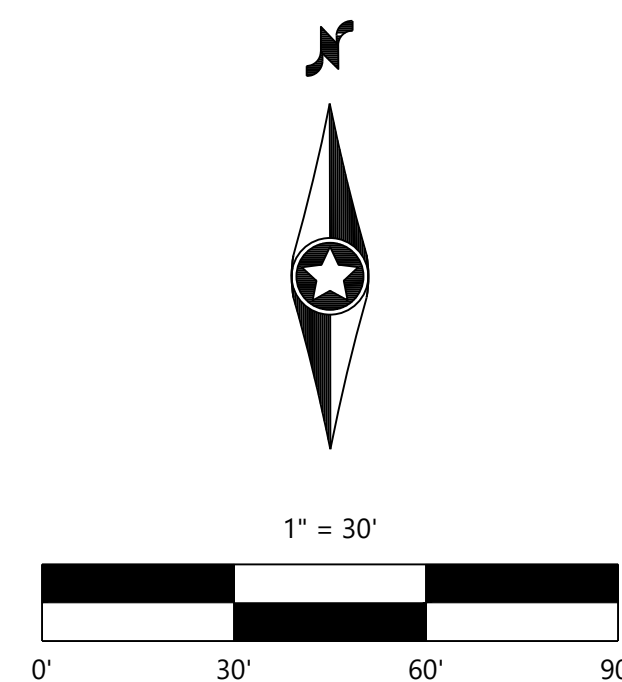


EXISTING	PROPOSED	
		PROPERTY LINE
		LOT LINE
		SETBACK LINE
		EASEMENT LINE
		CURB AND GUTTER
		TIP-OUT CURB AND GUTTER
		POND NORMAL WATER LEVEL
		RETAINING WALL
		FENCE
		CONCRETE PAVEMENT
		CONCRETE SIDEWALK
		HEAVY DUTY CONCRETE
		COLORADO CONCRETE
		HEAVY DUTY BITUMINOUS PAVEMENT
		NORMAL DUTY BITUMINOUS PAVEMENT
		NUMBER OF PARKING STALLS
		TRANSFORMER
		SITE LIGHTING
		TRAFFIC SIGN
		POWER POLE
		BOLLARD / POST

- 1 **B618** CURB AND GUTTER
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A	SAWCUT LINE
B	SNOW STORAGE AREA
C	TRANSFORMER PAD
D	CONDENSER LOCATION, REFER TO MECH.
E	MECHANICAL EQUIPMENT, REFER TO MECH.
F	SITE FURNISHINGS - REFER TO LANDSCAPE ARCHITECT
G	PLAY EQUIPMENT - REFER TO LANDSCAPE ARCHITECT
I	PRECAST CONCRETE SEAT WALL - REFER TO LANDSCAPE ARCHITECT
J	BERM
K	INFILTRATION BASIN
L	PERFORMANCE LAWN - REFER TO LANDSCAPE ARCHITECT
M	TRELLIS - REFER TO LANDSCAPE ARCHITECT
N	PARK RESTROOM BUILDING - SEE ARCHITECT
O	PROPOSED PARK SHELTER - SEE ARCHITECT
P	TRANSFORMER
Q	MONUMENT / DIGITAL SIGN

\*\*SEE C.200 OVERALL SITE PLAN FOR SITE NOTES



SHARI LYNN S. AHRENS  
DATE: 03/17/2025 LICENSE NO. 42797

[illegible]

**KELLEY PARK IMPROVEMENTS**  
CITY OF APPLE VALLEY  
6855 FORTINO STREET  
APPLE VALLEY, MN

CIVIL SITE PLAN -  
EAST  
**SHEET**  
C.202



File Location: N:\0058353.00\dwg\Civil\0058353.01C-GD01 / SAVE DATE: 3/17/2025 10:23 PM BY: NTMeyer / PLOT DATE: 3/18/2025 8:42 AM BY: Nic Meyer

THE LINE SHOWN ABOVE IS  
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THE SQUARE SHOWS DIMENSIONS  
WITH REBAR AND WHITE LETTERS  
IF PAINTED CORRECTLY

GALANTE ST

152ND ST W

FORTINO ST

FOLIAGE AVE.

IMPERVIOUS AREAS	
EXISTING	2.8 ACRES
PROPOSED	3.7 ACRES

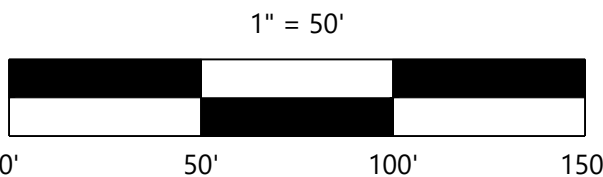
### GRADING LEGEND

EXISTING	PROPOSED	
		PROPERTY LINE
		INDEX CONTOUR
		INTERVAL CONTOUR
		SPOT ELEVATION
		HIGH/LOW POINT
		CL-CL ELEVATION
		FLOW DIRECTION
		TOP AND BOTTOM OF RETAINING WALL
		EMERGENCY OVERFLOW
		STORM SEWER
		TREE LINE
		RETAINING WALL (MODULAR BLOCK)
		GRADING LIMITS
		SILT FENCE
		HEAVY DUTY SILT FENCE
		REDUNDANT SEDIMENT CONTROL
		INLET PROTECTION
		ROCK CONSTRUCTION ENTRANCE
		EROSION CONTROL BLANKET
		POND NORMAL WATER LEVEL
		WETLAND LINE
		DO NOT DISTURB

DND

### GRADING NOTES

- LOCATIONS AND ELEVATIONS OF EXISTING TOPOGRAPHY AND UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY SITE CONDITIONS AND UTILITY LOCATIONS PRIOR TO EXCAVATION/CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND.
- ALL EXCAVATION SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF "STANDARD SPECIFICATIONS FOR TRENCH EXCAVATION AND BACKFILL/SURFACE RESTORATION" AS PREPARED BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA.
- ALL DISTURBED UNPAVED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL AND SOD OR SEED. THESE AREAS SHALL BE WATERED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED. SEE LANDSCAPE PLAN FOR PLANTING AND TURF ESTABLISHMENT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGMEN AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. PLACEMENT OF THESE DEVICES SHALL BE APPROVED BY THE ENGINEER PRIOR TO PLACEMENT. TRAFFIC CONTROL DEVICES SHALL CONFORM TO APPROPRIATE MNDOT STANDARDS.
- ALL SLOPES SHALL BE GRADED TO 3:1 OR FLATTER, UNLESS OTHERWISE INDICATED ON THIS SHEET.
- CONTRACTOR SHALL UNIFORMLY GRADE AREAS WITHIN LIMITS OF GRADING AND PROVIDE A SMOOTH FINISHED SURFACE WITH UNIFORM SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE SHOWN OR BETWEEN SUCH POINTS AND EXISTING GRADES.
- SPOT ELEVATIONS SHOWN INDICATE FINISHED PAVEMENT ELEVATIONS & GUTTER FLOW LINE UNLESS OTHERWISE NOTED. PROPOSED CONTOURS ARE TO FINISHED SURFACE GRADE.**
- SEE SOILS REPORT FOR PAVEMENT THICKNESSES AND HOLD DOWNS.
- CONTRACTOR SHALL DISPOSE OF ANY EXCESS SOIL MATERIAL THAT EXISTS AFTER THE SITE GRADING AND UTILITY CONSTRUCTION IS COMPLETED. THE CONTRACTOR SHALL DISPOSE OF ALL EXCESS SOIL MATERIAL IN A MANNER ACCEPTABLE TO THE OWNER AND THE REGULATING AGENCIES.
- CONTRACTOR SHALL PROVIDE A STRUCTURAL RETAINING WALL DESIGN CERTIFIED BY A LICENSED PROFESSIONAL ENGINEER.
- ALL CONSTRUCTION SHALL CONFORM TO LOCAL, STATE AND FEDERAL RULES INCLUDING THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT REQUIREMENTS.
- PRIOR TO PLACEMENT OF ANY STRUCTURE OR PAVEMENT, A PROOF ROLL, AT MINIMUM, WILL BE REQUIRED ON THE SUBGRADE. PROOF ROLLING SHALL BE ACCOMPLISHED BY MAKING MINIMUM OF 2 COMPLETE PASSES WITH FULLY-LOADED TANDEM-AXLE DUMP TRUCK, OR APPROVED EQUAL, IN EACH OF 2 PERPENDICULAR DIRECTIONS WHILE UNDER SUPERVISION AND DIRECTION OF THE INDEPENDENT TESTING LABORATORY. AREAS OF FAILURE SHALL BE EXCAVATED AND RE-COMPACTED AS SPECIFIED HEREIN.
- EMBANKMENT MATERIAL PLACED BENEATH BUILDINGS AND STREET OR PARKING AREAS SHALL BE COMPACTED IN ACCORDANCE WITH THE SPECIFIED DENSITY METHOD AS OUTLINED IN MNDOT 2105.3F1 AND THE REQUIREMENTS OF THE GEOTECHNICAL ENGINEER.
- EMBANKMENT MATERIAL NOT PLACED IN THE BUILDING PAD, STREETS OR PARKING AREA, SHALL BE COMPACTED IN ACCORDANCE WITH REQUIREMENTS OF THE ORDINARY COMPACTION METHOD AS OUTLINED IN MNDOT 2105.3F2.
- ALL SOILS AND MATERIALS TESTING SHALL BE COMPLETED BY AN INDEPENDENT GEOTECHNICAL ENGINEER. EXCAVATION FOR THE PURPOSE OF REMOVING UNSTABLE OR UNSUITABLE SOILS SHALL BE COMPLETED AS REQUIRED BY THE GEOTECHNICAL ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL REQUIRED SOILS TESTS AND INSPECTIONS WITH THE GEOTECHNICAL ENGINEER.
- FINAL GRADING TOLERANCES - TOLERANCES ON GRADING EMBANKMENTS, SWALES, SLOPES AND PONDS SHALL BE PLUS OR MINUS 0.2'. FOR THE PROPOSED ROADWAYS AND TRAILS, TOLERANCES SHALL BE PLUS/MINUS 0.1'.



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*Shari Lynn S. Ahrens*  
SHARI LYNN S. AHRENS  
DATE: 03/17/2025 LICENSE NO. 42797

#### Revision Schedule

No.	Date	Description

KELLEY PARK IMPROVEMENTS

CITY OF APPLE VALLEY  
6855 FORTINO STREET  
APPLE VALLEY, MN

Project Number	23485
Issue	100% CD SET
Date	03-17-2025

OVERALL CIVIL  
GRADING PLAN  
**SHEET**  
**C.300**

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EXACTLY ONE INCH LONG AT THIS  
SHEET'S ORIGINAL PLOT SIZE

THE SQUARE ABOVE EACH LETTER OR  
WITH EACH AND WHITE LETTERS  
IF PRINTED CORRECTLY

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B

A

GALANTE ST

152ND ST W

FORTINO ST

153RD ST W

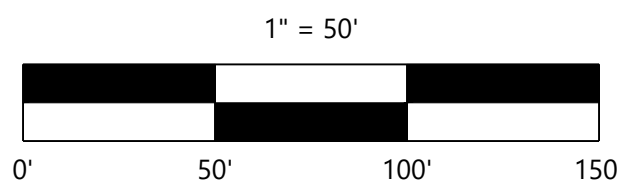
FOLIAGE AVE

## OVERALL UTILITY LEGEND

EXISTING	PROPOSED	FUTURE	
SAN			SANITARY SEWER
ST			STORM SEWER
DT			DRAIN TILE
WAT			WATER MAIN
WAT			HYDRANT

## GENERAL UTILITY NOTES

- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND LIMITED MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION SHALL NOT BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY THE OWNER OR ENGINEER OF DISCREPANCIES.
- ALL SANITARY SEWER, STORM SEWER AND WATER MAIN MATERIAL AND INSTALLATIONS SHALL BE PER CITY REQUIREMENTS, MINNESOTA PLUMBING CODE, AND IN ACCORDANCE WITH THE CURRENT EDITION OF "STANDARD SPECIFICATIONS FOR WATER MAIN AND SERVICE LINE INSTALLATION AND SANITARY SEWER AND STORM SEWER INSTALLATION" AS PREPARED BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN THE NECESSARY FEDERAL, STATE AND LOCAL PERMITS FOR THE PROPOSED WORK OR VERIFY WITH THE OWNER OR ENGINEER THAT PERMITS HAVE BEEN OBTAINED. PERMIT FEES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR UNLESS OTHERWISE ARRANGED WITH THE OWNER.
- ALL PRIVATE UTILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE APPROPRIATE UTILITY COMPANY. THE CONTRACTOR SHALL COORDINATE THE SERVICE LINE CONSTRUCTION WITH THE UTILITY COMPANIES.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY CITY PERMITS FOR UTILITY CONNECTIONS, AND UTILITIES SHALL BE INSPECTED AND APPROVED BY THE CITY. THE CITY SHALL BE NOTIFIED 48-HOURS PRIOR TO COMMENCING WITH THE UTILITY CONSTRUCTION OR ANY REQUIRED TESTING. CONTRACTOR SHALL NOT OPERATE, INTERFERE WITH, CONNECT ANY PIPE OR HOSE TO, OR TAP ANY WATER MAIN BELONGING TO THE CITY UNLESS DULY AUTHORIZED TO DO SO BY THE CITY. ANY ADVERSE CONSEQUENCES OF SCHEDULED OR UNSCHEDULED DISRUPTIONS OF SERVICE TO THE PUBLIC ARE TO BE THE RESPONSIBILITY OF THE CONTRACTOR.
- WATER MAIN LENGTHS AS SHOWN ARE APPROXIMATE HORIZONTAL LENGTHS. ALLOW FOR ADDITIONAL PIPE WHEN INSTALLING ON SLOPES OR WHEN DEFLECTIONS ARE REQUIRED. THE JOINT DEFLECTIONS SHALL NOT EXCEED THE MAXIMUM RECOMMENDED BY THE PIPE MANUFACTURER OR BY LOCAL GOVERNING SPECIFICATIONS. FITTINGS REQUIRED TO CONSTRUCT WATER MAIN SHALL BE INCLUDED IN WATER MAIN CONSTRUCTION.
- A MINIMUM VERTICAL SEPARATION OF 18 INCHES IS REQUIRED AT ALL WATER LINE CROSSINGS 18 INCHES WITH SANITARY, 36 INCHES WITH STORM SEWER. THE WATER LINE SHALL NOT HAVE JOINTS OR CONNECTION WITHIN 10- FEET OF THE CROSSING.
- UTILITY SERVICES TYPICALLY TERMINATE 5' OUTSIDE BUILDING WALL UNLESS OTHERWISE SHOWN OR NOTED.
- ALL WATER LINES SHALL HAVE 7.5' MINIMUM COVER. INSULATE WATER MAIN IF LESS THAN 7.5' OF COVER. INSULATION SHALL BE DOW STYROFOAM HI BRAND 35 OR EQUIVALENT, WITH 4 INCHES OF THICKNESS.
- STORM SEWER PIPE:
  - RCP AND HDPE PIPE MAY BE INSTALLED WITH APPROVAL OF LOCAL GOVERNING AGENCY.
  - REINFORCED CONCRETE PIPE SHALL BE CLASS 5 FOR PIPE DIAMETERS 18" AND SMALLER, CLASS 3 FOR PIPE DIAMETERS 21" AND LARGER UNLESS OTHERWISE NOTED, PER ASTM C76 WITH R-4 GASKETS.
  - HDPE STORM PIPE 4- TO 10-INCHES IN DIAMETER SHALL MEET REQUIREMENTS OF AASHTO M252. HDPE STORM PIPE 12- TO 60-INCHES IN DIAMETER SHALL MEET REQUIREMENTS OF ASTM F2306. FITTINGS SHALL BE PER ASTM D3212 AND INSTALLED PER ASTM D2321.
  - PVC STORM SEWER PIPE AND FITTINGS SHALL BE SCHEDULE 40 PIPE PER ASTM D2665 AND INSTALLED PER ASTM D2321.
  - CORRUGATED METAL PIPE (CMP) FOR SIZES 18- TO 120-INCH AND MUST MEET ASTM A760 OR ASTM A796 AND BE INSTALLED PER ASTM A798. CMP MAY NOT BE INSTALLED WITHIN 10- FEET OF A WATERMAIN, WATER SERVICE, OR A BUILDING.
  - ALL STORM SEWER JOINTS AND STRUCTURE CONNECTIONS SHALL BE GASTIGHT OR WATERTIGHT AS REQUIRED BY MINNESOTA PLUMBING CODE, PART 707.3. STORM SEWER LOCATED WITHIN 10- FEET OF A BUILDING AND/OR WATER LINE SHALL BE TESTED PER MINNESOTA PLUMBING CODE, PART 712.
- ALL NONCONDUCTIVE PIPE SHALL BE INSTALLED WITH A LOCATE (TRACER) WIRE PER MINNESOTA RULES, PART 7560.0150.
- AFTER CONSTRUCTION IS COMPLETED, THE CONTRACTOR SHALL PROVIDE THE OWNER WITH AN AS-BUILT RECORD OF UTILITY CONSTRUCTION. THE AS-BUILT SHALL INCLUDE LOCATION AND LENGTH DEVIATIONS OR CHANGES TO THE PLAN. CONTRACTOR TO VERIFY WITH OWNER OR ENGINEER WHETHER A PLAN WITH POST-CONSTRUCTION ELEVATIONS IS REQUIRED.
- ALL MANHOLE CASTINGS IN PAVED AREAS SHALL BE SUMPED 0.05 FEET. ALL CATCH BASIN CASTINGS IN CURB SHALL BE SUMPED 0.15 FEET. RIM ELEVATIONS ON PLAN REFLECT THE SUMPED ELEVATIONS.



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*Shari Lynn S. Ahrens*

SHARI LYNN S. AHRENS  
DATE: 03/17/2025 LICENSE NO. 42797

### Revision Schedule

No.	Date	Description

**KELLEY PARK IMPROVEMENTS**

CITY OF APPLE VALLEY

6855 FORTINO STREET

APPLE VALLEY, MN

Project Number	23485
Issue	100% CD SET
Date	03-17-2025

OVERALL CIVIL  
UTILITY PLAN

**SHEET**

**C.500**

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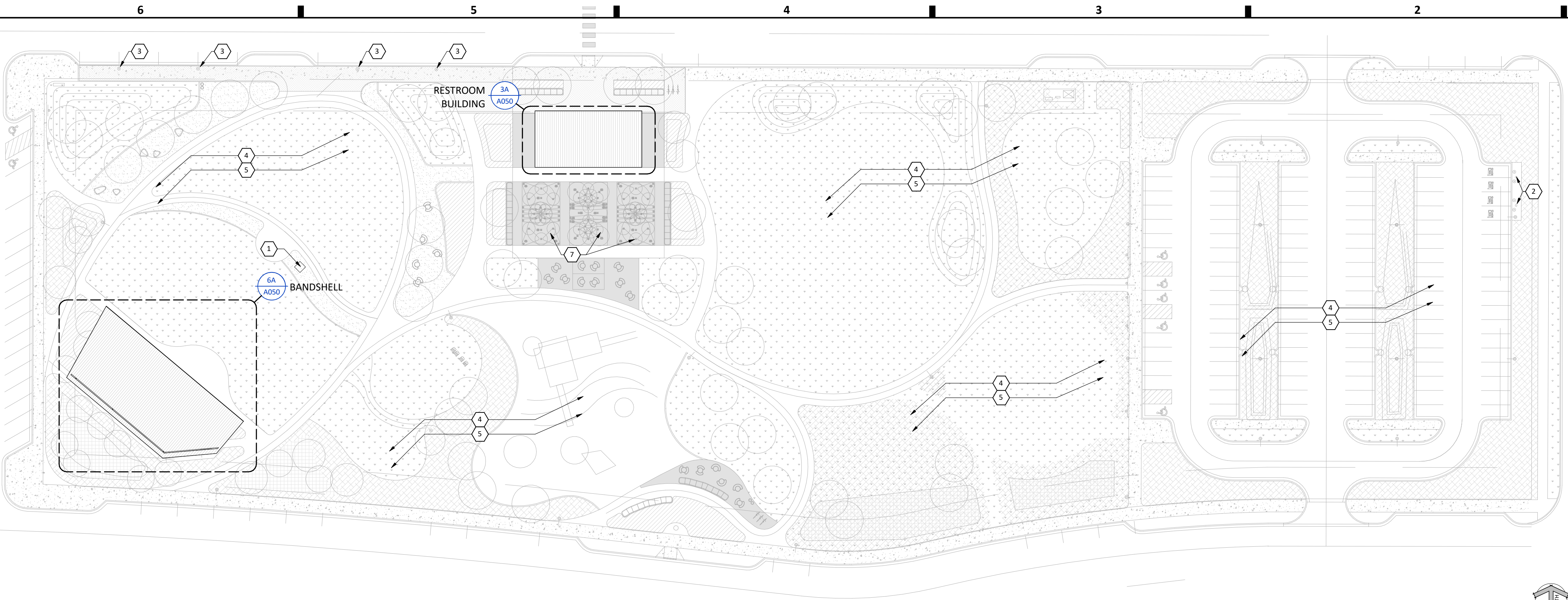


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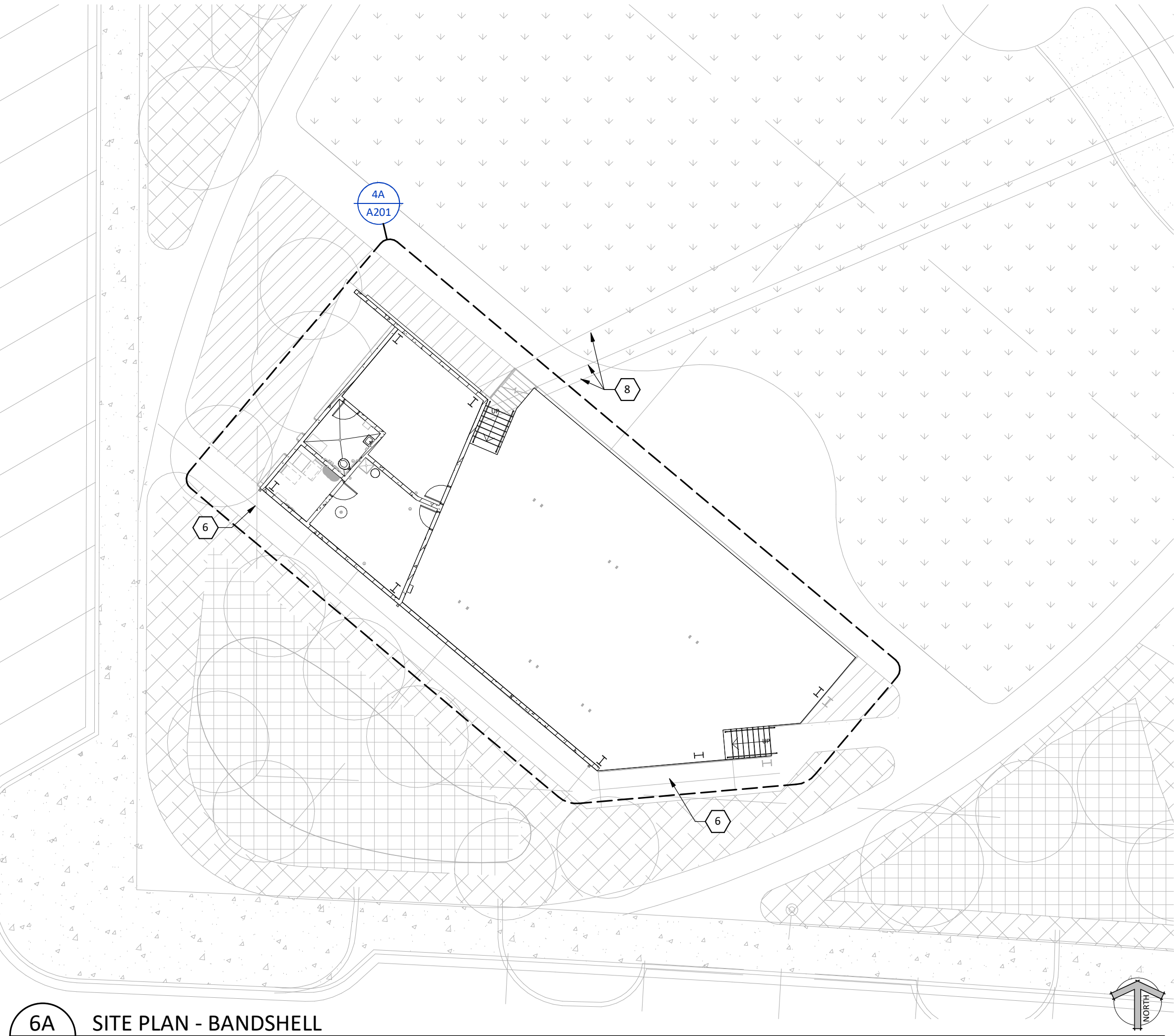
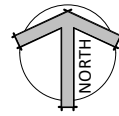
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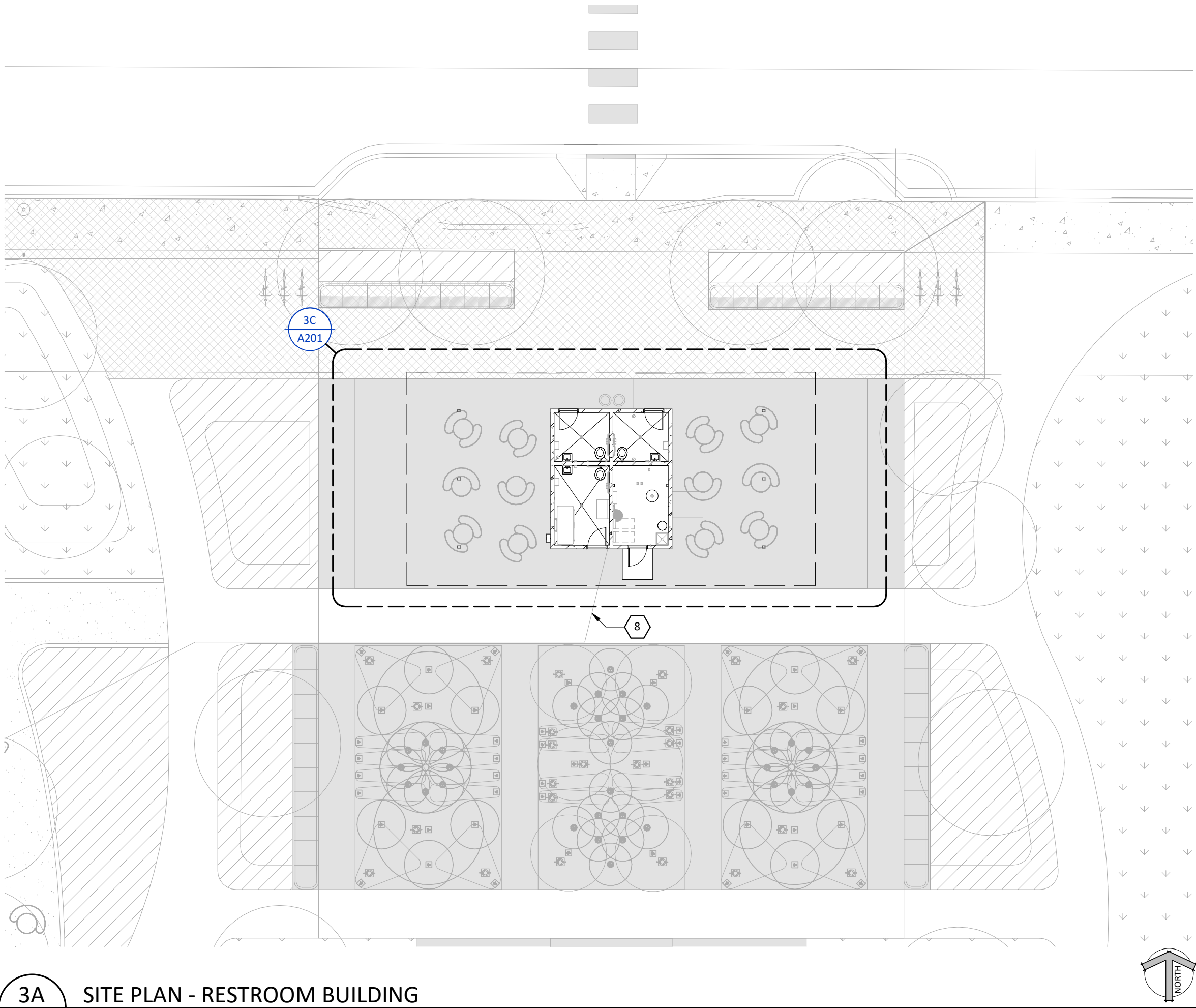


6C OVERALL SITE PLAN  
SCALE: 1" = 40'-0"

KEYNOTES - SITE PLAN		
NO.	NOTE	REV.
1	REMOTE VAULT FOR CONTROL BOARD, SEE LANDSCAPE AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION	
2	PROPOSED FUTURE EV CHARGING STATION, REFER TO ELEC. DRAWINGS FOR ADDITIONAL INFORMATION	
3	PROPOSED POWER BOLLARD FOR MULTIPURPOSE HOOK-UPS, REFER TO LANDSCAPE AND ELEC. DRAWINGS FOR ADDITIONAL INFORMATION	
4	SEE CIVIL SHEETS UNDER SEPARATE COVER FOR PLAYGROUNDS, SITE CONCRETE, SIDEWALKS, PARKING, AND SITE UTILITIES	
5	SEE LANDSCAPE DRAWINGS FOR PLANTINGS AND SITE FEATURES	
6	SLOPED WALK ACCESS TO STAGE AREA, SEE CIVIL DRAWINGS FOR ADDITIONAL INFORMATION	
7	SEE AQUATICS PLANS FOR SPLASH PAD AND ASSOCIATED UTILITIES WORK	
8	SEE ELECTRICAL PLANS FOR UNDERGROUND CONDUIT WORK	



6A SITE PLAN - BANDSHELL  
SCALE: 1/16" = 1'-0"



3A SITE PLAN - RESTROOM BUILDING  
SCALE: 1/16" = 1'-0"

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OF THE STATE OF MINNESOTA  
THOMAS JAMES BETTI  
REG. NO. 44897  
DATE 3/17/2025

### REVISION SCHEDULE

NO.	DESCRIPTION	DATE
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KELLEY PARK  
CITY OF APPLE VALLEY  
6855 FORTINO STREET  
APPLE VALLEY, MN

Project Number 24327  
Issue 100% CD SET  
Date 03-17-25

### SITE PLANS

A050



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## FINISH SCHEDULE REMARKS

1. DRY FALL PAINT: PAINT ALL EXPOSED METAL CEILING STRUCTURE, INCLUDING STRUCTURAL, MECHANICAL AND ELECTRICAL COMPONENTS, INCLUDING, BUT NOT LIMITED TO: DUCTS, CONDUITS, JUNCTION BOXES, PIPES, SUPPORT WIRES/CABLES, UNISTRUTS. ALL EXPOSED GALVANIZED SURFACES TO BE PAINTED TO MATCH CEILING COLOR UNLESS NOTED OTHERWISE.
2. PAINT EXPOSED STEEL COLUMNS.
3. FRP TO BE LOCATED 48" ON EITHER SIDE OF FLOOR SINK (UNLESS OBSTRUCTED BY DOOR) UP TO 96" ABOVE FINISHED FLOOR. REFERENCE G120 MOUNTING HEIGHTS.
4. FRP TO BE INSTALLED ABOVE STOREFRONT. ALIGN VERTICAL FRP JOINTS WITH STOREFRONT MULLIONS. REFERENCE GLAZING DETAILS.
5. REFER TO REFLECTED CEILING PLANS.
6. REFER TO FLOOR PLAN FOR FINISH/MATERIAL DIRECTION.

## GENERAL NOTES - FLOOR DRAINAGE

- A. FLOOR SLOPES DEPICTED TO ILLUSTRATE DESIGN INTENT ONLY.
- B. THE FINISH FLOOR ELEVATIONS, AS COORDINATED WITH CIVIL DRAWINGS, SHALL BE TRUE AT ALL WALL-TO-FLOOR TRANSITIONS UNLESS NOTED OTHERWISE.
- C. CONCRETE CONTRACTOR SHALL COORDINATE WITH PLUMBING CONTRACTOR TO ENSURE THAT ALL FLOORS SLOPE TO DRAINS (WHERE PROVIDED).
- D. FLOOR SLOPES SHALL BE MIN. 1/8" PER 12".
- E. PLUMBING CONTRACTOR SHALL DETERMINE DRAIN ELEVATIONS TO ALLOW FOR REQUIRED SLOPES NOTED ABOVE.
- F. REFER TO PLUMBING SHEETS FOR FLOOR DRAIN LOCATIONS AND TYPES.

## GENERAL NOTES - FLOOR PLAN

- A. FOR TYPICAL BARRIER FREE TOILET ROOM TYPES AND ACCESSORIES REQUIREMENTS AND LOCATIONS SEE G120 MOUNTING HEIGHTS.
- B. ALL PARTITION TYPES ARE "M8" TYPICALLY UNLESS OTHERWISE NOTED.
- C. COORDINATE PARTITION FIRE RATED REQUIREMENTS AS INDICATED ON LIFE SAFETY PLANS.
- D. TYPICALLY INSTALL SOAP DISPENSERS AND PAPER TOWEL DISPENSER AT ALL SINKS UNLESS NOTED OTHERWISE.
- E. PROVIDE WALL REINFORCEMENT AT WALL-MOUNTED SHELVES AND STORAGE UNITS, MARKER BOARDS, BULLETIN BOARDS, TACK BOARDS, TELEVISIONS AND OTHER CONTRACTOR OR OWNER FURNISHED WALL-MOUNTED ITEMS, AS REQUIRED.
- F. COORDINATE DIMENSIONS W/ ASTERISK (IE - "X-X") W/ EQUIPMENT VENDOR.
- G. PROVIDE BULLNOSE ON ALL CMU OUTSIDE CORNERS - TYPICAL.
- H. PAINT ALL EXPOSED, UNFINISHED CMU UNLESS NOTED OTHERWISE.
- I. FOR INTERIOR METAL STUD CONSTRUCTION ALL DIMENSIONS ARE TO FACE OF METAL STUDS UNLESS NOTED OTHERWISE.
- J. ALL DIMENSIONS INDICATED AS 'CLEAR' ARE TO FACE OF FINISH (GYPSUM, TILE, ETC.).
- K. ALL MASONRY DIMENSIONS ARE TO FACE OF MASONRY UNLESS NOTED OTHERWISE.
- L. ALL EXTERIOR OPENING DIMENSIONS ARE ROUGH OPENINGS.
- M. PROVIDE APPROPRIATE FLOORING TRANSITION TYPE. CENTER UNDER DOOR UNLESS NOTED OTHERWISE AT DOOR LOCATIONS.
- N. COORDINATE ALL FLOOR OPENING DIMENSIONS AND CLEARANCES FOR DUCTWORK W/ MECHANICAL CONTRACTOR - TYPICAL.
- O. REFERENCE SPECIFICATIONS FOR MATERIALS LISTED IN FINISH SCHEDULE.
- P. COORDINATE AND/OR CONFIRM ANY DIMENSIONAL DISCREPANCIES WITH ARCHITECT PRIOR TO INSTALLATION.

## KEYNOTES - FLOOR PLAN

NO	NOTE	REV.
1	MOP SINK AND FAUCET; SEE PLUMBING. PROVIDE (FRP-1) PER MOUNTING INSTRUCTIONS ON SHEET G120. OWNER TO FURNISH AND INSTALL UTILITY SHELF AND MOP HOLDERS (MOP-1).	
2	FLOOR RECEPTACLE LOCATION; SEE ELECTRICAL	
3	LARGE SCALE VIDEO BOARD BY OWNER; SEE ELECTRICAL FOR POWER/DATA REQUIREMENTS. COORDINATE SUBSTRUCTURE MOUNTING SYSTEM WITH WALL TYPE SHOWN IN PLAN.	
4	EXTENTS OF CONCRETE PAD; VERIFY WITH CIVIL	
5	EXTENTS OF ROOF ABOVE	
6	FLOOR DRAIN LOCATION. SLOPE FLOOR TO CENTER OF ROOM AS DEPICTED IN PLANS. SEE PLUMBING	
7	FLOOR DRAIN LOCATION. PROVIDE 1/8" PER 12" SLOPED CONCRETE AROUND DRAIN AT A RADIUS OF 1'-0". SEE PLUMBING	
8	FIRE EXTINGUISHER LOCATION; SEE G111 LIFE SAFETY PLANS	
9	AED AND SURFACE MOUNTED CABINET LOCATION; SEE G111 LIFE SAFETY PLANS	
10	STOOP AT EXTERIOR OUTSWINGING DOOR; SEE STRUCTURAL	

## SHEET SPEC ID LIST

SPEC ID	SPEC SECTION & DESCRIPTION
---------	----------------------------

## ROOM FINISH SCHEDULE - RESTROOM BUILDING

NUMBER	ROOM		BASE	FLOOR	WALLS				CEILING	REMARKS
	NAME				NORTH	EAST	SOUTH	WEST		
100	STORAGE/ JANITOR/ MECH		SEALANT-1	CSLR-1	PT-1	PT-1 / FRP-1	PT-1 / FRP-1	PT-1	ST-1	1, 3
101	TOILET		SEALANT-1	CSLR-1	PT-1	PT-1	PT-1	PT-1	ST-1	1
102	TOILET		SEALANT-1	CSLR-1	PT-1	PT-1	PT-1	PT-1	ST-1	1
103	TOILET		SEALANT-1	CSLR-1	PT-1	PT-1	PT-1	PT-1	ST-1	1

## ROOM FINISH SCHEDULE - BANDSHELL

NUMBER	ROOM		BASE	FLOOR	WALLS				CEILING	REMARKS
	NAME				NORTH	EAST	SOUTH	WEST		
104	STAGE AREA		SEALANT-1	CFIN-2 + CFIN-3	(OPEN)	(OPEN)	RMU-10	RMU-10	SIDING-60	2, 5, 6
105	GREEN ROOM		RB-1	CSLR-1	PT-1	PT-1	PT-1	PT-1 / FRP-2	PT-4	1, 2, 4
106	TOILET		SEALANT-1	CSLR-1	PT-1	PT-1	PT-1	PT-1 / FRP-2	PT-4	1, 4
107	STORAGE/ JANITOR		SEALANT-1	CSLR-1	PT-1	PT-1	PT-1 / FRP-2	PT-1	PT-4	1, 2, 3, 4
108	ELECTRICAL		SEALANT-1	CSLR-1	PT-1	PT-1	PT-1 / FRP-2	PT-1 / FRP-2	PT-4	1, 2, 4

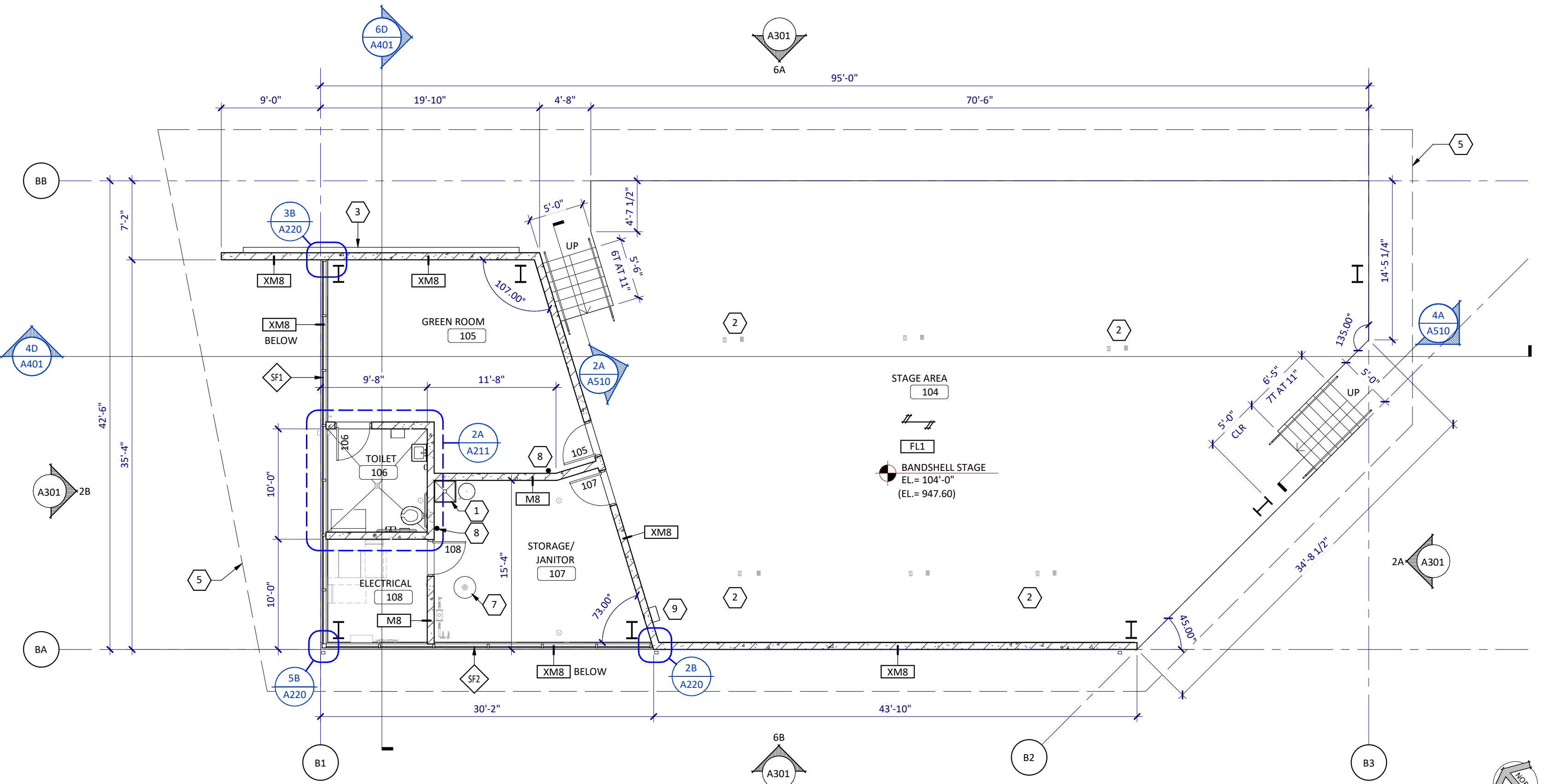
NOTE: ALL MANUFACTURERS AND PRODUCTS LISTED IN THE MATERIAL SCHEDULE SERVE AS THE BASIS OF DESIGN.

## MATERIAL SCHEDULE

CODE	SPEC SECTION	MANUFACTURER	PRODUCT	COLOR	DESCRIPTION
DIVISION 03 - CONCRETE					
03 3000 CAST-IN-PLACE CONCRETE					
CSLR-1	SEALED CONCRETE	WR MEADOWS	VOCOMP-25	LOW GLOSS	INTERIOR FLOORS
CFIN-2	LIGHT BROOM FINISH	-	-	-	STAGE FLOOR
CFIN-5	BOARD FORMED CONCRETE FINISH	ARCHITECTURAL POLYMERS CONCRETE FORMLINERS	#515 OLD TIMBER	-	EXPOSED CONCRETE FOUNDATION WALLS
03 3511 CONCRETE FLOOR FINISHES					
CFIN-3	LIQUID DENSIFIER AND HARDENER	WR MEADOWS	LIQUI-HARD ULTRA	-	STAGE FLOOR
DIVISION 04 - MASONRY					
04 2000 UNIT MASONRY					
RMU-10	ROCK FACED CMU	AMCON	MAMMOTH STONE	ONYX	TYPE 'K' PATTERN
DIVISION 06 - WOOD, PLASTIC AND COMPONENTS					
FRP-1	FIBERGLASS REINFORCED PANELS	MARLITE	STANDARD	WHITE	PEBBLED
FRP-2	FIBERGLASS REINFORCED PANELS	MARLITE	STANDARD	LIGHT GRAY	SMOOTH
DIVISION 07 - THERMAL AND MOISTURE PROTECTION					
07 4113 METAL ROOF PANELS					
MTL PNL-10	METAL ROOF PANEL, NOT INSULATED	PAC-CLAD	TITE-LOC	(TO MATCH REDWOOD PARK)	STANDING SEAM, 16" O.C.
07 4213 METAL WALL PANELS					
MTL PNL-20	METAL WALL PANEL, NOT INSULATED	BERRIDGE	HS-12 PANEL	(TO MATCH MTL PNL-10)	12" PROFILE PANEL
07 4623 WOOD SIDING					
SIDING-60	NATURAL WOOD PANELS	ARBOR WOOD	TONGUE AND GROOVE SOFFIT CLADDING	(SEE ST-2)	THERMALLY MODIFIED WD
07 6200 SHEET METAL FLASHING/TRIM					
SMF-2	PREFINISHED ALUMINUM	SEE SPEC	SEE SPEC	(TO MATCH MTL PNL-10)	ALUM SHEET METAL
DIVISION 08 - OPENINGS					
08 4313 ALUMINUM STOREFRONTS					
ALSTOR-1	ALUMINUM STOREFRONT THERMALLY BROKEN	KAWNEER	VERSAGLAZE 451T	DARK BRONZE	CENTER SET
DIVISION 09 - FINISHES					
09 9123 INTERIOR PAINTING					
PT-1	PAINT	SHERWIN WILLIAMS	PRO INDUSTRIAL WATER BASED CATALYZED EPOXY	EG-SHEL FINISH (COLOR TO BE SELECTED)	INTERIOR CMU WALLS
PT-2	PAINT	SHERWIN WILLIAMS	PRO INDUSTRIAL WATER BASED CATALYZED EPOXY	EG-SHEL FINISH (COLOR TO BE SELECTED)	STRUCTURAL STEEL COLUMNS
PT-3	PAINT	SHERWIN WILLIAMS	PRO INDUSTRIAL MULTI-SURFACE ACRYLIC	SEMI GLOSS FINISH (COLOR TO BE SELECTED)	HOLLOW METAL DOORS AND FRAMES
PT-4	PAINT	SHERWIN WILLIAMS	EPOXY ESTER DRYFALL	FLAT FINISH (COLOR TO BE SELECTED)	EXPOSED GALVANIZED ROOF DECK AND DUCTWORK
09 9300 STAINING AND TRANSPARENT FINISHING					
ST-1	STAIN	SHERWIN WILLIAMS	SUPERDECK MODIFIED OIL TRANSPARENT WOOD STAIN	CLEAR	CLT WOOD DECKING
ST-2	STAIN	CUTEK	EXTREME PENETRATING WOOD STABILIZER	CLEAR	THERMALLY MODIFIED WD

## 3C RESTROOM BUILDING - FLOOR PLAN

SCALE: 1/8" = 1'-0"



## 4A BANDSHELL - FLOOR PLAN

SCALE: 1/8" = 1'-0"

## CONFLUENCE

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I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA  
THOMAS JAMES BETTI  
44897  
3/17/2025  
DATE  
REG. NO.

## REVISION SCHEDULE

NO.	DESCRIPTION	DATE
-----	-------------	------

**KELLEY PARK**  
CITY OF APPLE VALLEY  
6855 FORTINO STREET  
APPLE VALLEY, MN

Project Number	24327
Issue	100% CD SET
Date	03-17-25

## FLOOR PLANS

# A201



3/17/2025 4:21:55 PM

A

B

C

D

## GENERAL NOTES - EXTERIOR ELEVATIONS

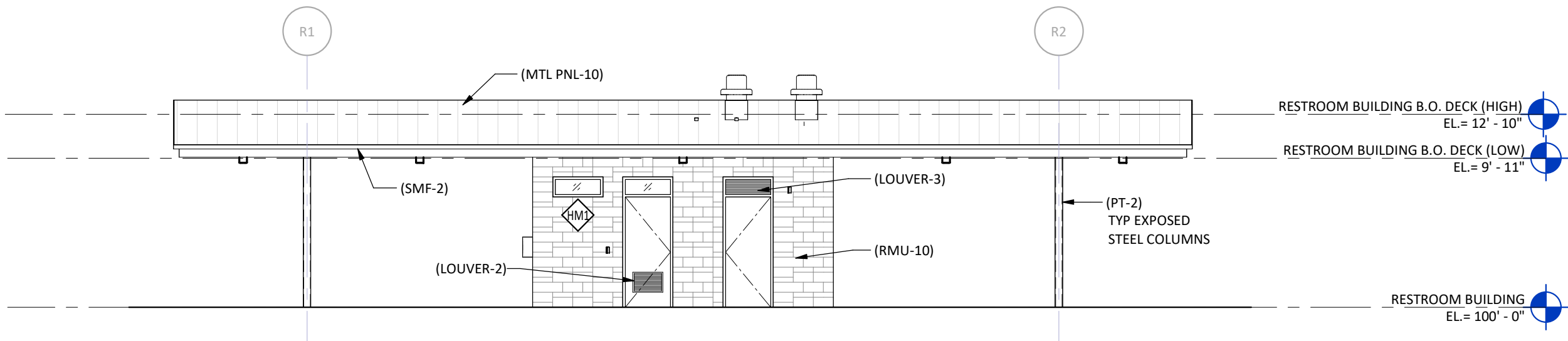
A. REFER TO GLAZING ELEVATIONS ON SHEET A220 FOR STOREFRONT ELEVATIONS & HOLLOW METAL PUNCHED OPENINGS.

## KEYNOTES - EXTERIOR ELEV.

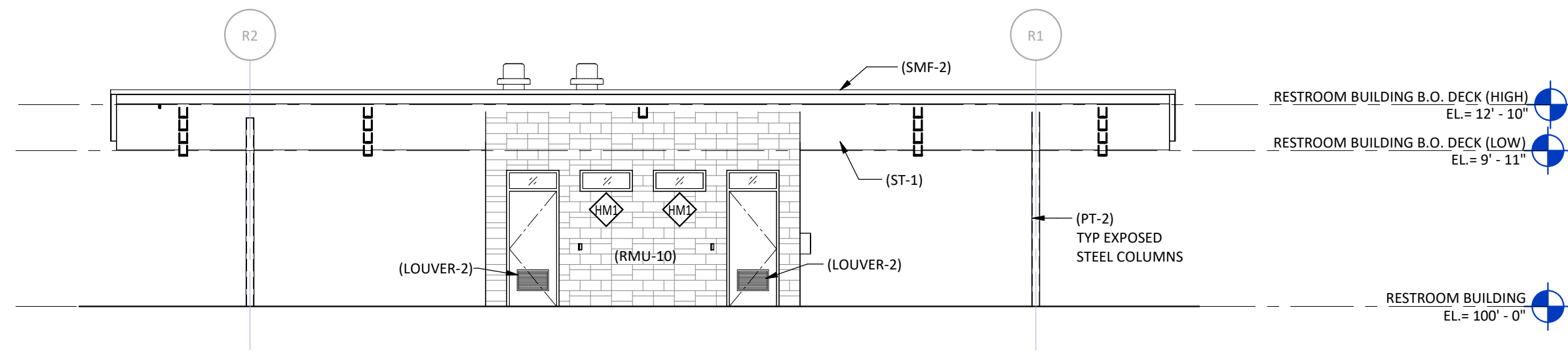
NO	NOTE	REV.
1	LARGE SCALE VIDEO BOARD BY OWNER; SEE ELECTRICAL FOR POWER/DATA REQUIREMENTS. COORDINATE SUBSTRUCTURE MOUNTING SYSTEM WITH WALL TYPE SHOWN IN PLAN.	
2	AED AND SURFACE MOUNTED CABINET LOCATION; SEE G111 LIFE SAFETY PLANS	
3	PREFINISHED METAL GUTTER; (GUTTER-1) SEE SPEC.	
4	PREFINISHED METAL DOWNSPOUT; (DOWNSPOUT-1) SEE SPEC.	

## SHEET SPEC ID LIST

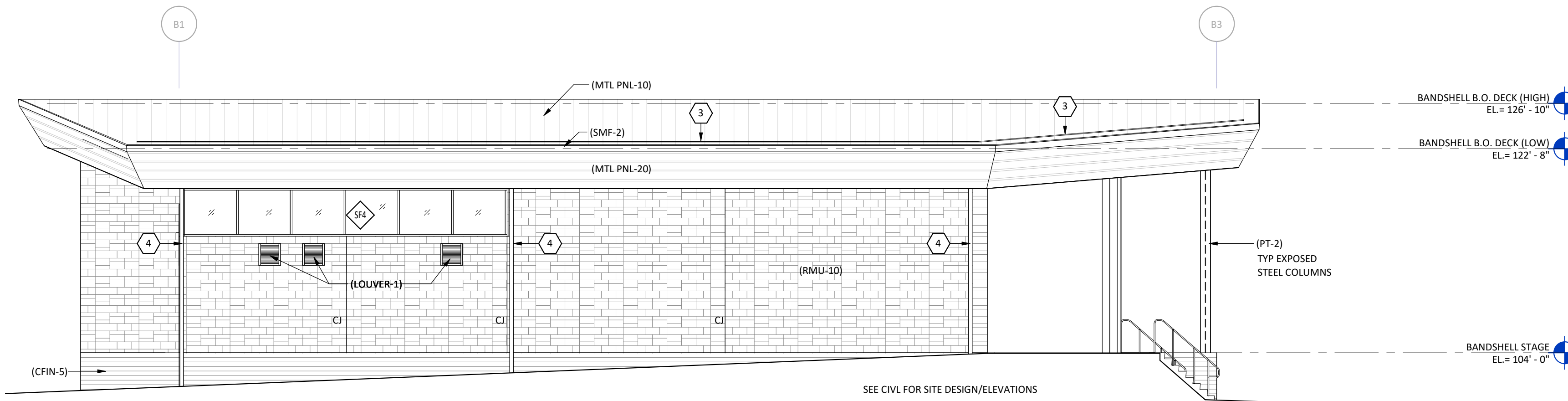
SPEC ID	SPEC SECTION & DESCRIPTION
CFIN-5	03 3000 - CAST IN PLACE CONCRETE FORMLINER FINISH
LOUVER-1	08 9100 - 24"x24" LOUVER
LOUVER-2	08 9100 - 18"x12" LOUVER
LOUVER-3	08 9100 - 36"x12" LOUVER
MTL PNL-10	07 4113 - METAL ROOF PANEL, NOT INSULATED.
MTL PNL-20	07 4213 - METAL WALL PANEL, SINGLE THICKNESS, NOT INSULATED
PT-2	09 9123 - PAINT
RMU-10	04 2000 - ROCK FACED CMU, INTEGRALLY COLORED
SIDING-60	07 4623 - THERMALLY MODIFIED DIMENSIONAL WOOD
SMF-2	07 6200 - PREFINISHED ALUMINUM
ST-1	09 9300 - STAIN



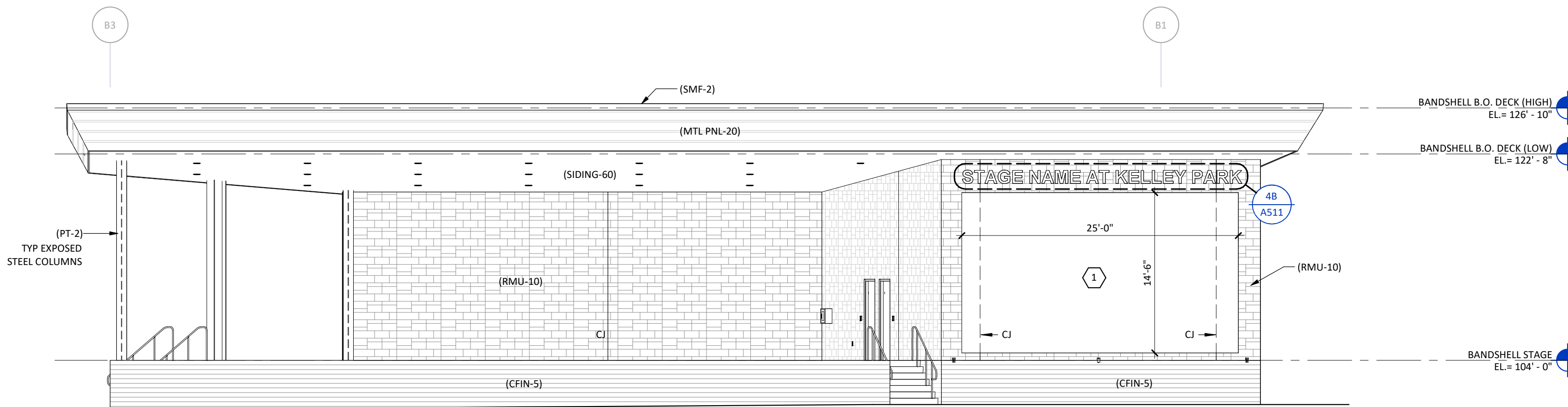
**5D**  
**A301** RESTROOM BUILDING - SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"



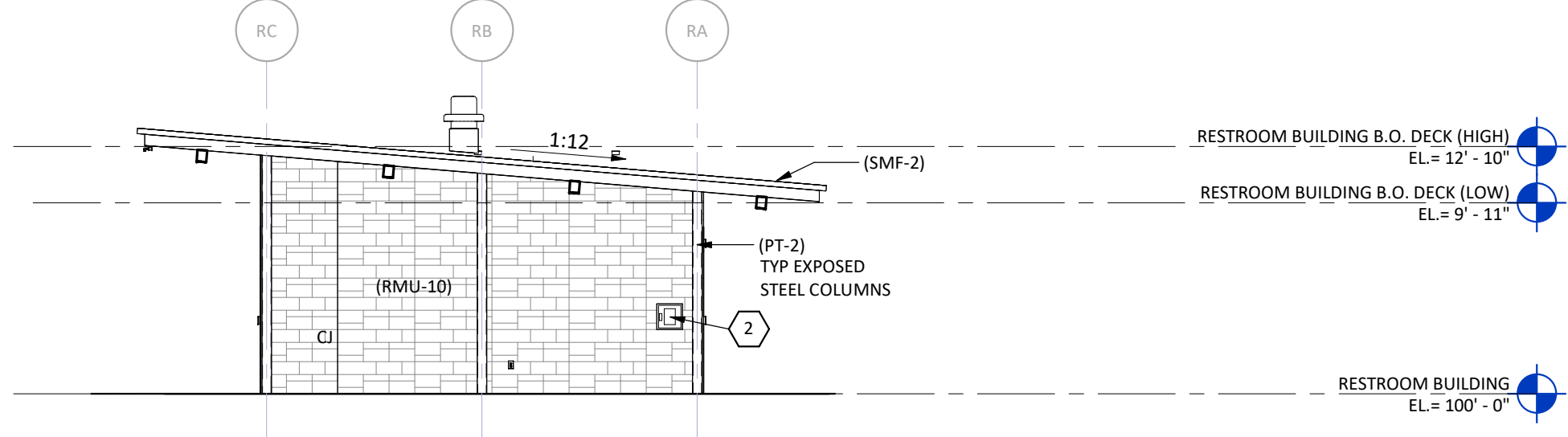
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**A301** RESTROOM BUILDING - NORTH ELEVATION  
SCALE: 1/8" = 1'-0"



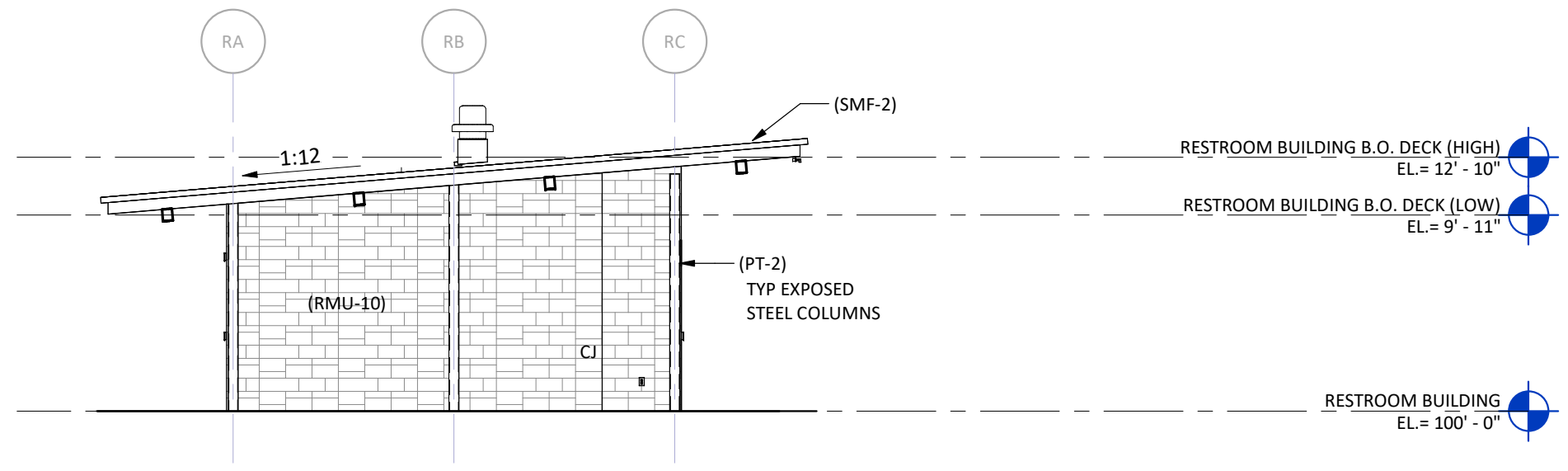
**6B**  
**A301** BANDSHELL - SOUTHWEST ELEVATION  
SCALE: 1/8" = 1'-0"



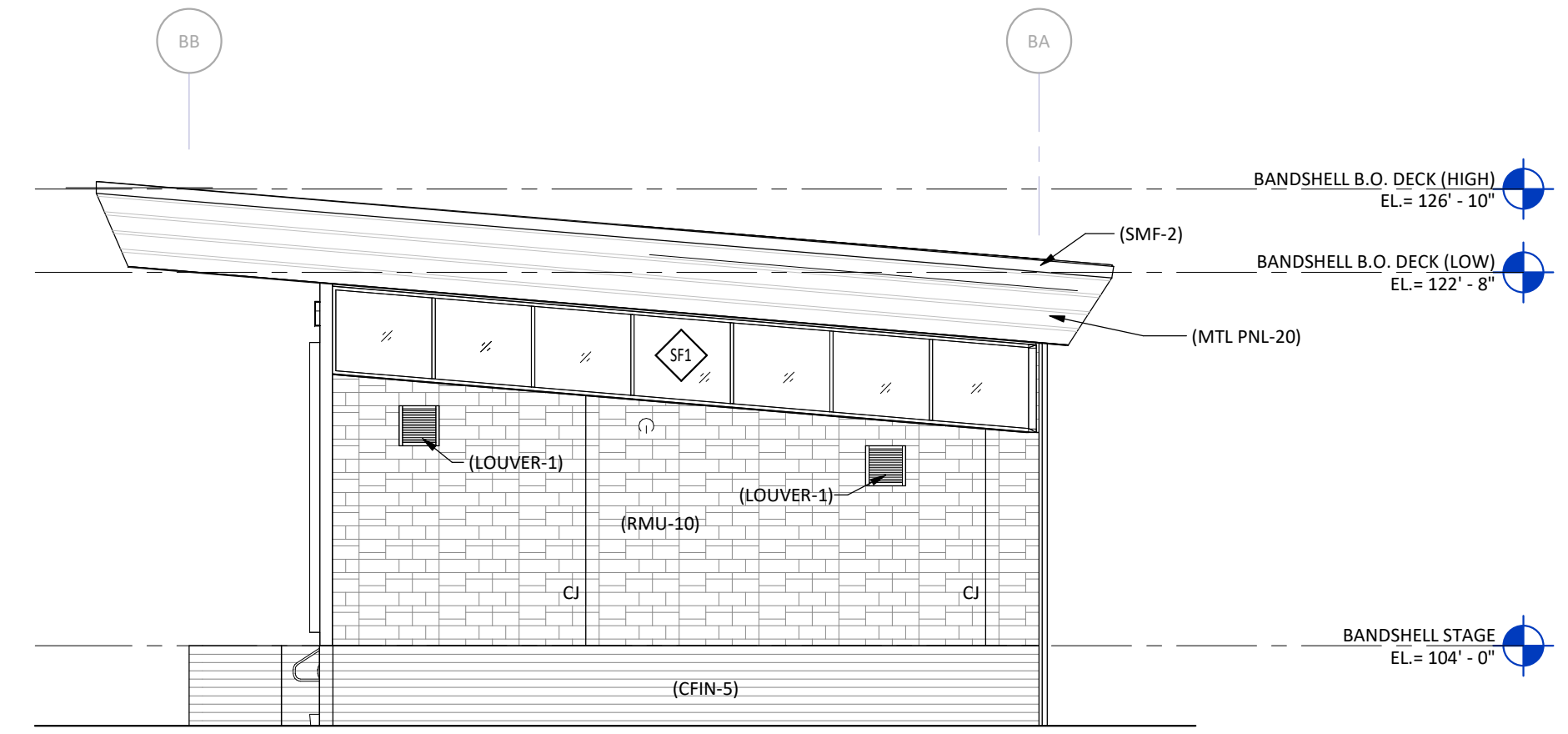
**6A**  
**A301** BANDSHELL - NORTHEAST ELEVATION  
SCALE: 1/8" = 1'-0"



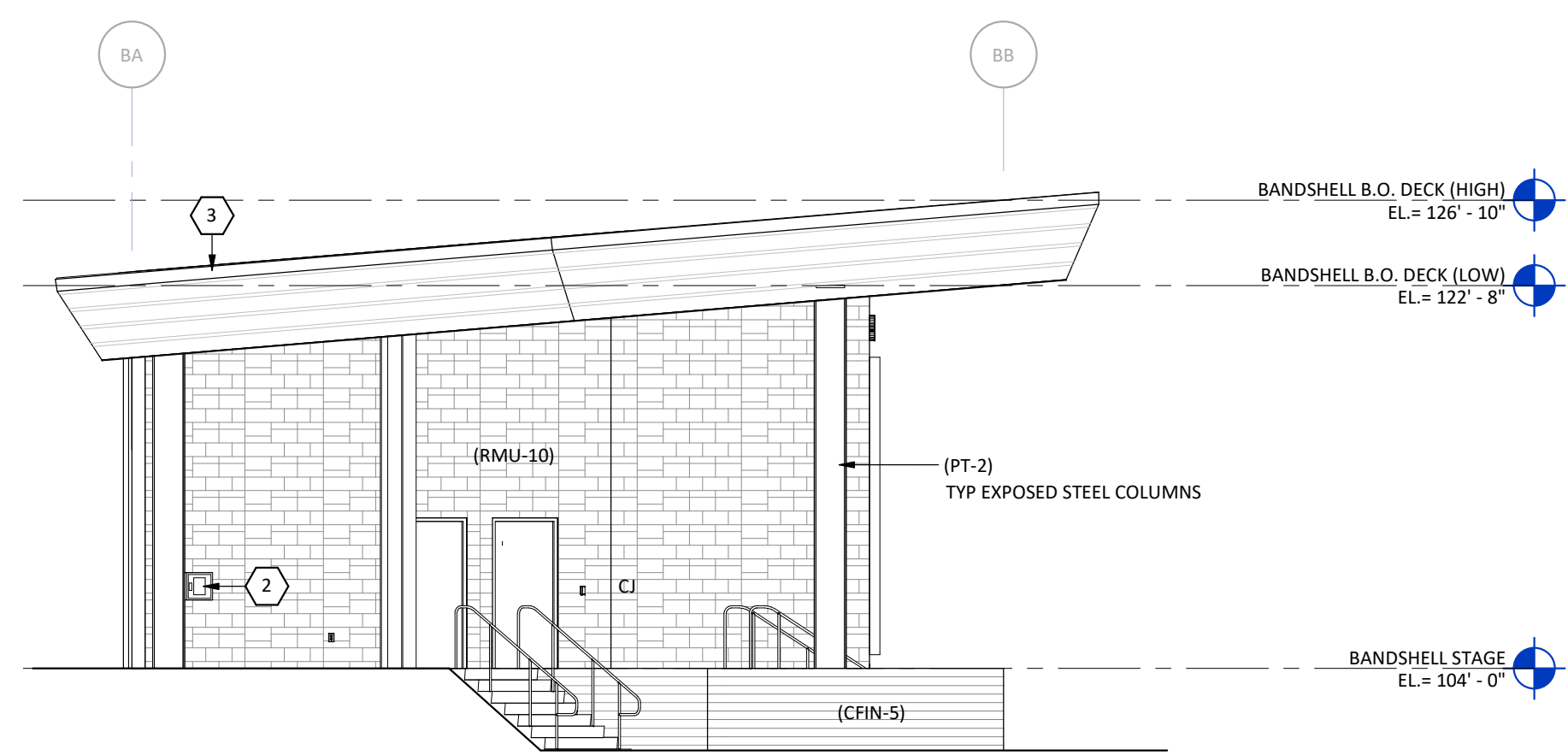
**2D**  
**A301** RESTROOM BUILDING - WEST ELEVATION  
SCALE: 1/8" = 1'-0"



**2C**  
**A301** RESTROOM BUILDING - EAST ELEVATION  
SCALE: 1/8" = 1'-0"



**2B**  
**A301** BANDSHELL - NORTHWEST ELEVATION  
SCALE: 1/8" = 1'-0"



**2A**  
**A301** BANDSHELL - SOUTHEAST ELEVATION  
SCALE: 1/8" = 1'-0"

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OF THE STATE OF MINNESOTA  
THOMAS JAMES BETTI  
44897  
3/17/2025  
DATE  
REG. NO.

## REVISION SCHEDULE

NO.	DESCRIPTION	DATE
-----	-------------	------

**KELLEY PARK**  
CITY OF APPLE VALLEY  
6855 FORTINO STREET  
APPLE VALLEY, MN

Project Number	24327
Issue	100% CD SET
Date	03-17-25

EXTERIOR ELEVATIONS


**A301**

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NAME: TERRY MINARIK

SIGNATURE: 

DATE: 03/17/2025

LIC. NO.: 4242

[illegible]

**KELLEY PARK IMPROVEMENTS**  
CITY OF APPLE VALLEY  
6855 FORTINO STREET  
APPLE VALLEY, MN

Project Number	23
Issue	100% CD S
Date	03-17-2

TREE  
 PRESERVATION  
 PLAN

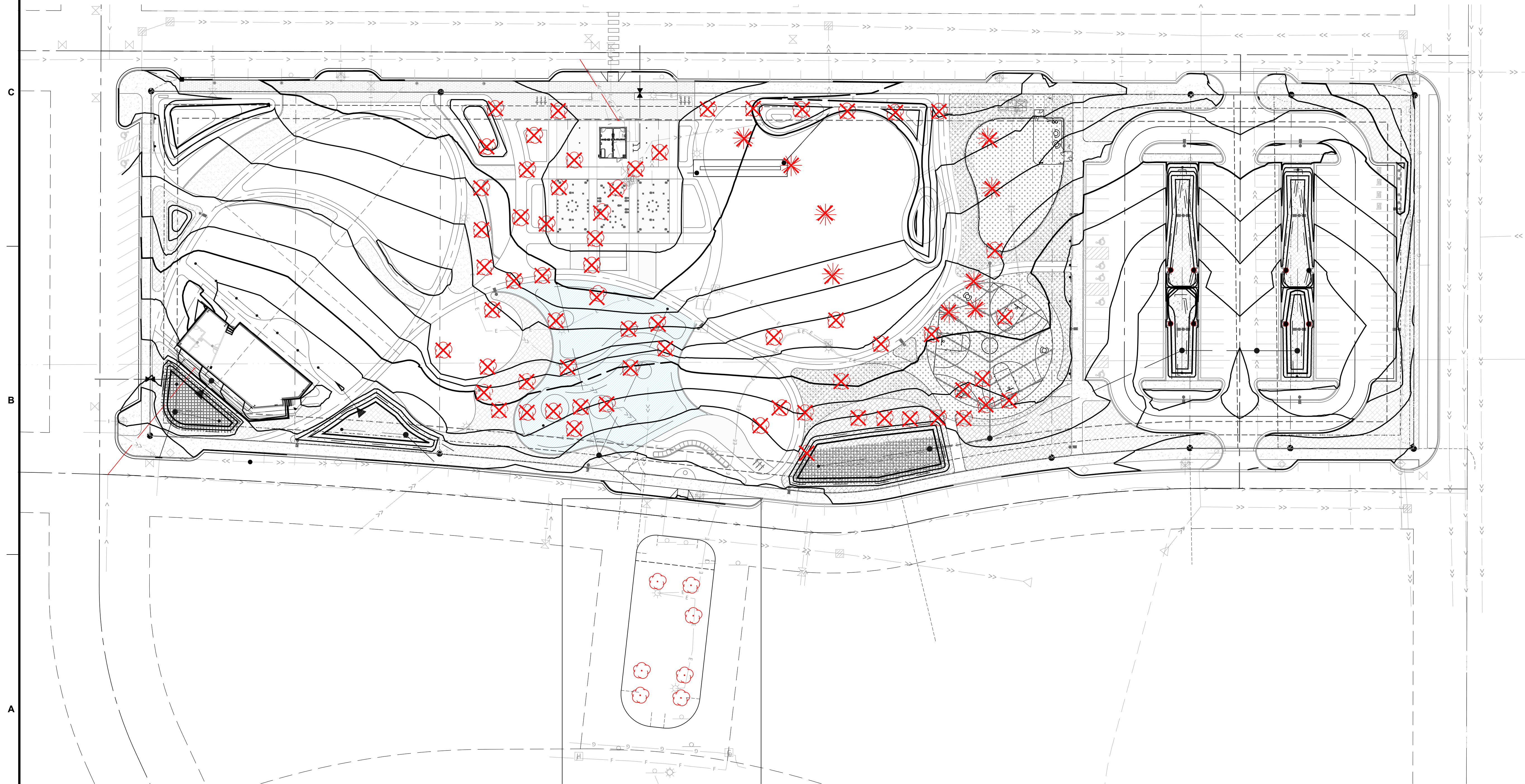
# L120

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 PRESERVE DECIDUOUS TREE

[illegible]

**NOTE:** THE HIGHLIGHTED TREES ARE ASSUMED AS SIGNIFICANT TREES DESIGNATION



01  
L120

## TREE PRESERVATION PLAN

SCALE: 1" = 40'





File Location: N:\0203\23485\_Kelley Park Apple Valley\0203\23485\_WORKING\AUTOCAD\SHEETS\23485\_L400 Planting Plan / SAVE DATE: 3/18/2025 11:30 AM BY: rrgungain / PLOT DATE: 3/18/2025 2:11 PM BY: Mamata Gungain

THE LINE SHOWN ABOVE IS  
EXACTLY ONE INCH LONG AT THIS  
SCALE TO GRAPHIC PAGE SIZE

THE SQUARE SYMBOLS ARE ON  
WITH BLACK AND WHITE LETTERS  
IF PRINTED CORRECTLY

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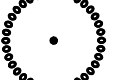






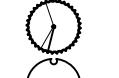

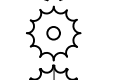
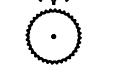

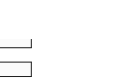
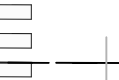

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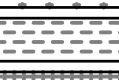
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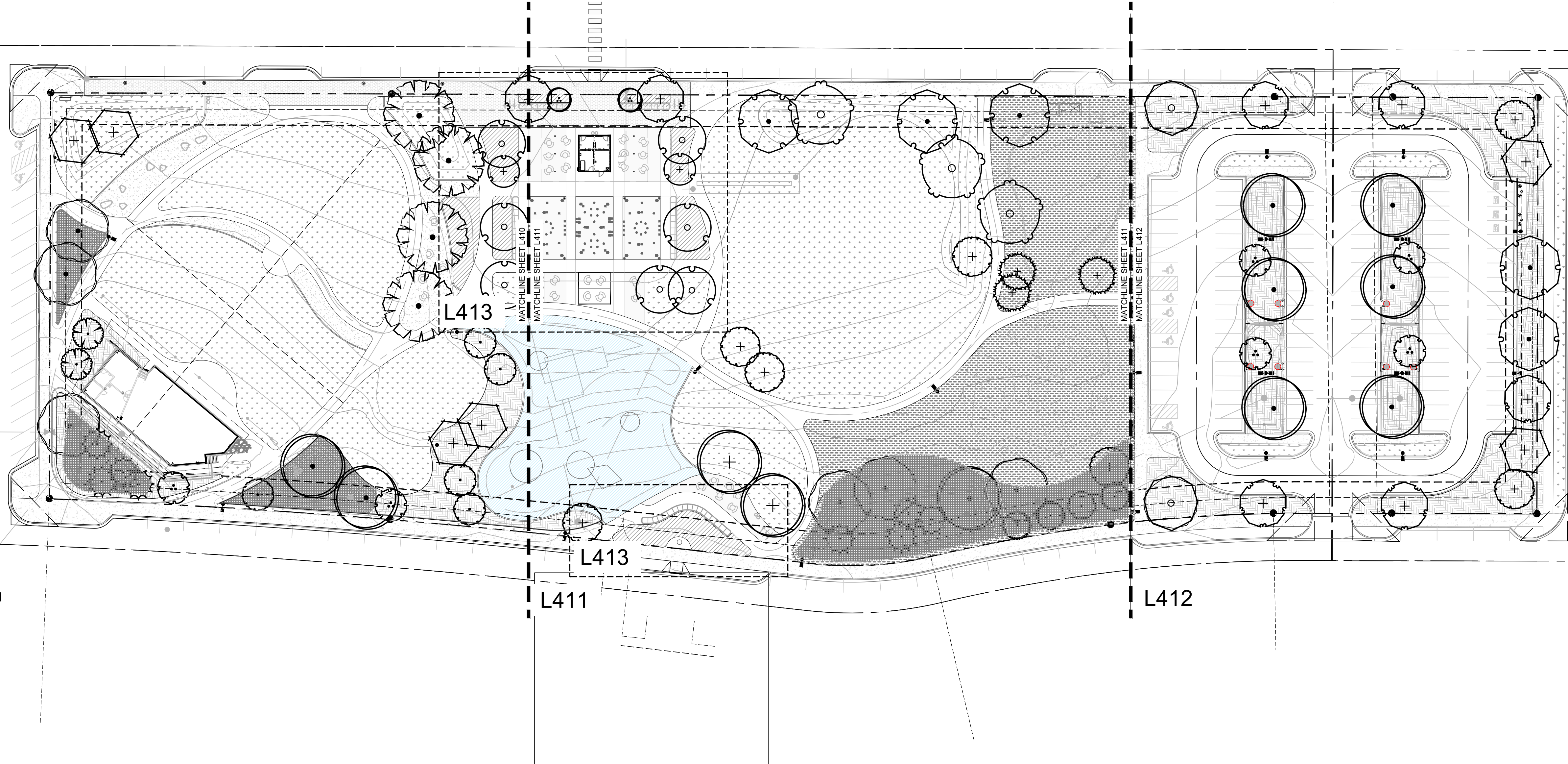
PLANT SCHEDULE

SYMBOL	CODE	QTY	COMMON / BOTANICAL NAME	CONT	CAL	SIZE	REMARKS
DECIDUOUS TREES							
	BC2	6	HERITAGE® RIVER BIRCH / BETULA NIGRA 'CULLY'	B & B	2.5" CAL		
	Cs2	7	COMMON HACKBERRY / CELTIS OCCIDENTALIS	B & B	2.5" CAL		
	GI2	7	SKYLINE THORNLESS HONEY LOCUST / GLEDITSIA TRIACANTHOS INERMIS 'SKYCOLE'™	B & B	2.5" CAL		
	GD2	2	KENTUCKY COFFEETREE / GYMNOCLADUS DIOICA 'ESPRESSO'	B & B	2.5" CAL		
	OV	5	AMERICAN HOPHORNBEAM / OSTRYA VIRGINIANA	B & B	3" CAL		
	PL	4	LIBERTY LONDON PLANE TREE / PLATANUS X ACERIFOLIA 'LIBERTY'	B & B	2.5" CAL		
	Pm	2	EXCLAMATION! LONDON PLANE TREE / PLATANUS X ACERIFOLIA 'MORTON CIRCLE'™	B & B	3" CAL		
	Pp	6	PRAIRIE GOLD ASPEN / POPULUS TREMULOIDES 'NE ARB'	B & B	2.5" CAL		
	QB	9	SWAMP WHITE OAK / QUERCUS BICOLOR	B & B	2.5" CAL		
	QE	6	NORTHERN PIN OAK / QUERCUS ELLIPSOIDALIS	B & B	2.5" CAL		
	Tb	3	BOULEVARD LINDEN / TILIA AMERICANA 'BOULEVARD'	B & B	2.5" CAL		
	UJ2	5	JEFFERSON AMERICAN ELM / ULMUS AMERICANA 'JEFFERSON'	B & B	2.5" CAL		
	UO	7	PRAIRIE EXPEDITION® AMERICAN ELM / ULMUS AMERICANA 'LEWIS & CLARK'	B & B	2.5" CAL		

SYMBOL	CODE	QTY	COMMON / BOTANICAL NAME	CONT	CAL	SIZE	REMARKS
EVERGREEN TREES							
	LL	8	TAMARACK / LARIX LARICINA	B & B		7"	
	PC	4	COLORADO SPRUCE / PICEA PUNGENS	B & B		6"	
	PW	3	WHITE PINE / PINUS ALBA	B & B		7"	
ORNAMENTAL							
	AG4	2	AUTUMN BRILLIANCE APPLE SERVICEBERRY / AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	B & B	2" CAL		
	CA	2	PAGODA DOGWOOD / CORNUS ALTERNIFOLIA	B & B	2" CAL		
	Cv2	2	THORNLESS COCKSPUR HAWTHORN / CRATAEGUS CRUS-GALLI INERMIS™	B & B	2" CAL		
SHRUBS							
	DI		DWARF BUSH HONEYSUCKLE / DIERVILLA LONICERA	2 GAL			
	Rg		GRO-LOW FRAGRANT SUMAC / RHUS AROMATICA 'GRO-LOW'	2 GAL			
PERENNIALS							
	BB		BLONDE AMBITION BLUE GRAMA / BOUTELOUA GRACILIS 'BLONDE AMBITION'	1 GAL			
	CB2		KOREAN FEATHER REED GRASS / CALAMAGROSTIS BRACHYTRICHA	1 GAL			
	Dg		GOLD DEW TUFTED HAIR GRASS / DESCHAMPSIA CESPITOSA 'GOLDTAU'	1 GAL			
	EP		CONEFLOWER / ECHINACEA PURPUREA	1 GAL			
	Er		RUBY STAR CONEFLOWER / ECHINACEA PURPUREA 'RUBY STAR'	1 GAL			
	Ps		SHENANDOAH SWITCH GRASS / PANICUM VIRGATUM 'SHENANDOAH'	1 GAL			
	Sm2		BLUE HEAVEN LITTLE BLUESTEM / SCHIZACHYRIUM SCOPARIUM 'MINNBLUEA'	1 GAL			
	SH		PRAIRIE DROPSEED / SPOROBOLUS HETEROLEPIS	1 GAL			

SYMBOL	QTY	COMMON / BOTANICAL NAME	CONT	REMARKS
GROUND COVERS				
	27,539 SF	NATIVE SEED MIX		
	77,637 SF	TURF		
	30,517 SF	TURF SEED		
	14,537 SF	WETLAND SEED MIX		

CONT	REMARKS
SEED	
SOD	
SEED	
SEED	



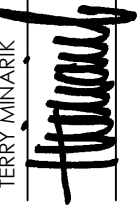
KELLEY PARK IMPROVEMENTS  
CITY OF APPLE VALLEY  
6855 FORTINO STREET  
APPLE VALLEY, MN

Project Number	23485
Issue	100% CD SET
Date	03-17-2025

OVERALL PLANTING  
PLAN

L400

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, AND SCHEDULE WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

NAME: TERRY J. MINARIK  
SIGNATURE:   
DATE: 03/17/2025  
LIC. NO.: 4294

Revision Schedule		
No.	Date	Description



File Location: N:\0203\23485\_Kelley Park Apple Valley\23485\_WORKING\AUTOCAD\SHEETS\23485\_L401 Planting Plan / SAVE DATE: 3/18/2025 11:30 AM BY: rmgungain / PLOT DATE: 3/18/2025 2:11 PM BY: Mamata Gungain

THE LINE SHOWN ABOVE IS  
EXACTLY ONE INCH LONG AT THIS  
SCALE IS GRAPHIC SCALE SIZE

THE SQUARE SYMBOLS ARE ON  
WITH BLACK AND WHITE LETTERS  
IF PRINTED CORRECTLY

C

B

A

PLANTING CODE REQUIREMENTS

153.59 -- STREET TREE REQUIREMENTS:

WHEN PLANTED, STREET TREES SHALL BE PLANTED NOT LESS THAN 40 FEET APART WITH A MINIMUM OF ONE TREE PER LOT. THEY SHALL BE PLACED FIVE TO SEVEN FEET INSIDE THE PROPERTY LINE AND NOT IN THE BOULEVARD. NO TREES SHALL BE PLANTED WITHIN 30 FEET OF THE INTERSECTION OF CURB LINES ON CORNER LOTS. THE MINIMUM SIZE SHALL MEASURE 1½ INCHES IN DIAMETER AT GROUND LINE.

REQUIRED: (2,314 / 40)= 58 TREES

PROPOSED: 58 TREES

155.378 -- PARKING LOT LANDSCAPING REQUIREMENTS:

(J) LANDSCAPING. PARKING LOTS MUST BE LANDSCAPED.

REQUIRED: LANDSCAPING

PROPOSED: 18 TREES, SHRUB LOCATIONS TBD

155.349 -- LANDSCAPING:

(A) A LANDSCAPED YARD SHALL BE INSTALLED AND MAINTAINED ALONG ALL PUBLIC STREETS EXCEPT ON LOTS IN AGRICULTURAL DISTRICTS, ON TROUGH LOTS (NOT CORNER LOTS) IN R-1 DISTRICTS, OR ON LOTS ABUTTING A PUBLIC TRANSPORTATION FACILITY. THIS YARD SHALL BE KEPT CLEAR OF ALL STRUCTURES, STORAGE AND OFF-STREET PARKING, EXCEPT FOR DRIVEWAYS. THIS YARD SHALL BE AT LEAST FIVE FEET IN DEPTH FROM THE PUBLIC RIGHT-OF-WAY FOR ALL PROPERTIES ABUTTING CEDAR AVENUE SOUTH OF 140TH STREET AND FOR ALL PROPERTIES ABUTTING 150TH STREET WEST OF PILOT KNOB ROAD, BUT EAST OF 147TH STREET. THIS YARD SHALL BE AT LEAST 15 FEET IN DEPTH ALONG ALL OTHER STREETS, MEASURED FROM THE PUBLIC RIGHT-OF-WAY. THE MEASUREMENT SHALL BE DETERMINED AS OF THE TIME THAT THE PERMIT FOR CONSTRUCTION OR IMPROVEMENT IS ISSUED. EXCEPT FOR DRIVEWAYS, THE YARD SHALL EXTEND ALONG BOTH STREETS IN THE CASE OF A CORNER LOT.

REQUIRED: 15 FT

PROPOSED: 15 FT

(B) AN APPROVED LANDSCAPE PLAN SHALL BE REQUIRED FOR ALL NEW COMMERCIAL, INDUSTRIAL, MULTIPLE RESIDENTIAL AND INSTITUTIONAL DEVELOPMENTS. FOR DEVELOPMENTS HAVING A CONSTRUCTION VALUE IN EXCESS OF \$1,000,000, THE PLAN SHALL BE PREPARED BY A LANDSCAPE ARCHITECT REGISTERED AND LICENSED IN THE STATE. TO THE MAXIMUM EXTENT FEASIBLE, THIS SITE PLAN SHALL INCORPORATE ANY EXISTING VEGETATIVE FEATURES ON THE SITE; TO THE EXTENT THAT THE VALUE OF PRESERVED VEGETATION CAN BE DEMONSTRATED, A CREDIT TO THE MINIMUM EXPENDITURES FOLLOWING BELOW MAY BE ALLOWED. THE LANDSCAPE PLAN SHALL INCLUDE SIZE, LOCATION, QUANTITY AND SPECIES OF ALL PLANT MATERIALS AND THE METHOD OF MAINTENANCE. THE MINIMUM COST OF LANDSCAPING MATERIALS FOR THE PLAN SHALL BE A PERCENTAGE OF THE ESTIMATED BUILDING CONSTRUCTION COST BASED ON CURRENT MEANS CONSTRUCTION DATA AS FOLLOWS:

- (1) MULTIPLE RESIDENTIAL, 2½%;
- (2) COMMERCIAL, 2½%;
- (3) INSTITUTIONAL, 2½%; AND
- (4) INDUSTRIAL, 1½%.

REQUIRED: 2 ¼

PROPOSED: TBD

(C) THE CITY COUNCIL MAY REQUIRE A LANDSCAPE BOND TO ENSURE THAT ALL PLANT MATERIALS ARE PLANTED AND MAINTAINED FOR AT LEAST ONE YEAR.

(D) LANDSCAPED ISLANDS SHALL BE PROVIDED IN PARKING LOTS CONTAINING MORE THAN 25 PARKING STALLS. TOTAL AREA OF ISLANDS SHALL BE AT LEAST 2% OF THE PARKING LOT AREA, EXCEPT THAT NO ISLAND SHALL BE LESS THAN THE SIZE OF A STANDARD PARKING STALL. ISLANDS SHALL BE SURROUNDED BY A CONCRETE CURB AND PROVIDED WITH A WEED RETARDANT MESH OR PLASTIC SHEETING. ISLANDS SHALL BE PLANTED WITH A MINIMUM 2½-INCH DIAMETER TREE AT THE RATE OF ONE TREE PER 150 SQUARE FEET OF ISLAND AREA.

REQUIRED: 2%

PROPOSED: ( 1,050 SF (PARKING ISLAND) / ± 42,000 SF (PARKING LOT) ) = 2 ½%

152.46 TREE PRESERVATION REQUIREMENTS.

SIGNIFICANT TREES SHALL BE IN ACCORDANCE WITH THE CITY-APPROVED TREE PRESERVATION COMPONENT OF THE NATURAL RESOURCES MANAGEMENT PLAN. ALL SIGNIFICANT TREES ON THE PROPERTY, AS IDENTIFIED IN THE TREE PRESERVATION COMPONENT OF THE PLAN, SHALL BE TAGGED WITH THE COORDINATING NUMBER AS STATED IN THE PLAN BEFORE ANY PROJECT WORK BEGINS AND SHALL REMAIN TAGGED UNTIL COMPLETION OF THE PROJECT. TREE REMOVAL AND REPLACEMENT SHALL BE AS FOLLOWS

(B) SIGNIFICANT TREE. ANY HEALTHY DECIDUOUS TREE MEASURING EIGHT INCHES OR GREATER IN DIAMETER, OR ANY CONIFEROUS TREE MEASURING SIX INCHES OR GREATER IN DIAMETER, AT FOUR AND ONE-HALF FEET ABOVE GRADE.

(1) FOR INDIVIDUAL LOT DEVELOPMENT FOR COMMERCIAL, INDUSTRIAL, AND INSTITUTIONAL USES, 10% OF THE TOTAL NUMBER OF DIAMETER INCHES OF SIGNIFICANT TREES REMOVED MUST BE REPLACED WITH CALIPER INCHES WITHIN THE SUBJECT LOT. TREES REPLACED UNDER THIS REQUIREMENT MAY BE USED TO SATISFY PART OF THE LANDSCAPE REQUIREMENT FOR THE LOT;

REQUIRED: (TOTAL REMOVED INCHES) 921 \* 0.10 = 92.1 REPLACEMENT INCHES  
--SEE TREE REMOVAL SHEETS FOR REMOVALS--

PROPOSED: 188.5 REPLACEMENT INCHES (95 OVERSTORY INCHES, 47.5 CONIFEROUS INCHES, 46 UNDERSTORY INCHES

SPECIES REQUIREMENTS:

FINAL TREE SELECTIONS TO BE COORDINATED WITH NATURAL RESOURCE DEPARTMENT









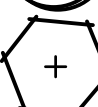



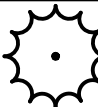
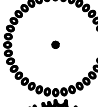
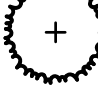
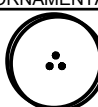

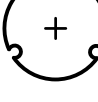


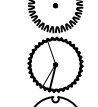
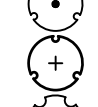
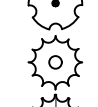
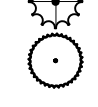





FAMILY: <15% GENUS: <10% SPECIES: <5%

ROSACEAE -- (QTY:7) 6%  
CORNACEAE -- (QTY:2) 1.7%  
BETULACEAE -- (QTY:16) 13%  
PINACEAE -- (QTY:18) 15%  
CUPRESSACEAE -- (QTY:6) 5%  
ULMACEAE -- (QTY:13) 11%  
MALVACEAE -- (QTY:3) 2%  
FABACEAE -- (QTY:18) 15%  
FAGACEAE -- (QTY:15) 12%  
SALICACEAE -- (QTY:12) 10%  
CANNABACEAE -- (QTY:9) 7%

BETULA -- (QTY:5) 4%  
CERCIS -- (QTY:3) 2%  
CORNUS -- (QTY:2) 1.7%  
CELTIS -- (QTY:9) 7%  
GLEDITSIA -- (QTY:7) 5%  
GYMNOCLADUS -- (QTY:8) 6%  
POPULUS -- (QTY:12) 10%  
QUERCUS -- (QTY:15) 13%  
TILIA -- (QTY:3) 2%  
ULMUS -- (QTY:2) 1.7%  
LARIX -- (QTY:11) 9%  
PINUS -- (QTY:7) 5%  
OSTRYA -- (QTY:11) 9%  
AMELANCHIER -- (QTY:4) 3%  
CRATAEGUS -- (QTY:2) 1.7%  
PLATANUS -- (QTY:4) 3%

BETULA NIGRA 'CULLY'-- (QTY:5) 4%  
CERCIS CANADENSIS -- (QTY:3) 2%  
CORNUS ALTERNIFOLIA -- (QTY:2) 1.7%  
CELTIS OCCIDENTALIS-- (QTY:9) 7%  
CRATAEGUS CRUS-GALLI INERMIS TM-- (QTY:2) 1.7%  
GLEDITSIA TRIACANTHOS INERMIS 'SKYCOLE' TM-- (QTY:7) 5%  
GYMNOCLADUS DIOICA 'ESPRESSO' -- (QTY:8) 6%  
OSTRYA VIRGINIANA -- (QTY:11) 9%  
PLATANUS X ACERIFOLIA 'MORTON CIRCLE' TM -- (QTY:12) 10%  
POPULUS TREMULOIDES -- (QTY:12) 10%  
QUERCUS BICOLOR -- (QTY:6) 4%  
QUERCUS ELLIPSOIDALIS -- (QTY:9) 7%  
TILIA AMERICANA 'SENTRY' -- (QTY:3) 2%  
PINUS ALBA-- (QTY:4) 3.4%  
ULMUS AMERICANA 'JEFFERSON' -- (QTY:2) 1.7%  
ULMUS AMERICANA 'LEWIS & CLARK' -- (QTY:5) 4.3%  
LARIX LARICINA-- (QTY:5) 4.3%  
AMELANCHIER X GRANDIFLORA 'AUTUM BRILLANCE'-- (QTY:5) 4.3%

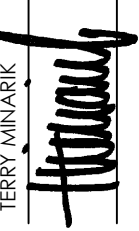
PLANT SCHEDULE

SYMBOL	CODE	QTY	COMMON / BOTANICAL NAME	CONT	GAL	SIZE
DECIDUOUS TREES						
	BC2	6	HERITAGE® RIVER BIRCH / BETULA NIGRA 'CULLY'	B & B	2.5"	CAL
	Ca2	7	COMMON HACKBERRY / CELTIS OCCIDENTALIS	B & B	2.5"	CAL
	GI2	7	SKYLINE THORNLESS HONEY LOCUST / GLEDITSIA TRIACANTHOS INERMIS 'SKYCOLE'™	B & B	2.5"	CAL
	GD2	2	KENTUCKY COFFEETREE / GYMNOCLADUS DIOICA 'ESPRESSO'	B & B	2.5"	CAL
	OV	5	AMERICAN HOPHORNBEAM / OSTRYA VIRGINIANA	B & B	3"	CAL
	PL	4	LIBERTY LONDON PLANE TREE / PLATANUS X ACERIFOLIA 'LIBERTY'	B & B	2.5"	CAL
	Pm	2	EXCLAMATION! LONDON PLANE TREE / PLATANUS X ACERIFOLIA 'MORTON CIRCLE'™	B & B	3"	CAL
	Pp	6	PRAIRIE GOLD ASPEN / POPULUS TREMULOIDES 'NE ARB'	B & B	2.5"	CAL
	QB	9	SWAMP WHITE OAK / QUERCUS BICOLOR	B & B	2.5"	CAL
	QE	6	NORTHERN PIN OAK / QUERCUS ELLIPSOIDALIS	B & B	2.5"	CAL
	Tb	3	BOULEVARD LINDEN / TILIA AMERICANA 'BOULEVARD'	B & B	2.5"	CAL
	UJ2	5	JEFFERSON AMERICAN ELM / ULMUS AMERICANA 'JEFFERSON'	B & B	2.5"	CAL
	UO	7	PRAIRIE EXPEDITION® AMERICAN ELM / ULMUS AMERICANA 'LEWIS & CLARK'	B & B	2.5"	CAL
EVERGREEN TREES						
	LL	8	TAMARACK / LARIX LARICINA	B & B		7"
	PC	4	COLORADO SPRUCE / PICEA PUNGENS	B & B		6"
	PW	3	WHITE PINE / PINUS ALBA	B & B		7"
ORNAMENTAL						
	AG4	2	AUTUMN BRILLIANCE APPLE SERVICEBERRY / AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	B & B	2"	CAL
	CA	2	PAGODA DOGWOOD / CORNUS ALTERNIFOLIA	B & B	2"	CAL
	Cv2	2	THORNLESS COCKSPUR HAWTHORN / CRATAEGUS CRUS-GALLI INERMIS™	B & B	2"	CAL
SHRUBS						
	DI		DWARF BUSH HONEYSUCKLE / DIERVILLA LONICERA	2	GAL	
	Rg		GRO-LOW FRAGRANT SUMAC / RHUS AROMATICA 'GRO-LOW'	2	GAL	
PERENNIALS						
	BB		BLONDE AMBITION BLUE GRAMA / BOUTELOUA GRACILIS 'BLONDE AMBITION'	1	GAL	
	CB2		KOREAN FEATHER REED GRASS / CALAMAGOSTIS BRACHYTRICHA	1	GAL	
	Dg		GOLD DEW TUFTED HAIR GRASS / DESCHAMPSIA CESPITOSA 'GOLDTAU'	1	GAL	
	EP		CONEFLOWER / ECHINACEA PURPUREA	1	GAL	
	Er		RUBY STAR CONEFLOWER / ECHINACEA PURPUREA 'RUBY STAR'	1	GAL	
	Ps		SHENANDOAH SWITCH GRASS / PANICUM VIRGATUM 'SHENANDOAH'	1	GAL	
	Sm2		BLUE HEAVEN LITTLE BLUESTEM / SCHIZACHYRIUM SCOPARIUM 'MINNBLUEA'	1	GAL	
	SH		PRAIRIE DROPSEED / SPOROBOLUS HETEROLEPIS	1	GAL	
SYMBOL	QTY	COMMON / BOTANICAL NAME				
PERENNIALS						

CONFLUENCE

LANDSCAPE ARCHITECT  
**CONFLUENCE**  
901 North Third Street, Suite 225  
Minneapolis, MN 55401  
612.333.3702  
www.thinkconfluence.com

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR CALCULATION WAS PREPARED BY ME, OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

NAME: TERRY J. MINARIK  
SIGNATURE:   
DATE: 03/17/2025  
LIC. No.: 4294

Revision Schedule		
No.	Date	Description

KELLEY PARK IMPROVEMENTS  
CITY OF APPLE VALLEY  
6855 FORTINO STREET  
APPLE VALLEY, MN

Project Number	23485
Issue	100% CD SET
Date	03-17-2025

PLANTING NOTES  
AND SCHEDULE

L415

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01  
L415 PLANTING NOTES

SCALE: 1" = 40'







STAGE NAME AT KELLEY PARK

DOWNTOWN  
**MOVIES**  
IN THE PARK





STAGE NAME AT KELLEY PARK









ITEM:  
COUNCIL MEETING DATE:  
SECTION:

5.E.  
May 8, 2025  
Regular Agenda

**Description:**

Approve Guaranteed Maximum Price Amendment to AIA Agreement with Kraus-Anderson Construction Company for Construction Management at Risk Services for Project 2024-190, Kelley Park Renovation (2023 Parks Bond Referendum)

**Staff Contact:**

Eric Carlson, Parks & Recreation Director

**Department / Division:**

Parks and Recreation Department

**ACTION REQUESTED:**

Approve Guaranteed Maximum Price Amendment to AIA Agreement with Kraus-Anderson Construction Company for construction management at risk services for Project 2024-190, Kelley Park Renovation, in the amount of \$7,873,921.00 (2023 Parks Bond Referendum).

**SUMMARY:**

The City of Apple Valley is revitalizing Kelley Park with exciting new features that enhance recreation, environmental stewardship, and community gathering opportunities. This transformation reflects a commitment to creating inclusive, engaging, and sustainable public spaces.

**Project highlights include:**

- **Performance Facility** – A 3,650 square foot facility featuring a 1,980 square foot stage equipped with built in sound and lighting.
- **Large Video Screen** – A 25' x 15' screen to support movies in the park and other community programming.
- **New Playground** – A welcoming, bear-themed play space designed to spark imagination and adventure.
- **Interactive Splash Pad** – Includes jets and lighting features for sensory play and summer fun.
- **Modern Restroom Building** – A new facility with three unisex stalls, including one with a universal changing station to accommodate all users.
- **Expanded Parking** – Increased on-site parking for greater accessibility and convenience.
- **Sustainability Features** –
  - **Solar panels** to reduce energy usage.
  - **Splash pad water reuse** system for park irrigation.
  - **Natural stormwater management** through native plantings and green infrastructure.

This comprehensive renovation will establish Kelley Park as a premier destination for recreation, entertainment, and community engagement in Apple Valley.

**BACKGROUND:**

For the last several years, the City of Apple Valley has worked with the community to

determine the future needs and desires residents have for parks and recreation services. In November 2023, Apple Valley voters approved two separate questions in a special election, authorizing a total of \$73.25 million to invest in parks, trails, natural resources, Kelley Park, Redwood Park, the Apple Valley Family Aquatic Center, the Apple Valley Community Center and Senior Center, a youth baseball/softball complex at Hayes Park, and a community pool at Redwood Park.

It will take four to six years to implement the improvements approved by voters. As we develop projects, we will involve residents in the planning process. Information on plans and construction progress will be provided on our website so residents can see what work is planned for each location and how the referendum dollars are being spent.

**BUDGET IMPACT:**

Funding for this project comes from the successful 2023 Parks Bond Referendum.

**ATTACHMENTS:**

Agreement



# AIA® Document A133® – 2019 Exhibit A

## Guaranteed Maximum Price Amendment

This Amendment dated the Eighth day of May in the year Two Thousand Twenty-Five, is incorporated into the accompanying AIA Document A133™–2019, Standard Form of Agreement Between Owner and Construction Manager as Constructor where the basis of payment is the Cost of the Work Plus a Fee with a Guaranteed Maximum Price dated the Thirteenth day of June in the year Two Thousand Twenty-Four (the "Agreement")  
(In words, indicate day, month, and year.)

for the following **PROJECT:**  
(Name and address or location)

Kelley Park Improvements  
6855 Fortino Street  
Apple Valley, MN 55124

**THE OWNER:**  
(Name, legal status, and address)

City of Apple Valley  
7100 147<sup>th</sup> Street West  
Apple Valley, MN 55124

**THE CONSTRUCTION MANAGER:**  
(Name, legal status, and address)

Kraus-Anderson Construction Company  
501 South Eighth Street  
Minneapolis, MN 55404

### TABLE OF ARTICLES

- A.1 GUARANTEED MAXIMUM PRICE
- A.2 DATE OF COMMENCEMENT AND SUBSTANTIAL COMPLETION
- A.3 INFORMATION UPON WHICH AMENDMENT IS BASED
- A.4 CONSTRUCTION MANAGER'S CONSULTANTS, CONTRACTORS, DESIGN PROFESSIONALS, AND SUPPLIERS

### ARTICLE A.1 GUARANTEED MAXIMUM PRICE

#### § A.1.1 Guaranteed Maximum Price

Pursuant to Section 3.2.6 of the Agreement, the Owner and Construction Manager hereby amend the Agreement to establish a Guaranteed Maximum Price. As agreed by the Owner and Construction Manager, the Guaranteed Maximum Price is an amount that the Contract Sum shall not exceed. The Contract Sum consists of the Construction Manager's Fee plus the Cost of the Work, as that term is defined in Article 6 of the Agreement.

**§ A.1.1.1** The Contract Sum is guaranteed by the Construction Manager not to exceed Seven Million, Eight Hundred Seventy-Three Thousand, Nine Hundred Twenty-One and

This document has important legal consequences. Consultation with an attorney is encouraged with respect to its completion or modification.

AIA Document A201™–2017, General Conditions of the Contract for Construction, is adopted in this document by reference. Do not use with other general conditions unless this document is modified.



00/100 dollars (\$ 7,873,921.00 ), subject to additions and deductions by Change Order as provided in the Contract Documents.

**§ A.1.1.2 Itemized Statement of the Guaranteed Maximum Price.** Provided below is an itemized statement of the Guaranteed Maximum Price organized by trade categories, including allowances; the Construction Manager's contingency; alternates; the Construction Manager's Fee; and other items that comprise the Guaranteed Maximum Price as defined in Section 3.2.1 of the Agreement.  
(Provide itemized statement below or reference an attachment.)

See Exhibit A-1

**§ A.1.1.3** The Construction Manager's Fee is set forth in Section 6.1.2 of the Agreement.

**§ A.1.1.4** The method of adjustment of the Construction Manager's Fee for changes in the Work is set forth in Section 6.1.3 of the Agreement.

**§ A.1.1.5 Alternates**

**§ A.1.1.5.1** Alternates, if any, included in the Guaranteed Maximum Price:

Item	Price
See Exhibit A-2 – Alternates and Allowances	

**§ A.1.1.5.2** Subject to the conditions noted below, the following alternates may be accepted by the Owner following execution of this Exhibit A. Upon acceptance, the Owner shall issue a Modification to the Agreement.  
(Insert below each alternate and the conditions that must be met for the Owner to accept the alternate.)

Item	Price	Conditions for Acceptance
See Exhibit A-2 – Alternates and Allowances		

**§ A.1.1.6** Unit prices, if any:  
(Identify the item and state the unit price and quantity limitations, if any, to which the unit price will be applicable.)

Item	Units and Limitations	Price per Unit (\$0.00)
------	-----------------------	-------------------------

**§ A.1.1.6** Section 6.1.2 of the Agreement is amended to add the following: For the initial fee calculation the Cost of the Work shall exclude the amount of the Construction Manager's contingency referenced in Section 3.2.4 of the Agreement. When any contingency is used by the Construction Manager pursuant to Section 3.2.4 of the Agreement, the Construction Manager shall increase the Construction Manager's Fee at the rate of 1.5% multiplied by the Cost of the Work included in such use of contingency.

**ARTICLE A.2 DATE OF COMMENCEMENT AND SUBSTANTIAL COMPLETION**

**§ A.2.1** The date of commencement of the Work shall be:  
(Check one of the following boxes.)

- ☒ The date of execution of this Amendment.
- ☐ Established as follows:  
(Insert a date or a means to determine the date of commencement of the Work.)

If a date of commencement of the Work is not selected, then the date of commencement shall be the date of execution of this Amendment.

§ A.2.2 Unless otherwise provided, the Contract Time is the period of time, including authorized adjustments, allotted in the Contract Documents for Substantial Completion of the Work. The Contract Time shall be measured from the date of commencement of the Work.

§ A.2.3 Substantial Completion

§ A.2.3.1 Subject to adjustments of the Contract Time as provided in the Contract Documents, the Construction Manager shall achieve Substantial Completion of the entire Work:  
(Check one of the following boxes and complete the necessary information.)

[ X ] Not later than Five Hundred Ten ( 510 ) calendar days from the date of commencement of the Work.  
Work (the "Substantial Completion Date").

[    ] By the following date:

§ A.2.3.2 Subject to adjustments of the Contract Time as provided in the Contract Documents, if portions of the Work are to be completed prior to Substantial Completion of the entire Work, the Construction Manager shall achieve Substantial Completion of such portions by the following dates:

Portion of Work	Substantial Completion Date
N/A	

§ A.2.3.3 If the Construction Manager fails to achieve Substantial Completion as provided in this Section A.2.3, liquidated damages, if any, shall be assessed as set forth in Section 6.1.6 of the Agreement.

§ A.2.3.4 Notwithstanding anything in the Contract to the contrary, the Substantial Completion Date set forth in Section A.2.3.1 is contingent upon all of the following milestone dates being met:

- .1 All required permits must be issued by the appropriate authority having jurisdiction by July 7, 2025.

Should any of the above milestone dates not be met, the Contract Time shall be extended one (1) day for each and every day beyond the milestone date established above that the required information is received by the Contractor and the Contractor shall be entitled to an equitable adjustment of the GMP.

ARTICLE A.3 INFORMATION UPON WHICH AMENDMENT IS BASED

§ A.3.1 The Guaranteed Maximum Price and Contract Time set forth in this Amendment are based on the Contract Documents and the following:

§ A.3.1.1 The following Supplementary and other Conditions of the Contract:

Document	Title	Date	Pages
N/A			

§ A.3.1.2 The following Specifications:  
(Either list the Specifications here, or refer to an exhibit attached to this Amendment.)

See Exhibit A-3 – List of Drawings, Plans and Specifications

Section	Title	Date	Pages
---------	-------	------	-------

§ A.3.1.3 The following Drawings:  
(Either list the Drawings here, or refer to an exhibit attached to this Amendment.)

See Exhibit A-3 – List of Drawings, Plans and Specifications

Number	Title	Date
--------	-------	------

**§ A.3.1.4** The Sustainability Plan, if any:

*(If the Owner identified a Sustainable Objective in the Owner's Criteria, identify the document or documents that comprise the Sustainability Plan by title, date and number of pages, and include other identifying information. The Sustainability Plan identifies and describes the Sustainable Objective; the targeted Sustainable Measures; implementation strategies selected to achieve the Sustainable Measures; the Owner's and Construction Manager's roles and responsibilities associated with achieving the Sustainable Measures; the specific details about design reviews, testing or metrics to verify achievement of each Sustainable Measure; and the Sustainability Documentation required for the Project, as those terms are defined in Exhibit C to the Agreement.)*

**Title**

**Date**

**Pages**

N/A

Other identifying information:

**§ A.3.1.5** Allowances, if any, included in the Guaranteed Maximum Price:

*(Identify each allowance.)*

**Item**

**Price**

See Exhibit A-2 – Alternates and Allowances

**§ A.3.1.6** Assumptions and clarifications, if any, upon which the Guaranteed Maximum Price is based:

*(Identify each assumption and clarification.)*

See Exhibit A-4 – Assumptions and Clarifications

**§ A.3.1.7** The Guaranteed Maximum Price is based upon the following other documents and information:

*(List any other documents or information here, or refer to an exhibit attached to this Amendment.)*

**§ A.3.1.8** The Owner and Construction Manager hereby amend Section 7 of the Agreement to add the following as new Section 7.6.12: A fixed rate equal to One and Seven Hundredths of One Percent (1.07%) of the aggregate of all subcontract costs and material costs under this Agreement established at the time of GMP (as adjusted by Change Orders, if any), for the costs of covering the risk of certain subcontractor defaults through subcontractor default insurance or other similar insurance or self-insurance and/or subcontractor bonds, to protect against the risk of default by such subcontractors and material suppliers. Such 1.07% charge shall not be adjusted for cost overruns or savings as a result of managing the risk of subcontractor defaults.

**ARTICLE A.4 CONSTRUCTION MANAGER'S CONSULTANTS, CONTRACTORS, DESIGN PROFESSIONALS, AND SUPPLIERS**

**§ A.4.1** The Construction Manager shall retain the consultants, contractors, design professionals, and suppliers, identified below:

*(List name, discipline, address, and other information.)*

This Amendment to the Agreement entered into as of the day and year first written above. This Amendment may be executed in any number of counterparts, each of which when so executed and delivered shall be deemed an original and all of which counterparts, taken together, shall constitute one and the same instrument. Delivery of an executed counterpart of a signature page of this document by facsimile, pdf or other generally accepted electronic means (e.g., DocuSign) shall be effective as delivery of a manually executed counterpart of this document.

City of Apple Valley

Kraus-Anderson Construction Company

Init.

OWNER (Signature)

Clint Hooppaw Mayor  
(Printed name and title)

CONSTRUCTION MANAGER (Signature)

Patrick Mulcahey VP/DOO  
(Printed name and title)

OWNER (Signature)

Christina M. Scipioni City Clerk  
(Printed name and title)



Init.

/



## GUARANTEED MAXIMUM PRICE SUMMARY

**GUARANTEED MAXIMUM PRICE SUMMARY**  
**City of Apple Valley - Kelley Park Improvements**  
5/8/2025

		Base Bid Amount (Inc. Subcontractor Bonding)
Work Scope	Work Scope Description	
01-J	FINAL CLEAN	\$13,266
03-A	CONCRETE & MASONRY	\$701,754
05-A	STRUCTURAL STEEL MATERIAL	\$275,625
05-B	STRUCTURAL STEEL ERECTION	\$58,621
06-A	CARPENTRY	\$54,294
06-B	STRUCTURAL WOOD FRAMING	\$140,794
07-F	METAL PANELS & ROOFING	\$368,906
07-L	JOINT SEALANTS	\$13,851
08-A	DOORS, FRAMES AND HARDWARE MATERIAL	\$27,895
08-F	EXTERIOR GLASS & GLAZING	\$26,174
09-A	DRYWALL	\$79,340
09-K	PAINTING & WALL COVERINGS	\$63,573
13-A	SPLASH PAD	\$849,167
23-A	COMBINED MECHANICAL	\$171,343
26-A	ELECTRICAL	\$933,899
31-A	SITE CLEARING & EARTHWORK	\$1,051,128
32-A	ASPHALT PAVING	\$160,885
32-B	CONCRETE PAVING	\$763,079
32-C	ATHLETIC & RECREATIONAL SURFACE	\$0
32-D	SITE FENCING	\$56,003
32-F	IRRIGATION, LANDSCAPE & SITE FURNISHINGS (INSTALL ONLY)	\$685,628
		\$6,495,223
<b>Project Requirements</b>		
	Base Bid Amount (Including Subcontractor Bonding)	\$6,495,223
	Precon/Site Services, Reimbursables, Builder's Risk, Bonds, ULI	\$712,817
	CM Fee	\$135,533
	General Conditions & Permitting	\$335,491
	Kraus-Anderson Contingency	\$194,857
<b>GUARANTEED MAXIMUM PRICE TOTAL</b>		<b>\$7,873,921</b>

**Exhibit A-1 Guaranteed Maximum Price Summary**

City of Apple Valley - Kelley Park Improvements

5/8/2025

***Alternate No. 1: Add for Dog Park***

- A. **Alternate:** Provide costs associated with dog park construction including all grading and surfacing changes, flatwork changes, drinking fountain, pest waste station, fencing and gates, and landscaping changes.
- B. **Add to Base Bid:**       \$133,150   **Not Accepted**

***Alternate No. 2: Add for Basketball Court***

- A. **Alternate:** Provide costs associated with construction of the basketball court as shown on 02/L514. Include all grading and surfacing changes, pavement, court surfacing, basketball equipment with foundations, and landscaping changes.
- B. **Add to Base Bid:**       \$86,126   **Not Accepted**

***Alternate No. 4: Add for Playground Equipment Removal***

- A. **Alternate:** Cost to provide demolition and removal of the playground equipment.
- B. **Add to Base Bid:**       \$7,000   **Not Accepted**

***Alternate No. 5: Add for Gazebo (Existing Park Shelter) Relocation to Hayes Park***

- A. **Alternate:** Cost to remove the gazebo (existing park shelter structure) and transport to Hayes Park at 14601 Hayes Road, Apple Valley, MN 55124 for City reuse. Perform as little disassembly to the park shelter as possible for transporting and reinstallation.
- B. **Add to Base Bid:**       \$50,000   **Not Accepted**

<b>SUMMARY OF WORK SCOPE ALLOWANCES</b> <b>VALUES BELOW ARE INCLUDED IN CONTRACTS</b>		
<b>WORK SCOPE</b>	<b>DESCRIPTION</b>	<b>VALUE</b>
01-J	CONSTRUCTION FINAL CLEANING	\$ 2,500
03-A	CONCRETE & MASONRY	\$ 5,000
05-A	STRUCTURAL STEEL - MATERIAL ONLY	\$ 5,000
05-B	STRUCTURAL STEEL - ERECTION	\$ 5,000
06-A	CARPENTRY	\$ 5,000
07-F	METAL PANEL	\$ 5,000
07-M	JOINT SEALANT	\$ 2,500
08-A	DOORS, FRAMES & HARDWARE	\$ 2,500
09-A	DRYWALL	\$ 5,000
09-K	PAINTING & WALL COVERING	\$ 10,000
13-A	SPLASH PAD	\$ 7,500
23-B	COMBINED MECHANICAL	\$ 5,000
26-A	ELECTRICAL	\$ 10,000
31-A	EARTHWORK	\$ 20,000
32-B	CONCRETE PAVING	\$ 10,000
32-B	CONCRETE PAVING - PLAYGROUND	\$ 50,000
<b>TOTAL ALLOWANCES</b>		<b>\$ 150,000</b>

**Contract Documents List:**

The Contract Documents include, without limitation, the following:

1. Specifications:  
Confluence Project Manual dated March 17<sup>th</sup>, 2025
2. Addendums:  
Addendum #1 dated March 28<sup>th</sup>, 2025  
Addendum #2 dated April 4<sup>th</sup>, 2025
3. Drawings:

Sheet Name	Description	Date Issued
G001	Cover Sheet	Apr 9, 2025
G101	Title Sheet	Mar 17, 2025
G102	Typical Assemblies	Apr 1, 2025
G111	Life Safety Plans	Apr 1, 2025
G120	Mounting Heights	Apr 1, 2025
C.000	Civil Cover	Apr 9, 2025
C.100	Existing Conditions	Apr 9, 2025
C.101	Civil Removals Plan- West	Apr 9, 2025
C.102	Civil Removals Plan- East	Apr 9, 2025
C.200	Overall Civil Site Plan	Apr 9, 2025
C.201	Civil Site Plan- West	Apr 9, 2025
C.202	Civil Site Plan- East	Apr 9, 2025
C.300	Overall Civil Grading Plan	Apr 9, 2025
C.301	Civil Grading Plan- West	Apr 9, 2025
C.302	Civil Grading Plan- East	Apr 9, 2025
C.303	Civil Grading Plan Enlargements	Apr 9, 2025
C.400	Overall Erosion Control Plan	Apr 1, 2025
C.401	Erosion Control Plan- West	Apr 1, 2025
C.402	Erosion Control Plan- East	Apr 1, 2025
C.403	SWPPP Narrative	Mar 17, 2025
C.404	SWPPP Notes	Mar 17, 2025
C.405	SWPPP Notes	Mar 17, 2025
C.500	Overall Civil Utility Plan	Apr 9, 2025
C.501	Civil Utility Plan- West	Apr 9, 2025
C.502	Civil Utility Plan- East	Apr 9, 2025
C.600	Civil Site Construction Details	Apr 9, 2025
C.601	Civil Site Construction Details	Apr 9, 2025
C.602	Civil Site Construction Details	Apr 9, 2025
C.603	MNDOT Pedestrian Curb Ramp Details	Mar 17, 2025



EXHIBIT A-3  
LIST OF DRAWINGS, PLANS AND SPECIFICATIONS

C.604	MNDOT Pedestrian Curb Ramp Details	Mar 17, 2025
C.605	MNDOT Pedestrian Curb Ramp Details	Mar 17, 2025
C.606	MNDOT Pedestrian Curb Ramp Details	Mar 17, 2025
C.607	MNDOT Pedestrian Curb Ramp Details	Mar 17, 2025
C.608	MNDOT Pedestrian Curb Ramp Details	Mar 17, 2025
L120	Tree Preservation Plan	Apr 1, 2025
L200	Overall Site Layout Plan	Apr 1, 2025
L210	Site Layout Enlargement Plan	Apr 9, 2025
L211	Site Layout Enlargement Plan	Apr 9, 2025
L212	Site Layout Enlargement Plan	Apr 9, 2025
L213	Site Layout- Alternate Plan	Apr 9, 2025
L400	Overall Planting Plan	Apr 1, 2025
L410	Planting Enlargement Plan	Apr 9, 2025
L411	Planting Enlargement Plan	Apr 9, 2025
L412	Planting Enlargement Plan	Apr 1, 2025
L413	Shrub And Perennial Enlargement Plan	Apr 9, 2025
L414	Landscape Plan- Add-Alternates	Apr 9, 2025
L415	Planting Notes And Schedule	Apr 1, 2025
L450	Overall Irrigation Plan	Apr 1, 2025
L460	Irrigation Enlargement Plan	Apr 1, 2025
L461	Irrigation Enlargement Plan	Apr 1, 2025
L462	Irrigation Alternates	Apr 1, 2025
L463	Irrigation Schedules	Apr 9, 2025
L464	Irrigation Details	Apr 1, 2025
L510	Site Details	Apr 9, 2025
L511	Site Details- Furnishings	Apr 1, 2025
L512	Site Details	Apr 9, 2025
L513	Site Details- Alternate A	Apr 9, 2025
L514	Site Details- Alternate B	Mar 17, 2025
L515	Site Details- Clock Tower	Apr 9, 2025
L550	Planting Details	Mar 17, 2025
A050	Site Plans	Apr 9, 2025
A201	Floor Plans	Apr 9, 2025
A210	Roof Plans	Mar 17, 2025
A211	Enlarged Plans And Interior Elevations	Apr 1, 2025
A220	Door Schedule And Glazing Elevations	Mar 17, 2025
A301	Exterior Elevations	Apr 9, 2025
A401	Wall Sections- Bandshell	Mar 17, 2025
A402	Wall Sections- Restroom Building	Mar 17, 2025
A510	Details	Mar 17, 2025
A511	Details	Mar 17, 2025

**Exhibit A-3 List of Drawings, Plans and Specifications**

Kelley Park Improvements  
City of Apple Valley  
Apple Valley, Minnesota



Page 2 of 3

5/8/2025

EXHIBIT A-3

LIST OF DRAWINGS, PLANS AND SPECIFICATIONS

A651	Room Identification Signage	Mar 17, 2025
A701	Reflected Ceiling Plans	Apr 9, 2025
AQ000	Cover Sheet	Apr 1, 2025
AQ100	Site Plan	Apr 9, 2025
AQ110	Splash Pad Plan (Zone 1)	Apr 1, 2025
AQ111	Splash Pad Plan (Zone 2)	Apr 1, 2025
AQ112	Splash Pad Plan (Zone 3)	Apr 1, 2025
AQ201	Splash Pad Details	Apr 9, 2025
AQ310	Splash Pad Piping Plan	Apr 9, 2025
S000	General Structural Notes	Mar 17, 2025
S001	Special Inspections	Mar 17, 2025
S002	Structural Schedules	Apr 1, 2025
S003	Site Plan	Mar 17, 2025
S100	Foundation Plan	Apr 9, 2025
S101	Foundation Plan	Mar 17, 2025
S200	Roof Framing Plan	Apr 1, 2025
S201	Roof Framing Plan	Mar 17, 2025
S300	Foundation Details	Mar 17, 2025
S301	Foundation Details	Apr 9, 2025
S400	Framing Details	Apr 1, 2025
S401	Framing Details	Apr 1, 2025
S402	Framing Details	Apr 1, 2025
P101	Restroom Building Plumbing Plans	Apr 1, 2025
P201	Bandshell Plumbing Plan	Apr 1, 2025
P301	Waste, Vent And Water Isometrics	Apr 1, 2025
P500	Plumbing Details	Apr 1, 2025
PM01	Mechanical Title Sheet, Symbols, & Abbreviations	Mar 17, 2025
PM02	Mechanical And Plumbing Details	Apr 1, 2025
PM03	Mechanical & Plumbing Site Plan	Mar 17, 2025
PME1	Plumbing, Mechanical And Electrical Schedules	Apr 1, 2025
M101	Mechanical Plans	Apr 1, 2025
M201	Mechanical Roof Plans	Mar 17, 2025
E000	Electrical Symbols, Abbreviations, & Schedules	Apr 9, 2025
E001	Electrical Site Plans Lighting Plans	Apr 9, 2025
E100	Lighting Plans	Apr 1, 2025
E200	Power Plans	Apr 1, 2025
E201	Electrical Roof Plans	Apr 1, 2025
E300	Bonding Plan	Apr 1, 2025
E400	Electrical Panel Schedules And Riser Diagram	Apr 1, 2025
E401	Electrical Panel Schedules	Apr 1, 2025

## **General**

- A.** Overhead Power Relocation & New Electric Services: Costs associated with relocation of existing overhead power lines underground and installation of new electrical services by Dakota Electric to be carried by the Owner. Excluded from the GMP.
- B.** Costs include temporary construction fencing surrounding active work in progress. Full time monitoring and security personnel outside of normal work hours are not included.
- C.** Building permit plan review fee and Building permit fee are included.
- D.** Department of Labor and Industry (DOLI) costs are excluded.
- E.** Sewer Access Charge (SAC), Sewer Residential Equivalency Charge (SREC), Water Access Charge (WAC), and Water Residential Equivalency Charge (WREC) costs are excluded.
- F.** Costs for power, water, and gas consumption are excluded. The Construction Manager shall use the existing services provided by the Owner.
- G.** Special Inspections and testing costs are excluded.
- H.** Costs for Commissioning are excluded.
- I.** Fixtures, Furniture and Equipment (FF&E) and Technology costs (supply and install) are excluded, except as specifically included in the Contract Documents.
- J.** The individual Warranty articles within Part 1 of the individual specification sections require special or extended manufacturer's product warranties. Because manufacturers will not modify their standard warranties, KA will provide those warranties that are commercially available as written at the time of the GMP Estimate, and will not require modifications to the manufacturer's standard warranty language to align with the requirements within the project specifications.
  - a.** These warranties are considered manufacturer's "pass-through warranties" and are between the Owner and the specific product manufacturer per the terms and conditions determined by the product manufacturer.
  - b.** Costs have not been included to modify the terms and conditions of the manufacturer's standard warranties to align with specific requirements within the project specifications. If there are specific areas where the Owner may want to consider requiring the manufacturer to modify their standard warranty language, KA will assist the Owner with those discussions, but cannot guarantee the manufacturers will agree to modify their standard language.
- K.** Our proposal is based upon a construction start of July 7, 2025. Schedule may be subject to change pending final award of contracts, permitting that is to be completed by the design team or any item outside of Kraus-Anderson's control.
- L.** Construction phasing is included as requested by the City of Apple Valley with construction starting on the west portion of the site. The east portion of the site will remain open for public use and concerts until August 25, 2025, as requested in the City's email from April 24, 2025.

## ***Structural***

- A. Masonry block type and locations:** BMU-1 (burnished, polished) block is included per elevation drawings on A301 and as specified. This finish to be applied to both sides of the block on exterior walls where both sides are visible. Interior walls to be painted, partition walls not exposed to exterior view, or below-grade foundation block walls are included as standard gray CMU block.
- B. Roof Solar:** Roof photovoltaic (PV) solar panels to be furnished and installed on both bandshell roof and restroom roof by owner. Final solar panel layout to be determined by owner's solar consultant. Changes to structural framing on either roof due to changes in solar panel layout from what's indicated on the drawings is excluded.
- C. Grouting of Masonry Block Walls:** Masonry block walls to contain grout corefill as noted on the structural drawings. Additional grout corefill beyond what's required by the structural drawings is excluded.
- D. Audio Visual (AV) Equipment Structural Framing:** Includes structural framing for AV equipment as shown on the drawings. Additional supports or modifications to the drawings to accommodate AV equipment provided by the owner's supplier are excluded.
- E. New Park Shelter Foundations:** The new park shelter foundations are included and will be constructed according to detail 03/L512. This detail is noted for reference only. However, a final park shelter foundation detail is not available until the park shelter is purchased by the City and engineered drawings are released. Additional costs related to changing the park shelter foundation system are excluded.

## ***Roofing & Exterior Enclosure***

- A. Roof Solar:** Roof photovoltaic (PV) solar panels to be furnished and installed on the bandshell roof and restroom building roof by owner. Final solar panel layout to be determined by owner's solar consultant. Additional work for metal panel roofing system due to changes in solar panel layout from what's shown on the drawings are not included.
- B. Thermally Modified Wood Soffit:** Project specifications include finishing of the installed exterior thermally modified wood siding with Cutek Extreme Penetrating Wood Stabilizer (ST-2) per requirements of Section 09 9300, Section 2.20, Subsection D.2. Manufacturer's instructions for application of this product requires 3 to 5 days of dry weather with temperatures above 40 degrees (including overnight temperatures) to fully dry. If weather conditions do not allow for immediate application and proper drying of the ST-2 finish coat, and the finish coat will be applied in Spring 2026. Protection of thermally modified wood siding from exterior exposure caused by weather delays between siding install and finish coat application is not included.
- C. Painting and Staining Application and Curing:** The project schedule indicates that painting and staining work at the bandshell and restroom building will take place from about



September 2025 through November 2025. These are unheated spaces. Delays caused by unsuitable weather conditions that prevent proper application and curing of applied coatings are excluded. Erecting temporary heated enclosures for coating application is excluded.

- D. Dryfall Paint:** PT-4 listed on the material schedule A201 calls for epoxy ester dryfall, but the painting specifications call for waterborne acrylic dryfall. Epoxy ester dryfall has been included per the material schedule on A201.
- E. Formliner at Bandshell Foundation Walls:** Formliner finish has been included at the bandshell concrete foundation walls where diagrammed in the drawings, specifically where shown on exterior elevations A301. Formliner finish is excluded where not shown on the bandshell, at the ADA ramp walls connected to the bandshell, or at locations where the walls are not exposed to view.

### ***Interior Construction***

- A. Natural Wood Exclusion:** This project has extensive use of natural woods. The Architectural Woodwork Institute (AWI) recommends relative humidity for indoor spaces containing woodwork between 25 and 55%. This shall be continuously applicable for the life of the interior woodwork. Per AWI: “**Without considerations made** to properly regulate the relative humidity in any space containing architectural woodwork, **some degree of failure of the woodwork can be expected.**” We therefore do not warrant against natural wood shrinkage or expansion. This movement should be expected and anticipated.

### ***HVAC & Plumbing***

- A. Localized Controls:** Work includes localized controls only (no BAS system) with controls responsibility defined between Division 23 and Division 26 contractors on plan sheets PME1, M201 and similar. There are no supplemental controls specifications. Any controls work added or clarified post-bid not defined in the project drawings is excluded.

### ***Electrical Systems***

- A. Monument Sign:** Power rough-in to the monument sign is included. All other work related to monument sign construction (concrete, stone, signage, etc.) is excluded.

**EXHIBIT A-4**  
**GMP SUMMARY SUBMITTAL**  
Assumptions and Clarifications

- B. Roof Solar:** Roof photovoltaic (PV) solar panels to be furnished and installed on roof by owner. KA's subcontractor to provide j-box and 2-inch empty conduit with pull strings from panel HP in Mechanical Room to the roof deck for a solar feed as required on the electrical drawings. Final solar panel layout to be determined by owner's solar consultant. Changes to this electrical work due to changes in solar panel layout from what's shown on the drawings are not included.
- C. Power for EV Charging Stations:** Includes power connection to future electrical vehicle charging stations at pad on northeast corner of site. Excludes connection and final hook-up of EV charging stations.
- D. Utility Company Costs:** By owner and excluded.
- E. Temporary generators:** Excluded.
- F. Dakota Electric Transformer Location:** Conduit and secondary wiring from bandshell and restroom building to the transformer pad location shown in the bidding documents is included. Future adjustment to the transformer location or adding transformer(s) and associated conduit and wiring related costs are excluded.
- G. Food Truck/Power Bollards:** Includes furnishing and installing of five (5) power bollards as shown on the drawings.
- H. Audio Visual (AV) Equipment Electrical:** Includes electrical scope for AV equipment as shown on the drawings. Modifications to electrical installation to accommodate AV equipment provided by the owner's supplier is excluded.
- I. Daktronics Screen:** Purchase and install of the Daktronics screen at the bandshell is by owner and excluded. Electrical work related to Daktronics screen installation is included where shown on the drawings. Work above and beyond what's shown on the drawings is excluded.

### **Civil/Site work**

- A. Landscape Site Furnishings By Contractor:** The following site furnishings indicated on plan sheets L210 to L213 will be provided (furnished and installed) by KA's subcontractor:
  - a. Precast Bench Type A: Noted by Site Keynote F2
  - b. Bollards (Non-powered): Noted by Site Keynote F6
  - c. Food Truck Power Bollards: Noted by Site Keynote F7
- B. Landscape Site Furnishings By Owner (Contractor Install):** The following site furnishings indicated on plan sheets L210 to L213 will be owner-provided, contractor installed:
  - a. Picnic Table Type A: Noted by Site Keynote F4
  - b. Trash and Recycling Receptacles: Noted by Site Keynote F1
  - c. Bike Racks: Noted by Site Keynote F5

**EXHIBIT A-4**  
**GMP SUMMARY SUBMITTAL**  
Assumptions and Clarifications

- C. Bench Type B to CIP Concrete Benches:** Precast Bench Type B noted by Site Detail Keynote F3 on the landscape site layout enlargement sheets L210 and L211 have been eliminated from the project. Cast-in-place concrete benches will be included and poured in place of Bench Type B at the five separate locations shown. The design intent is for these cast-in-place concrete benches to be approximately 2-foot high by 2-foot wide, reinforced, with an top chamfered edge and architecturally smooth finish as shown in concrete bench images shared by Confluence in email correspondence on April 25, 2025. The benches will rest at the same aggregate base surface as the adjacent sidewalk, providing a sitting height of approximately 20 inches from top of sidewalk. This cast-in-place concrete bench has been included in our GMP in lieu of Bench Type B. Modifications from this cast-in-place concrete bench design are not included.
- D. Concrete Sidewalk Thickness:** Concrete around the perimeter of the site within the right-of-way (ROW) will be poured at 5 inches thick per City of Apple Valley standard detail STR-35 on plan sheet C.600. Outside of the ROW (inside of the site), concrete sidewalk thickness will be reduced to 4 inches thick. Using a 4-inch thickness inside the site was judged to be acceptable by the City during post-bid vetting and VE, and has been included.
- E. B618 to B612 Curb in Parking Lot:** The B618 curb in the parking lot has been changed to B612 curb during post-bid vetting and VE. B612 curb has been included in the parking lot. Additional costs related to added bituminous are excluded if incurred.
- F. ROW Paving Removals and Replacement:** Plan sheet C.101 Removals Plan notes “City to mill and overlay bituminous pavement of full street after construction. City to provide all striping and signage.” This GMP includes all pavement removals and asphalt replacement in the areas of planned utility installation up to the limits shown on the drawings.
- G. Bituminous Paving Thickness:** Detail SI19A on plan sheet C.601 provided a standard duty 4-inch thick bituminous pavement thickness, and a heavy-duty 5-inch thick bituminous pavement thickness. This detail also noted these pavement sections were for planning purposes only, and referred back the geotechnical report for the final pavement sections. The project geotechnical report recommended a 3 ½ inch thickness for bituminous pavement throughout the project. After further discussion and email direction from Westwood Engineering on April 28, 2025, the required bituminous thickness for street repairs, parking lot and drive aisles through the parking lot is 4 inches. 4 inches of bituminous has been included.
- H. Sidewalk Jointing:** Includes sidewalk jointing as shown on the landscape drawings.
- I. Colored Concrete Inside Park:** Includes colored concrete with broom finish where colored concrete is indicated on the north and south sides of the splash pad, and near the playground/clock tower. Colored and stamped finishing at these locations is excluded.
- J. Park Signs:** New park signage is by owner and excluded.
- K. Prefabrication Restroom Building:** The prefabricated restroom structure will be disconnected, removed, and transported from Kelley Park to Valleywood Golf Course at 4851 McAndrews Rd, Apple Valley, MN 55124 as part of our GMP. Transport to other locations is excluded.

**EXHIBIT A-4**  
**GMP SUMMARY SUBMITTAL**  
Assumptions and Clarifications

- L. Monument Sign:** Power rough-in to the monument sign is included. All other work related to monument sign construction (concrete, stone, signage, etc.) is to be completed by the City, and has been excluded.
- M. Wier Feature Construction:** Includes wier feature construction using salvaged material onsite as shown on the drawings. Design modifications or using different materials for wier feature construction beyond the salvaged limestone blocks onsite is excluded.
- N. Existing Site Furnishings:** Excludes removal of existing site furnishings including benches, water fountain, trash and recycling receptacles, swings and similar. City to remove and take existing site furnishings offsite.
- O. Water Service to Dog Park:** Water service to the dog park was included with rejected Alternate #1 pricing, and has been excluded.
- P. Underground Storage Vault/Tank:** Includes construction of the underground storage vault/tank system as shown on the drawings and as specified. Changes or modifications to the underground storage vault/tank system are excluded.
- Q. Tree Removal and Relocation:** Includes tree removal, salvaging and relocation as shown on the drawings. Excludes salvaging and relocation of trees currently shown to be removed.
- R. Playground Clarifications:** Playground area is to be constructed and prepared for the playground as shown on the drawings. A playground equipment design has not been finalized and this GMP has included or excluded the following items:
  - a.** A \$50,000 playground-specific allowance has been included for concrete work that's requested withing the playground area limits.
  - b.** Playground equipment installation, including excavation and foundation construction, is excluded.
  - c.** Poured-in-place (PIP) surfacing system is excluded.
  - d.** Includes up to 12-inch section of aggregate base below playground surfacing, pending final playground design requirements.
  - e.** Includes stockpiling of 100 tons of additional aggregate base for use by Flagship to mound and shape playground area as required. Mounding and shaping of playground aggregate base is excluded.
  - f.** Includes 4-inch drain tile installed within playground area as laid out on utility drawings.
  - g.** Excludes additional work to modify drain tile layout if final playground equipment foundation design has conflicts with drainage layout.
  - h.** Excludes 4-inch concrete base below entire playground area (along with broom finishing and flood testing requirements noted), sonotube foundations noted, and PVC storm pipe/riser diagrammed in detail 02/L510.
- S. Soil Correction at Bandshell at Restroom Building:** According to the project geotechnical report, the bandshell and restroom building will have soil correction and subgrade preparation completed to 4 ½ to 7 feet below existing grades with applicable 1:1 oversizing down to elevation 944. Soil corrections for these structures or structures onsite are excluded.



***Alternates Included in Base Bid***

**A.** The following Alternates have been included in the base bid construction costs as follows:

None.



ITEM:  
COUNCIL MEETING DATE:  
SECTION:

5.F.  
May 8, 2025  
Regular Agenda

<b>Description:</b> 2025 Special Assessment Roll No. 697, \$163,625.43 - Delinquent Utilities	
<b>Staff Contact:</b> Joe Rotz, Assistant Finance Director	<b>Department / Division:</b> Finance Department

**ACTION REQUESTED:**

1. Hold a public hearing.
2. Adopt the resolution levying 2025 Special Assessment Roll No. 697, delinquent utility charges, in the amount of \$163,625.43, minus any prepayments.

**SUMMARY:**

Attached are the public hearing documents for the 2025 Special Assessment Roll No. 697 for delinquent utility account charges. In addition to water and sewer charges, the utility account may also include charges for mowing and/or snow removal. The Council is asked to hold the public hearing and then consider the adoption of the resolution levying the special assessments.

**BACKGROUND:**

The process followed is to complete a certification process of delinquent accounts twice per year. This twice-per-year process is unusual for metro area cities, but protects the City by accelerating the process of establishing the unpaid amounts as a lien on the property and avoiding issues that may arise by properties changing hands or property owners filing bankruptcy. The certification process also serves as the City's collection process.

The spring certification process started with 581 letters being sent February 25, 2025, to all customers who had a delinquent balance, notifying them that if the account was not paid by March 19, 2025, the delinquent amounts would be included in the certification process for collection. Once this payment deadline passed, a list of 394 remaining unpaid delinquent accounts was prepared on March 25, 2025, and is included for the certification process. Following the Council calling for a public hearing, a certification letter was sent to the delinquent accounts notifying them of the public hearing and the proposed certification amount. Following the public hearing on May 8, 2025, and Council adoption of an assessment roll, property owners will have 30 days to pay at City offices prior to the list being certified to Dakota County for collection.

Currently, the total amount of the proposed assessment is \$163,625.43 and represents 394 accounts. This amount is lower than the Fall 2024 certification total of \$168,058, which included 443 accounts. It is more than the spring 2024 amount of \$160,685, which included 379 accounts. Spring assessment rolls are typically lower because they do not include much

of the irrigation season. We have received \$16,314.17 in payments to date, which brings the current balance to \$147,311.26.

History of recent certifications:

	Amount Certified	Number of Accounts	Average
2025 Spring	\$163,625	394	\$415
2024 Fall	\$168,058	443	\$379
2024 Spring	\$160,685	379	\$424
2023 Fall	\$151,034	407	\$371
2023 Spring	\$150,158	378	\$397
2022 Fall	\$160,525	416	\$385
2022 Spring	\$146,264	333	\$439
2021 Fall	\$143,688	398	\$361
2021 Spring	\$133,045	385	\$346
2020 Fall	\$139,379	451	\$309
2020 Spring	\$115,688	429	\$270
2019 Fall	\$173,043	523	\$331
2019 Spring	\$162,903	505	\$323

Prepayments will be accepted by the City until Monday June 9, 2025. At that time, the balance will be submitted to Dakota County to be levied on the 2026 property tax statements along with 8% interest from the date of the adoption of the assessment roll.

No written objections from those on the attached list (Exhibit B) have been received as of April 28, 2025.

**BUDGET IMPACT:**

The ultimate adoption of the assessment roll and the collection of the certified amounts will result in avoiding the writing off of the \$163,625.43 of previously billed utility revenues.

**ATTACHMENTS:**

Resolution  
Exhibit

EXTRACT OF MINUTES OF MEETING  
OF THE CITY COUNCIL OF THE  
CITY OF APPLE VALLEY, DAKOTA COUNTY  
MINNESOTA, HELD ON MAY 8, 2025

Pursuant to due call and notice thereof, a regular meeting of the City Council of the City of Apple Valley, Dakota County, Minnesota, was held at the Municipal Center in said municipality on the 8th day of May 2025, at 7:00 o'clock p.m.

The following members were present:

and the following were absent:

\* \* \* \* \*

The Assistant Finance Director presented an affidavit of publication showing publication of the Notice of Hearing on proposed assessment roll 697 for improvements as described in said notice. Said affidavit showed publication in the official newspaper in accordance with a resolution heretofore adopted by the City Council, which affidavit was examined, found satisfactory and ordered placed on file.

The Mayor announced that the meeting was open for consideration of objections, if any, to said proposed assessment and the Mayor proceeded to conduct the hearing related to the assessment roll. All persons were given an opportunity to present all objections and all written objections theretofore filed with the Clerk were presented and considered and all objections were tabulated and are attached hereto as Exhibit A.

The Mayor then declared the hearing closed.

Member XXX introduced Resolution No. 2025-xx and moved its adoption:

\* \* \* \* \*



CITY OF APPLE VALLEY  
RESOLUTION NO. 2025-

RESOLUTION APPROVING AND LEVYING SPECIAL ASSESSMENTS

WHEREAS, public hearings have been duly held this 8th day of May 2025 concerning the proposed assessment roll as set forth in Council Resolution No. 2025-049 with all objections to any of said assessment having been duly noted and considered, if any.

BE IT THEREFORE RESOLVED by the City Council of the City of Apple Valley, Dakota County, Minnesota, as follows:

1. The Assistant Finance Director has calculated the amount proper and necessary to be specially assessed for improvements in the areas described in the legal notice of public hearing, as set forth in Exhibit A of Resolution No. 2025-049, against every assessable lot, piece or parcel of land affected thereby upon the basis of benefits without regard to cash valuation in accordance with the provisions of Minnesota Statutes Annotated, Section 429; and notice has been duly published and mailed as required by law that this Council would meet and pass upon all objections, if any, and to amend said proposed assessment as might be necessary; and said proposed assessment roll has at all times since their filing been open for public inspection and an opportunity has been given to all interested parties to present their objections, if any, to such proposed assessment.

2. This Council, having heard and considered all objections so presented and being fully advised in the premises, finds each of the lots, pieces and parcels of land enumerated in the proposed assessment roll, dated April 10, 2025, in the aggregate amount of \$163,625.43 subject to prepayments during the hearing process of \$16,314.17, which changes result in a revised aggregate amount of \$147,311.26, is subject to such charges and that such amount is hereby levied against each of the respective lots, pieces and parcels of land therein described. The Clerk is hereby directed to amend all necessary parts of the then containing 6 pages of Assessment Roll 697, adopted for hearing purposes by Resolution No. 2025-049 and to attach the amended assessment roll in the amount of \$147,311.26, to this Resolution as Exhibit B, now containing 5 pages.

3. The proposed assessment roll is hereby adopted and confirmed as the proper special assessment for each of said lots. Each assessment, together with interest at the rates set forth in Exhibit A of Resolution No. 2025-049 accruing on the full amount thereof, from time to time unpaid, shall be a lien concurrent with one (1) year's interest on that and other unpaid installments to be payable with the general taxes for each consecutive year thereafter until the entire assessment is paid.

4. Prior to certification of the assessment roll to the County Auditor, the owner of any lot, piece or parcel of land assessed hereby may, at any time, pay the whole of such assessment with interest accrued to day of payment, to the Treasurer of the municipality except that the entire amount may be paid within thirty (30) days hereof without interest.

5. The Assistant Finance Director shall, as soon as may be, prepare and transmit to the County Auditor, a Special Assessment Input form as may be prescribed by the County Auditor, to be extended upon the proper tax lists of the County and the County Auditor shall thereafter collect said assessments in the manner provided by law.

ADOPTED this 8th day of May 2025.

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Clint Hooppaw, Mayor

ATTEST:

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Christina M. Scipioni, City Clerk

\* \* \* \* \*

The motion for the adoption of the foregoing Resolution was duly seconded by Member  
XXX upon a vote being taken thereon, the following voted in favor:

and the following voted against the same:

Whereupon said Resolution was declared duly passed and adopted on the 8th day of May  
2025.

#### CERTIFICATE

I, the undersigned, being duly qualified and acting Clerk of the City of Apple Valley, Dakota County, Minnesota, hereby certify that I have compared the attached and foregoing Extract of Minutes with the original thereof, on file in my office, and that the same is a true and complete transcript of the minutes of a meeting of the Council of said municipality, duly called and held on the date herein indicated, so far as the minutes relate to the levy of assessments for improvements in said municipality.

WITNESS my hand and seal of said City this \_\_\_\_\_ day of \_\_\_\_\_, 2025.

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Christina M. Scipioni, City Clerk

**Exhibit A**  
RESOLUTION NO. 2025-

**Exhibit B**  
**Resolution Number 2025-\_\_**  
**Delinquent Utility Accounts**  
**Assessment Roll # 697**

Property ID #	Name	Address	City/State/Zip	Plat Name	Account #	Amount
011035025040	DANA SCHMIDT & MAEGAN E & SCHMIDT	8266 144TH ST W	APPLE VALLEY, MN 5512	ACADEMY VILLAGE	0588082665	\$413.38
011035030004	CASHELL LLC	8343 143RD ST W	APPLE VALLEY, MN 5512	ACADEMY VILLAGE	0585083435	\$286.84
011035080440	DYLAN SEVERSON	8440 144TH ST W	APPLE VALLEY, MN 5512	ACADEMY VILLAGE	0588084406	\$471.35
011040001020	GARY & SHANNON LONDO	12905 GALAXIE PL	APPLE VALLEY, MN 5512	ACORN HILL	0877262643	\$157.70
011165003210	ERIC & BRIANA ASLESON	7361 UPPER 157TH ST W	APPLE VALLEY, MN 5512	APPLE PONDS	0209073616	\$429.55
011165004040	PHOUNSAVATH PHALAVONG	7250 157TH ST W	APPLE VALLEY, MN 5512	APPLE PONDS	0208072502	\$460.92
011165101030	BRIAN E CARVER	15910 GARRETT PATH	APPLE VALLEY, MN 5512	APPLE PONDS 2ND ADDITION	0060159108	\$660.19
011165104130	BASHIRU ADEKUNLE ALLISON	7070 UPPER 157TH ST W	APPLE VALLEY, MN 5512	APPLE PONDS 2ND ADDITION	0209070703	\$324.16
011165105010	DOUGLAS R & KIMBERLY NIZNIK	7235 UPPER 157TH ST W	APPLE VALLEY, MN 5512	APPLE PONDS 2ND ADDITION	0209072352	\$507.41
011165201050	KATHY CORTES & JOSE D & GOMEZ	15852 GALVESTON AVE	APPLE VALLEY, MN 5512	APPLE PONDS 3RD	0107158527	\$497.06
011165202120	LYNNE KROOK	7191 158TH ST W	APPLE VALLEY, MN 5512	APPLE PONDS 3RD	0210071914	\$114.73
011170001210	JENNIFER LAWRENCE & JOANNE & MCCL	144 SPRUCE DR	APPLE VALLEY, MN 5512	APPLE VALLEY	0402001446	\$251.87
011170901020	JAMIE A & KEVIN D EVERETTS	72 COUNTY ROAD 42	APPLE VALLEY, MN 5512	APPLE VALLEY 10TH ADDITION	0019000726	\$392.89
011170907030	ADRIANA RIOS	822 REGENT DR	APPLE VALLEY, MN 5512	APPLE VALLEY 10TH ADDITION	0091008225	\$565.23
011171001080	PROPERTY LADDER LLC	256 COUNTY ROAD 42	APPLE VALLEY, MN 5512	APPLE VALLEY 11TH	0019002565	\$302.91
011171001190	JEFFREY A CARPENTER & MELISSA S & C	1067 LOWELL DR	APPLE VALLEY, MN 5512	APPLE VALLEY 11TH	0055010670	\$515.35
011171001350	CHRISTINE KONAKOWITZ & CATHERINE &	1005 BALDWIN DR	APPLE VALLEY, MN 5512	APPLE VALLEY 11TH	0004010052	\$477.23
011171003170	DARREN C SJOBERG	1071 RAMSDELL DR	APPLE VALLEY, MN 5512	APPLE VALLEY 11TH	0079010714	\$703.99
011171108110	LIZABETH A HORNER & GREGORY J & HOI	877 HOPEWELL LN	APPLE VALLEY, MN 5512	APPLE VALLEY 12TH ADDITION	0046008775	\$450.29
011170102040	LESLEY D KEATON	277 ELM DR	APPLE VALLEY, MN 5512	APPLE VALLEY 2ND	0351002775	\$661.26
011170103090	KIPTON YOST	244 ELM DR	APPLE VALLEY, MN 5512	APPLE VALLEY 2ND	0351002445	\$485.09
011170103260	THOMAS GILBERT	261 WALNUT LN	APPLE VALLEY, MN 5512	APPLE VALLEY 2ND	0414002614	\$198.45
011170203051	ANDREW DUOOS & JENNIFER & DUOOS	452 WALNUT LN	APPLE VALLEY, MN 5512	APPLE VALLEY 3RD	0414004529	\$543.70
011170206230	MATTISON ANDERSON & LILIANA & MOLLC	233 PINWOOD DR	APPLE VALLEY, MN 5512	APPLE VALLEY 3RD	0393002338	\$742.60
011170211110	JACOB R & BRITTANY L GOODERUM	175 JUNIPER LN	APPLE VALLEY, MN 5512	APPLE VALLEY 3RD	0372001756	\$499.46
011170302070	RICHARD A PARKER & DIANE D & PARKER	136 COUNTY ROAD 42	APPLE VALLEY, MN 5512	APPLE VALLEY 4TH	0019001369	\$485.95
011170302110	BENJAMIN P & KASEY K JOHNSON	112 COUNTY ROAD 42	APPLE VALLEY, MN 5512	APPLE VALLEY 4TH	0019001120	\$435.65
011170304090	DAVID RINCON MENDOZA	904 ORIOLE DR	APPLE VALLEY, MN 5512	APPLE VALLEY 4TH	0070009046	\$217.13
011170304130	THOMAS J MCKENNA	884 ORIOLE DR	APPLE VALLEY, MN 5512	APPLE VALLEY 4TH	0070008840	\$439.12
011170307090	MICHELLE E FREEMAN	909 MINJON DR	APPLE VALLEY, MN 5512	APPLE VALLEY 4TH	0058009091	\$302.60
011170308020	EARNEST & JAMIEYA BOLIN-JOHNSON	948 CORTLAND DR	APPLE VALLEY, MN 5512	APPLE VALLEY 4TH	0013009483	\$420.32
011170309010	AARON T ODEGARD	964 BEACON LN	APPLE VALLEY, MN 5512	APPLE VALLEY 4TH	0007009648	\$410.21
011170506050	JAMES W & PEGGY L VOGEL	933 WHITNEY DR	APPLE VALLEY, MN 5512	APPLE VALLEY 6TH	0100009339	\$505.37
011170601090	AYNY MENG & SIENG & CHIN	168 COUNTY ROAD 42	APPLE VALLEY, MN 5512	APPLE VALLEY 7TH	0019001682	\$428.95
011170604010	KENNETH C & MONICA I THOMAS	975 CORTLAND DR	APPLE VALLEY, MN 5512	APPLE VALLEY 7TH	0013009756	\$528.08
011170606020	NICHOLE M MORRISSEY & LUKE C & MORI	928 REDWELL LN	APPLE VALLEY, MN 5512	APPLE VALLEY 7TH	0082009281	\$1,239.00
011170607130	TAYLOR N WALKER & ELLIOT E & DRENTL	965 WHITNEY DR	APPLE VALLEY, MN 5512	APPLE VALLEY 7TH	0100009651	\$300.45
011170608040	ROBERT G SMALE	984 WHITNEY DR	APPLE VALLEY, MN 5512	APPLE VALLEY 7TH	0100009842	\$339.04
011170608130	ADAM & JESSICA REED	948 WHITNEY DR	APPLE VALLEY, MN 5512	APPLE VALLEY 7TH	0100009487	\$648.33
011170702010	RICHARD & SHANNON HANOUSEK	869 MCINTOSH DR	APPLE VALLEY, MN 5512	APPLE VALLEY 8TH	0061008692	\$350.19
011170706090	VALERIE L TAYLOR	816 MCINTOSH DR	APPLE VALLEY, MN 5512	APPLE VALLEY 8TH	0061008163	\$428.69
011170707010	MARSHA L ABDULLAH	892 MCINTOSH DR	APPLE VALLEY, MN 5512	APPLE VALLEY 8TH	0061008924	\$388.85
011170707060	LINDSAY JACOBS	872 MCINTOSH DR	APPLE VALLEY, MN 5512	APPLE VALLEY 8TH	0061008726	\$389.57
011170709070	HUGH J O'DONNELL & BONNIE L & O'DONN	825 ORIOLE DR	APPLE VALLEY, MN 5512	APPLE VALLEY 8TH	0070008253	\$365.85
011170712120	DAVID R & KIMBERLY M KOPET	779 NEWELL DR	APPLE VALLEY, MN 5512	APPLE VALLEY 8TH	0067007797	\$238.00
011170800020	CHAD J & MARIT L PIERCE	989 GARDEN VIEW DR	APPLE VALLEY, MN 5512	APPLE VALLEY 9TH	0034009892	\$675.49
011170802060	JESSICA KEMP	915 GARDEN VIEW DR	APPLE VALLEY, MN 5512	APPLE VALLEY 9TH	0034009157	\$818.66
011175004120	MARK NORMAN LIDKE & NORMAN E & LIDI	15142 DUNBAR BLVD	APPLE VALLEY, MN 5512	APPLE VALLEY EAST	0025151422	\$348.77
011175304020	BRADLEY N & TRACI M RUTH	15472 DREXEL WAY	APPLE VALLEY, MN 5512	APPLE VALLEY EAST 4TH	0657154724	\$427.38
011175501080	DIANNE R MORITZ	15105 DUNBAR CT	APPLE VALLEY, MN 5512	APPLE VALLEY EAST 6TH	0026151058	\$376.41
011470103070	TIGIST GETACHEW MENGESHA	125 WALNUT CIR	APPLE VALLEY, MN 5512	BOB'S GARDEN VIEW 2ND	0411001254	\$459.10
011470103080	NATASHIA THURIK & BRANDON & THURIK	129 WALNUT CIR	APPLE VALLEY, MN 5512	BOB'S GARDEN VIEW 2ND	0411001296	\$375.18
011470103100	DENA M ROBERTS	137 WALNUT CIR	APPLE VALLEY, MN 5512	BOB'S GARDEN VIEW 2ND	0411001379	\$465.67
011470203060	DAVID J AMMON	192 WALNUT LN	APPLE VALLEY, MN 5512	BOBS GARDEN VIEW 3RD ADD	0414001921	\$172.40
011470303050	JIM & JUDITH L WENNBERG	144 OAKWOOD RD	APPLE VALLEY, MN 5512	BOBS GARDEN VIEW 4TH ADD	0381001441	\$455.56
011515002040	KULMIYE PROPRTY LLC	5060 127TH ST W	APPLE VALLEY, MN 5512	BRIAR KNOLL 1ST ADD	0773050608	\$566.99
011520101070	RORY M BERNSTEIN	12067 GENTRY CT	APPLE VALLEY, MN 5512	BRIAR OAKS OF APPLE VALLEY 2ND ADDITIO	0744120675	\$513.14
011520105010	CHRISTOPHER L LONDGREN & JULIE A & L	17138 121ST ST W	APPLE VALLEY, MN 5512	BRIAR OAKS OF APPLE VALLEY 2ND ADDITIO	0774071384	\$409.25
011520105030	ROBERT & LYNN KOSLOSKE	7162 121ST ST W	APPLE VALLEY, MN 5512	BRIAR OAKS OF APPLE VALLEY 2ND ADDITIO	0774071624	\$541.55
011520105130	WOODROE JR & BEVERLY FRANKLIN	12114 GENTRY LN	APPLE VALLEY, MN 5512	BRIAR OAKS OF APPLE VALLEY 2ND ADDITIO	0743121146	\$180.03
011520001060	SCOTT T FISHER	7025 121ST ST W	APPLE VALLEY, MN 5512	BRIAR OAKS OF AV	0774070253	\$332.70
011630003210	TIGIST D DILAMO & TAREKEGN M & LEGAN	8125 UPPER 145TH ST W	APPLE VALLEY, MN 5512	CARROLLTON ESTATES	0318081250	\$558.17
011630003360	TAUFUQ AHMED	14532 HAYES RD	APPLE VALLEY, MN 5512	CARROLLTON ESTATES	0360145326	\$920.15
011630101120	HARRY S & FAITH E CRUMP	14639 HARRINGTON PL	APPLE VALLEY, MN 5512	CARROLLTON ESTATES 2ND	0418146391	\$295.33
011630204130	WILLIAM BOYD & TRACIE & LANNON	8054 LOWER 147TH ST W	APPLE VALLEY, MN 5512	CARROLLTON ESTATES 3RD ADD	0334080542	\$171.13
011630303270	WILLIAM ANTHONY NICKENS	14850 HAVEN DR	APPLE VALLEY, MN 5512	CARROLLTON ESTATES 4TH ADD	0419148503	\$441.79
011640302140	FARAEH M AWALE	14025 140TH CT W	APPLE VALLEY, MN 5512	CARROLLWOOD VILLAGE 4TH	0587140258	\$326.56
011640401250	MATTHEW THOMAS BARTELS	7853 GLENDA CT	APPLE VALLEY, MN 5512	CARROLLWOOD VILLAGE 5TH	0353078534	\$315.08
011658004060	DONALD W & ROBERTA L WATTS	14222 FREEPORT TRL	APPLE VALLEY, MN 5512	CEDAR ISLE ESTATES	0708142223	\$474.44
011658102130	JOSE R SANTARRIAGA-JUSTO & JUDITH &	14015 FREEPORT CT	APPLE VALLEY, MN 5512	CEDAR ISLE ESTATES 2ND	0738140155	\$795.43
011659002060	LINDSAY III WILDER & ADRIANE J A & WILD	14443 FLAX WAY	APPLE VALLEY, MN 5512	CEDAR ISLE VILLAGE HOMES	0852144439	\$418.57
011659102100	BRIAN & JENNIFER BALLINGER	14354 FLORA CT	APPLE VALLEY, MN 5512	CEDAR ISLE VILLAGE HOMES 2ND	0741143543	\$523.63
011700201090	ISSA ANTON SAADAH	8230 HAVELOCK CT	APPLE VALLEY, MN 5512	CHATEAU ESTATES 3RD ADD	0533082307	\$730.92
011715001120	NTANGA & YVONNE Y NGANDO	13413 GEORGIA CIR	APPLE VALLEY, MN 5512	CHERRY OAK ESTATES	0761134133	\$238.00
011715001130	AQUILAS AGUIYA & SEKAI & AGUIYA	13405 GEORGIA CIR	APPLE VALLEY, MN 5512	CHERRY OAK ESTATES	0761134059	\$239.28
011715102040	AARON MAY	13476 GENEVA WAY	APPLE VALLEY, MN 5512	CHERRY OAKS ESTATES 2ND	0756134767	\$503.63
011715201020	ISAAK GEEDI & NIMO & IBRAHIM	13417 GENEVA WAY	APPLE VALLEY, MN 5512	CHERRY OAKS ESTATES 3RD	0756134171	\$452.74
011805002060	JENNIFER KOHORST	15715 DIAMOND WAY	APPLE VALLEY, MN 5512	COBBLESTONE LAKE	0154157158	\$690.11
011805004100	AMAL HUSSEIN & FARHIYA ABDIRASHID &	15842 DRAWSTONE TRL	APPLE VALLEY, MN 5512	COBBLESTONE LAKE	0116158427	\$555.91
011805004160	HOLLY L ROGNLIE	15866 DRAWSTONE TRL	APPLE VALLEY, MN 5512	COBBLESTONE LAKE	0116158666	\$110.46
011805206030	ERIC J & MARGARET BENSON	15665 DUNCAN PATH	APPLE VALLEY, MN 5512	COBBLESTONE LAKE 3RD ADD	0877260158	\$478.33
011806006010	TODD FOSSAND & DEBRA & FOSSAND	4796 159TH ST W	APPLE VALLEY, MN 5512	COBBLESTONE LAKE SOUTH SHORE	0877261333	\$159.51
011806103010	FAIZA ABDULLAH DHIS	15846 COBBLESTONE LAKE P	APPLE VALLEY, MN 5512	COBBLESTONE LAKE SOUTH SHORE 2ND AD	0877260423	\$81.98
011806206020	ABDI A DHINBIL & MOHAMED & DHINBIL	15872 EASTCHESTER RD	APPLE VALLEY, MN 5512	COBBLESTONE LAKE SOUTH SHORE 3RD	0877261398	\$755.06
011806206070	ERIC S & TIFFANY ALLEN	15877 DUXBURY LN	APPLE VALLEY, MN 5512	COBBLESTONE LAKE SOUTH SHORE 3RD	0877261813	\$634.64
011806207090	SHARIFF A RASOUL & CARA L & URABE-R	4930 159TH ST W	APPLE VALLEY, MN 5512	COBBLESTONE LAKE SOUTH SHORE 3RD	0877261443	\$455.03
011810001040	JILLIAN LARAE MUSSELMAN	13677 HOLYOKE LN	APPLE VALLEY, MN 5512	COBBLESTONE LAKEVIEW	0365136775	\$453.88
011810001190	JASON BROWN	13771 HOLYOKE LN	APPLE VALLEY, MN 5512	COBBLESTONE LAKEVIEW	0365137716	\$486.78
011807501090	TOYO A SOSSOU & YAWAVI K & SOSSOU	13383 HUGHES CT	APPLE VALLEY, MN 5512	COBBLESTONE MANOR	0254133830	\$561.40
011807501160	ISAIAH A ROBINSON	13354 HUGHES CT	APPLE VALLEY, MN 5512	COBBLESTONE MANOR	0254133541	\$239.49



**Exhibit B**  
**Resolution Number 2025-\_\_**  
**Delinquent Utility Accounts**  
**Assessment Roll # 697**

Property ID #	Name	Address	City/State/Zip	Plat Name	Account #	Amount
011807501170	TIA JOLLIFF	13356 HUGHES CT	APPLE VALLEY, MN 5512	COBBLESTONE MANOR	0254133566	\$433.36
011807701100	KRYSTEL H KRUEGER	8625 134TH ST W	APPLE VALLEY, MN 5512	COBBLESTONE MANOR 3RD	0583086257	\$374.19
011807702190	MARLENE F SPATES	8578 134TH ST W	APPLE VALLEY, MN 5512	COBBLESTONE MANOR 3RD	0583085788	\$412.21
011815003102	HOSSAM AFIFI	8657 135TH ST W	APPLE VALLEY, MN 5512	COBBLESTONES I	0584086579	\$451.06
011815101010	DAVID C ANDERSON	8637 135TH ST W	APPLE VALLEY, MN 5512	COBBLESTONES I REPLAT	0584086371	\$458.22
011815101020	WENDY ROGERS	8635 135TH ST W	APPLE VALLEY, MN 5512	COBBLESTONES I REPLAT	0584086355	\$380.40
011830003010	ROBERT & JILL R MARSH	15430 EAGLE BAY WAY	APPLE VALLEY, MN 5512	CORTLAND	0877262573	\$857.29
011830404030	JARED GAISER & JEANNA & GAISER	5113 151ST ST W	APPLE VALLEY, MN 5512	CORTLAND FIFTH ADDITION	0877266668	\$483.08
011990002080	BRIAN E MORRILL	5186 144TH ST W	APPLE VALLEY, MN 5512	DELANEY PARK 1ST ADDITION	0170051864	\$451.97
011990201040	MARK J & PAULA M SAUER	14593 EMBRY PATH	APPLE VALLEY, MN 5512	DELANEY PARK 3RD	0032145938	\$536.63
011990201050	TOMMY L & JANET L BISHOP	14607 EMBRY PATH	APPLE VALLEY, MN 5512	DELANEY PARK 3RD	0032146076	\$420.97
012050001180	JASON SKOVBRATEN & ASHLEY & TAUER	14698 DUNBAR CT	APPLE VALLEY, MN 5512	DIAMOND PATH	0026146983	\$408.62
012050002230	JEANNE GINETTE EBONGUE TAPO	14693 DENMARK CT	APPLE VALLEY, MN 5512	DIAMOND PATH	0645146931	\$242.46
012050002250	JASON D LINDNER & MERRY CATHRYN & L	14685 DENMARK CT	APPLE VALLEY, MN 5512	DIAMOND PATH	0645146857	\$440.24
012050002280	JEFFREY EDMUND STUMPF & JANET RAE	14673 DENMARK CT	APPLE VALLEY, MN 5512	DIAMOND PATH	0645146733	\$412.18
012050003320	CORLIN R FRANZMEIER	14700 DORY CT	APPLE VALLEY, MN 5512	DIAMOND PATH	0663147001	\$188.88
012050003420	ROBYN LYNN EVERETT	14729 DORY CT	APPLE VALLEY, MN 5512	DIAMOND PATH	0663147290	\$558.57
012051101011	DAVID & GLORIA ISACKSON REVOCABLE I	114585 EMBASSY AVE	APPLE VALLEY, MN 5512	DIAMOND PATH 12TH ADDITION	0652145859	\$365.00
012050102060	BRIAN & ASHLEY MARSCHEL	4510 148TH CT W	APPLE VALLEY, MN 5512	DIAMOND PATH 2ND ADDITION	0190045102	\$365.66
012050201200	PAUL E BROWN & CYNTHIA L & BANKS	5178 148TH PATH W	APPLE VALLEY, MN 5512	DIAMOND PATH 3RD	0192051785	\$404.41
012050202070	JOSEPH M BETLEY & STEPHANIE N & ENG	14898 EASTER AVE	APPLE VALLEY, MN 5512	DIAMOND PATH 3RD	0660148986	\$434.03
012050205010	JOHN G KNOTZ & VICTORIA L & GRESETH	14992 DUNDEE AVE	APPLE VALLEY, MN 5512	DIAMOND PATH 3RD	0029149927	\$433.50
012050208080	BRYAN & TRACY BIRCH	5031 148TH PATH W	APPLE VALLEY, MN 5512	DIAMOND PATH 3RD	0192050316	\$445.34
012050208110	JARED & ABBEY PERO	4985 148TH PATH W	APPLE VALLEY, MN 5512	DIAMOND PATH 3RD	0192049854	\$555.22
012050208190	YAN L YU & WEI & SITU	14732 DURHAM CT	APPLE VALLEY, MN 5512	DIAMOND PATH 3RD	0027147329	\$486.98
012050301040	JAMES ARNOLD & CHRISTINE & ARNOLD	14940 ECHO WAY	APPLE VALLEY, MN 5512	DIAMOND PATH 4TH	0033149400	\$447.29
012050302090	JODY OLSEN & CHRISTOPHER & OLSEN	14788 ECHO WAY	APPLE VALLEY, MN 5512	DIAMOND PATH 4TH	0033147883	\$228.31
012050302160	MOHMUD HAGUF	14850 ECHO WAY	APPLE VALLEY, MN 5512	DIAMOND PATH 4TH	0033148501	\$577.60
012050302230	ROBERT B JR MASK	14918 ECHO WAY	APPLE VALLEY, MN 5512	DIAMOND PATH 4TH	0033149186	\$403.33
012050402170	ALLEN & BETSY HALCOMB	5367 UPPER 147TH ST W	APPLE VALLEY, MN 5512	DIAMOND PATH 5TH	0869053672	\$475.01
012050501009	JOSEPH D SORMANA	14746 EMBRY PATH	APPLE VALLEY, MN 5512	DIAMOND PATH 6TH	0032147462	\$40.39
012050501026	DANA ROCHA	14710 EMBRY PATH	APPLE VALLEY, MN 5512	DIAMOND PATH 6TH	0032147108	\$140.19
012050501037	RANDI A HANSEN	14692 EMBRY PATH	APPLE VALLEY, MN 5512	DIAMOND PATH 6TH	0032146928	\$355.83
012050501052	DARRIN V & ALIX A CHANCE	5090 147TH ST W	APPLE VALLEY, MN 5512	DIAMOND PATH 6TH	0184050902	\$471.52
012050501053	DARRIN J & MELISSA LYNN BERGSTROM	14676 EMBRY PATH	APPLE VALLEY, MN 5512	DIAMOND PATH 6TH	0032146761	\$415.59
012050501107	AMBER MUSER	5121 148TH ST W	APPLE VALLEY, MN 5512	DIAMOND PATH 6TH	0191051216	\$194.76
012050501112	PIERCE WASMUND	5157 148TH ST W	APPLE VALLEY, MN 5512	DIAMOND PATH 6TH	0191051570	\$189.17
012050501132	SUSAN KAYE ANDERSON	14792 EMBRY PATH	APPLE VALLEY, MN 5512	DIAMOND PATH 6TH	0032147926	\$378.90
012050501133	GARY L JACOBSON	5175 148TH ST W	APPLE VALLEY, MN 5512	DIAMOND PATH 6TH	0191051752	\$450.34
012050601110	MICHELLE R WORKMAN	5019 147TH ST W	APPLE VALLEY, MN 5512	DIAMOND PATH 7TH ADDITION	0184050191	\$343.41
012050801150	NICHOLAS CAPITAL INC	5251 149TH ST W	APPLE VALLEY, MN 5512	DIAMOND PATH 9TH ADDITION	0196052516	\$356.81
012050802250	KOLTEN L FREDERIKSEN	5178 148TH ST W	APPLE VALLEY, MN 5512	DIAMOND PATH 9TH ADDITION	0191051786	\$425.92
012245005020	DWIGHT T & MARY A NEAL	13720 GEORGIA DR	APPLE VALLEY, MN 5512	EAGLE RIDGE ESTATES	0761137201	\$433.20
012245101090	HAIDER ALNOMANI	13629 GLASGOW LN	APPLE VALLEY, MN 5512	EAGLE RIDGE ESTATES 2ND	0767136298	\$360.68
012245102030	TYRONE & ANGELA JOHNSON	13594 GLASGOW LN	APPLE VALLEY, MN 5512	EAGLE RIDGE ESTATES 2ND	0767135944	\$489.06
012320001020	IBRAHIM KAMARA & DZE PERPETUAL & EV	13320 CEDAR AVE	APPLE VALLEY, MN 5512	EASTWOOD RIDGE	0630133209	\$499.67
012320101020	MONIQUE S HARRIS	12859 GARRETT CT	APPLE VALLEY, MN 5512	EASTWOOD RIDGE 2ND ADDITION	0877261518	\$664.41
012320101100	TODD J & BONNIE L KUBINSKI	12832 GARRETT CT	APPLE VALLEY, MN 5512	EASTWOOD RIDGE 2ND ADDITION	0877261558	\$366.71
012320103040	CRAIG J & JENNIFER M SADLAK	7008 128TH STREET CT W	APPLE VALLEY, MN 5512	EASTWOOD RIDGE 2ND ADDITION	0877262153	\$296.26
012370001410	MAE E CLARK	5330 EMERALD WAY	APPLE VALLEY, MN 5512	EMERALD POINT	0632053306	\$416.79
012370201060	GREGORY & DEBORAH BELL	5378 EMERALD WAY	APPLE VALLEY, MN 5512	EMERALD POINT 3RD	0632053785	\$395.72
012370201090	JEFFREY W & BINDI L HUNTER	5372 EMERALD WAY	APPLE VALLEY, MN 5512	EMERALD POINT 3RD	0632053728	\$419.58
012565003070	CHARLES EDWARD NORKUNAS	13470 ELKWOOD DR	APPLE VALLEY, MN 5512	FARQUAR HILLS	0664134107	\$346.05
012565003230	JARROD M & LISA E BEACH	13532 LOWER ELKWOOD CT	APPLE VALLEY, MN 5512	FARQUAR HILLS	0662135320	\$645.55
012750302010	SETH GERARD & MARY & GERARD	8675 HOLLAND AVE	APPLE VALLEY, MN 5512	FOREST PARK ESTATES 4TH ADDITION	0535086751	\$521.43
012755001040	BRANDON WILSON	13101 HERITAGE WAY	APPLE VALLEY, MN 5512	FOREST POINT	0343131013	\$532.13
013100000010	GRETCHEN KOSHIRE	6843 135TH ST W	APPLE VALLEY, MN 5512	GARDENVIEW MANOR 2ND	0811068430	\$567.51
013100005150	MICHAEL C HYSTER & HEATHER M & KACI	6945 137TH CT W	APPLE VALLEY, MN 5512	GARDENVIEW MANOR 2ND	0820069452	\$642.27
013100008010	MEGAN MALM	13774 FORDHAM AVE	APPLE VALLEY, MN 5512	GARDENVIEW MANOR 2ND	0724137744	\$113.01
012895001140	TAMIKO MITCHELL	14335 HICKORY WAY	APPLE VALLEY, MN 5512	GARDENVIEW PLACE	0424143358	\$69.26
012895001580	BRUCE D TSTE ZUPAN & KIM M TSTE & ZU	14393 HICKORY WAY	APPLE VALLEY, MN 5512	GARDENVIEW PLACE	0424143937	\$249.17
013060101010	DESIRAE DEE CHRISTENSEN	8677 135TH ST W	APPLE VALLEY, MN 5512	GOLFVIEW 2ND ADDITION	0584086777	\$467.06
013100902100	ROBERT MERLE BEEM	13045 FERNANDO AVE	APPLE VALLEY, MN 5512	GREENLEAF 10TH	0691130458	\$540.24
013101001100	STEVEN J FRANK & ALLYNN ANN & GRAN	14100 ENSLEY CT	APPLE VALLEY, MN 5512	GREENLEAF 11TH	0656141003	\$486.89
013101001810	JAMES A & TAMMY J NELSON	4927 142ND PATH W	APPLE VALLEY, MN 5512	GREENLEAF 11TH	0840049278	\$72.80
013101002060	RICHARD C & PATRICIA SMITH	5276 142ND PATH W	APPLE VALLEY, MN 5512	GREENLEAF 11TH	0840052769	\$415.01
013100102050	GERALD E JR GERMSCHIED & LORETTA D	13422 FLAGSTAFF AVE	APPLE VALLEY, MN 5512	GREENLEAF 2ND	0715134221	\$375.46
013100104320	BOBBY COLE CRANE & JENIFER ANNE & C	13321 FLAGSTAFF AVE	APPLE VALLEY, MN 5512	GREENLEAF 2ND	0715133215	\$188.82
013100106180	JOANNE ELAINE PHILHOWER-HIRNER	6991 133RD ST W	APPLE VALLEY, MN 5512	GREENLEAF 2ND	0799069913	\$462.62
013100110130	STEVEN C & ELIZABETH ODEGARD	13325 FORDHAM AVE	APPLE VALLEY, MN 5512	GREENLEAF 2ND	0724133255	\$490.49
013100201100	JENNIFER PATTERSON & BRIAN & PATTER	13331 FINDLAY WAY	APPLE VALLEY, MN 5512	GREENLEAF 3RD ADDITION	0712133317	\$476.06
013100308080	KEVIN D GIANDALIA & ROGER & POKORN	6276 137TH CT W	APPLE VALLEY, MN 5512	GREENLEAF 4TH ADDITION	0820062762	\$477.21
013100308100	BRETT R & MELISSA A LAFLEX	6260 137TH CT W	APPLE VALLEY, MN 5512	GREENLEAF 4TH ADDITION	0820062606	\$460.17
013100402040	SHAWN & PAULA WILLETTE	13047 FINDLAY WAY	APPLE VALLEY, MN 5512	GREENLEAF 5TH	0712130479	\$514.97
013100403090	CARRIE L KUNTZ	13053 FINDLAY AVE	APPLE VALLEY, MN 5512	GREENLEAF 5TH	0706130535	\$600.38
013100405340	RONALD E & DARLENE M HART	13041 FINCH WAY	APPLE VALLEY, MN 5512	GREENLEAF 5TH	0703130413	\$819.50
013100505110	CHRISTOPHER KENNAN	5695 138TH STREET CT W	APPLE VALLEY, MN 5512	GREENLEAF 6TH	0829056955	\$296.98
013100606100	MICHAEL SR & CHRIS KERN	5668 139TH STREET CT W	APPLE VALLEY, MN 5512	GREENLEAF 7TH	0832056687	\$566.21
013100606120	INGER S DILLY	5648 139TH STREET CT W	APPLE VALLEY, MN 5512	GREENLEAF 7TH	0832056489	\$422.57
013100705140	GARY L STECKMAN	5536 133RD STREET CT W	APPLE VALLEY, MN 5512	GREENLEAF 8TH	0797055369	\$473.77
013100810060	KELLY S ROOT	5810 130TH STREET CT W	APPLE VALLEY, MN 5512	GREENLEAF 9TH ADDITION	0780058107	\$492.34
013110020300	NICHOLAS FOLLMER	7039 146TH STREET CT W	APPLE VALLEY, MN 5512	GREENLEAF TOWNHOUSES	0865070399	\$62.39
013110004050	THOMAS A BACKUS	7013 146TH STREET CT W	APPLE VALLEY, MN 5512	GREENLEAF TOWNHOUSES	0865070134	\$341.55
013110103010	BRYCE W ROSSOW	7451 142ND STREET CT W	APPLE VALLEY, MN 5512	GREENLEAF TOWNHOUSES 2ND	0841074515	\$151.22
013110106010	GWEN A HUGEL & SARAH M & HUGELE	7473 142ND STREET CT W	APPLE VALLEY, MN 5512	GREENLEAF TOWNHOUSES 2ND	0841074739	\$479.90
013110202010	KUMAR IMRIT	7429 143RD STREET CT W	APPLE VALLEY, MN 5512	GREENLEAF TOWNHOUSES 3RD	0853074296	\$390.94
013110203020	MARC DOUGLAS BRYNGELSON	7405 143RD STREET CT W	APPLE VALLEY, MN 5512	GREENLEAF TOWNHOUSES 3RD	0853074056	\$192.33
013110207030	MARY SOUCEK	7382 143RD STREET CT W	APPLE VALLEY, MN 5512	GREENLEAF TOWNHOUSES 3RD	0853073827	\$304.97
013180002140	GAYLE ANN JOHNSON	13453 GRANADA AVE	APPLE VALLEY, MN 5512	HALLWOOD HIGHLANDS	0357134531	\$336.62
013215001004	RICKEY NEAL & KIKI & CARTER-NEAL	15723 FOLIAGE AVE	APPLE VALLEY, MN 5512	HAWTHORNE	0143157236	\$228.79

**Exhibit B**  
**Resolution Number 2025-\_\_**  
**Delinquent Utility Accounts**  
**Assessment Roll # 697**

Property ID #	Name	Address	City/State/Zip	Plat Name	Account #	Amount
013215001012	JERRY HENRY DAYE & TRACY ANJANNETT	15739 FOLIAGE AVE	APPLE VALLEY, MN 5512	HAWTHORNE	0143157392	\$417.91
013215001026	MOHAMED HASSAN	15726 FOX CIR	APPLE VALLEY, MN 5512	HAWTHORNE	0187157266	\$547.03
013215001033	PANG HOUA VANG	15715 FOX CIR	APPLE VALLEY, MN 5512	HAWTHORNE	0187157159	\$160.00
013215001045	SABINDRA P SHRESTHA & SUMNIMA & TH	15738 FRANCE WAY	APPLE VALLEY, MN 5512	HAWTHORNE	0212157380	\$424.68
013215001046	MOHAMED GUHAD	15736 FRANCE WAY	APPLE VALLEY, MN 5512	HAWTHORNE	0212157364	\$347.91
013215001053	LIFANG WU	15718 FRANCE WAY	APPLE VALLEY, MN 5512	HAWTHORNE	0212157182	\$338.67
013215001072	DENNIS E & DARLENE MONGOVEN	6717 158TH ST W	APPLE VALLEY, MN 5512	HAWTHORNE	0210067177	\$421.29
013215001091	MANBIR LLC	15869 FOLIAGE AVE	APPLE VALLEY, MN 5512	HAWTHORNE	0143158697	\$114.40
013215001158	SAYEED S REZA & SABRINA SHARMIN & LI	15707 FREMONT WAY	APPLE VALLEY, MN 5512	HAWTHORNE	0158157071	\$611.00
013215001171	MICHELLE L KELVIE	15743 FREMONT WAY	APPLE VALLEY, MN 5512	HAWTHORNE	0158157436	\$701.86
013215001177	AMITAV SINGH	15738 FRISIAN LN	APPLE VALLEY, MN 5512	HAWTHORNE	0159157385	\$287.58
013215101007	AYAN MOHAMED	6905 158TH ST W	APPLE VALLEY, MN 5512	HAWTHORNE 2ND	0210069058	\$913.88
013215101010	SUSAN ANNETTE RICE	6889 158TH ST W	APPLE VALLEY, MN 5512	HAWTHORNE 2ND	0210068894	\$150.89
013215101050	JOB KWABENA DONKOR	6828 158TH ST W	APPLE VALLEY, MN 5512	HAWTHORNE 2ND	0210068282	\$208.01
013215101064	MATU CECILIA MANSARAY & MOHAMED &	15868 FREEDOM LN	APPLE VALLEY, MN 5512	HAWTHORNE 2ND	0157158682	\$587.78
013215101101	YANG YE & LING & GAO	15822 FRISIAN LN	APPLE VALLEY, MN 5512	HAWTHORNE 2ND	0159158227	\$610.29
013225003030	RAMSEY H ANSARI & AKILA & ANSARI	12735 DOVER DR	APPLE VALLEY, MN 5512	HEARTHSTONE	0640127357	\$888.46
013280101070	FELONISE E PITCHFORD	12815 GERMANE AVE	APPLE VALLEY, MN 5512	HIDDEN PONDS 2ND	0757128156	\$312.56
013280101080	FELONISE E PITCHFORD	12817 GERMANE AVE	APPLE VALLEY, MN 5512	HIDDEN PONDS 2ND	0757128172	\$292.78
013390301030	JAMES F REX	8521 PALOMINO DR	APPLE VALLEY, MN 5512	HIDDEN PONDS 4TH	0537085215	\$290.47
013390002010	MARIAMA J JALLOW & EBRIMA & JALLOW	8680 HUNTERS WAY	APPLE VALLEY, MN 5512	HUNTERS WOOD	0541086803	\$427.31
013415004180	DAWN MARIE BROTHERS	12744 DURHAM WAY	APPLE VALLEY, MN 5512	HUNTINGTON	0635127446	\$481.86
013450001250	SASHA GOZE & AHNEY & GOZE	15845 HYLAND POINTE CT	APPLE VALLEY, MN 5512	HYLAND POINTE SHORES	0059158459	\$422.90
013450001260	MARFAM PROPERTIES LLC	15859 HYLAND POINTE CT	APPLE VALLEY, MN 5512	HYLAND POINTE SHORES	0059158590	\$528.94
013450001360	SAMUEL N DORBOR & MENA & ADAMS	15935 HYLAND POINTE CT	APPLE VALLEY, MN 5512	HYLAND POINTE SHORES	0059159358	\$589.26
013450101110	PAUL V PHOUISANGIEM & CHANDA D & VC	15978 HYLAND POINTE CT	APPLE VALLEY, MN 5512	HYLAND POINTE SHORES 2ND ADD	0059159788	\$310.84
014310001020	WHITE SMILES PROPERTY MANAGEMENT	8977 HUNTERS WAY	APPLE VALLEY, MN 5512	KWIK TRIP ADDITION	0541089773	\$1,152.14
014420204120	CAUPOLICAN NUNEZ CABRERA	15792 HIGHVIEW DR	APPLE VALLEY, MN 5512	LAC LAVON SHORES 3RD ADD	0056157926	\$540.62
014442001030	LB APPLE VALLEY LLC	15580 ENGLISH AVE	APPLE VALLEY, MN 5512	LB AT ORCHARD PLACE	0877268468	\$271.64
014442001030	LB APPLE VALLEY LLC	15580 1/2 ENGLISH AVE	APPLE VALLEY, MN 5512	LB AT ORCHARD PLACE	0877268473	\$265.43
014465001050	FABRICE GANNON & KOMDOLE A & SAWA	404 CIMARRON RD	APPLE VALLEY, MN 5512	LEBANON HILLS 1ST ADD	0528004043	\$516.71
014580001120	ADAM M ISMAIL & RASHIDA A & JIBRIL	15684 HARMONY WAY	APPLE VALLEY, MN 5512	LONGRIDGE	0039156847	\$577.88
014580005020	DIRK DEOND WALTON	8461 156TH STREET CT W	APPLE VALLEY, MN 5512	LONGRIDGE	0205084617	\$397.93
014580005190	TIMOTHY D & VICKI D HAUSER	15669 HEYWOOD CT	APPLE VALLEY, MN 5512	LONGRIDGE	0044156691	\$536.68
014580102070	SONYA L & ERIC C ROE	15872 HAYES TR CT	APPLE VALLEY, MN 5512	LONGRIDGE 2ND	0042158723	\$610.72
014580103270	CHRISTOPHER & KRISTIN GARDNER	15705 HAYES TRL	APPLE VALLEY, MN 5512	LONGRIDGE 2ND	0042157055	\$578.27
014580108370	ANDREW J & JAMIE J CAMPBELL	15947 HARMONY WAY	APPLE VALLEY, MN 5512	LONGRIDGE 2ND	0039159478	\$812.85
014717501020	ROBERT & THULY TYLER	13872 GLENDALE CT	APPLE VALLEY, MN 5512	MAJESTIC RIDGE	0630138729	\$501.27
014820002040	LANCE W & ANNA ANDREWS	12755 DIAMOND CT	APPLE VALLEY, MN 5512	MEADOWLARK GLEN	0650127552	\$257.08
014820101010	AMBER LACAYO	12761 ETHELTON WAY	APPLE VALLEY, MN 5512	MEADOWLARK GLEN 2ND ADD	0678127618	\$423.78
014910001160	ALFREDO CUATE BRIONES	7899 HALLMARK WAY	APPLE VALLEY, MN 5512	MORNINGVIEW	0023078999	\$451.15
014910002220	PHILLIP RENGEL	15615 HALLMARK PATH	APPLE VALLEY, MN 5512	MORNINGVIEW	0015156159	\$339.04
014910104020	MARIO RICE	7789 157TH ST W	APPLE VALLEY, MN 5512	MORNINGVIEW 2ND ADDITION	0208077899	\$845.72
014910205030	ANDREW J SCHANEN	15704 GRIFFON CT	APPLE VALLEY, MN 5512	MORNINGVIEW 3RD ADDITION	0053157044	\$423.12
014910211030	CARRIE A DOWNS	15785 HANNOVER PATH	APPLE VALLEY, MN 5512	MORNINGVIEW 3RD ADDITION	0012157853	\$398.35
014910305010	PAUL OAKES	15840 GRIFFON PATH	APPLE VALLEY, MN 5512	MORNINGVIEW 4TH	0054158405	\$520.53
014910308030	ABIZAIT DOMINGUEZ-RIOS	15850 GRIFFON PATH	APPLE VALLEY, MN 5512	MORNINGVIEW 4TH	0054158504	\$227.06
014910312040	CHRISTOPHER R HUGHES	15890 GRIFFON PATH	APPLE VALLEY, MN 5512	MORNINGVIEW 4TH	0054158900	\$376.13
014910316040	ANDREW CLARK	15875 GRANADA AVE	APPLE VALLEY, MN 5512	MORNINGVIEW 4TH	0011158753	\$482.73
014910501150	MICHAEL & LINDSEY WALTERS	15775 HANNOVER PATH	APPLE VALLEY, MN 5512	MORNINGVIEW 6TH	0012157754	\$469.57
014910502010	KENDALL & LISA WADE	15706 HANNOVER PATH	APPLE VALLEY, MN 5512	MORNINGVIEW 6TH	0012157069	\$129.52
014910601480	ANDREA L KNOWLTON & CHAD W & KNOW	15889 GOOSEBERRY WAY	APPLE VALLEY, MN 5512	MORNINGVIEW 7TH	0111158893	\$278.27
014910601510	ANTHONY P WELIN	15899 GOOSEBERRY WAY	APPLE VALLEY, MN 5512	MORNINGVIEW 7TH	0111158992	\$569.59
014910602050	SHAWN WOLTER	15812 GOOSEBERRY WAY	APPLE VALLEY, MN 5512	MORNINGVIEW 7TH	0111158125	\$379.21
015201101170	JANINE C HANSON	6996 129TH ST W	APPLE VALLEY, MN 5512	NORDIC WOODS 12TH ADDITION	0785069968	\$600.68
015200002080	JAMES RICHTER	6600 132ND ST W	APPLE VALLEY, MN 5512	NORDIC WOODS 1ST ADDITION	0790066009	\$558.55
015200101040	FOLIAGE PROPERTIES LLC	13196 FOLIAGE AVE	APPLE VALLEY, MN 5512	NORDIC WOODS 2ND	0721131963	\$250.37
015200101160	DONALD J WEEK & KATHLEEN A & WEEK	13150 FLAMINGO CT	APPLE VALLEY, MN 5512	NORDIC WOODS 2ND	0717131506	\$554.26
015350002020	ANNA ROSE BRACK & JOHNNY G & VANG	7428 GERMANE TRL	APPLE VALLEY, MN 5512	OAK RIDGE PARK	0760074280	\$403.54
015350004010	RUSSELL P DAVIES	7472 GERMANE TRL	APPLE VALLEY, MN 5512	OAK RIDGE PARK	0760074728	\$409.99
015350004060	RUSSELL P DAVIES	7482 GERMANE TRL	APPLE VALLEY, MN 5512	OAK RIDGE PARK	0760074827	\$235.40
015589301020	ORCHARD PLACE MEDICAL LLC	15350 ENGLISH AVE	APPLE VALLEY, MN 5512	ORCHARD PLACE 4TH ADDITION	0877268243	\$91.06
015645001020	MICHAEL RICHARD MOREY	13192 GEMSTONE CT	APPLE VALLEY, MN 5512	OXFORD HOLLOW	0753131923	\$426.65
015660101130	TARA ELIZABETH HESTER & SYLVIA & FOF	121 BEAUMONT CT	APPLE VALLEY, MN 5512	PALOMINO HILLS 2ND	0501001214	\$152.92
015660202080	JAHSILL J OBAREH	105 PONY LN E	APPLE VALLEY, MN 5512	PALOMINO HILLS 3RD	0540001050	\$255.76
015660202100	JUSTIN DAHL	109 PONY LN E	APPLE VALLEY, MN 5512	PALOMINO HILLS 3RD	0540001092	\$529.10
015660202140	PABLO RODRIGUEZ & MARY JANE & RODF	110 PONY LN E	APPLE VALLEY, MN 5512	PALOMINO HILLS 3RD	0540001100	\$558.62
015660301170	ANTHONY THOMAS REAL MOCK	121 CHAPARRAL DR	APPLE VALLEY, MN 5512	PALOMINO HILLS 4TH	0519001214	\$516.56
015660303240	BISHOP WILLY & GENIKA D & WILLY	101 HIDDEN MEADOW CT	APPLE VALLEY, MN 5512	PALOMINO HILLS 4TH	0531001010	\$552.03
015660303280	KALI J KUHLMANN	100 HIDDEN MEADOW CT	APPLE VALLEY, MN 5512	PALOMINO HILLS 4TH	0531001002	\$371.74
015660306080	STEVEN J CARROLL & LARA-LYNE & THER	136 CHAPARRAL DR	APPLE VALLEY, MN 5512	PALOMINO HILLS 4TH	0519001362	\$369.77
015677502320	SIRAK MEBRAHTU	8475 137TH ST W	APPLE VALLEY, MN 5512	PALOMINO WOODS	0581084759	\$330.70
015677503120	JENNIFER MAE BARRETT	8295 137TH ST W	APPLE VALLEY, MN 5512	PALOMINO WOODS	0581082951	\$505.53
015677504100	ALFRED BASS SESAY & ELVERA OFORIWA	13620 HAVELOCK TRL	APPLE VALLEY, MN 5512	PALOMINO WOODS	0533136202	\$496.02
015677505070	SCOTT D & GEMA CAMPBELL	13669 HARMONY WAY	APPLE VALLEY, MN 5512	PALOMINO WOODS	0361136696	\$598.25
015677507050	NICOLE M MICKELSON & MINH Q & HUYNH	13727 HANOVER WAY	APPLE VALLEY, MN 5512	PALOMINO WOODS	0521137279	\$324.80
015677510020	ONYEKACHI NNAEMEKA AKWARANDU	8370 140TH ST W	APPLE VALLEY, MN 5512	PALOMINO WOODS	0570083705	\$548.09
015677510110	KATHERINE J HEALD	8354 140TH ST W	APPLE VALLEY, MN 5512	PALOMINO WOODS	0570083549	\$351.56
015677510120	WILLIAM R GRANGER	8356 140TH ST W	APPLE VALLEY, MN 5512	PALOMINO WOODS	0570083564	\$318.21
015705001300	DANIELLE STIBAL & MATTHEW & STIBAL	14351 GLENDA DR	APPLE VALLEY, MN 5512	PENNOCK SHORES	0352143511	\$321.25
015750001030	JOHN O & MARY J ANDERSON	14315 EMBRY PATH	APPLE VALLEY, MN 5512	PILOT KNOB ESTATES 1ST	0032143156	\$405.43
015750001100	RICHARD T FOLGER & ALANA & FOLGER	14343 EMBRY PATH	APPLE VALLEY, MN 5512	PILOT KNOB ESTATES 1ST	0032143438	\$392.74
015750201070	JOSEPH GERARD JR DEMARCO	14388 EMBRY CT	APPLE VALLEY, MN 5512	PILOT KNOB ESTATES 3RD	0014143885	\$430.00
015750302050	TIMOTHY E & JILL A ABBOTT	14342 EBONY LN	APPLE VALLEY, MN 5512	PILOT KNOB ESTATES 4TH ADDITION	0625143429	\$186.21
015750401030	JASON D TERCERO	14361 EBONY LN	APPLE VALLEY, MN 5512	PILOT KNOB ESTATES 5TH ADDITION	0625143619	\$333.13
015750601220	JAMES T HOLMES	14334 EMPIRE AVE	APPLE VALLEY, MN 5512	PILOT KNOB ESTATES 7TH	0104143340	\$448.45
015750602110	JAMES A TSTE LALLY	14300 EMPIRE AVE	APPLE VALLEY, MN 5512	PILOT KNOB ESTATES 7TH	0104143001	\$349.16
015750602170	DAVID C & LINDA M COLLINS	14272 EMPIRE AVE	APPLE VALLEY, MN 5512	PILOT KNOB ESTATES 7TH	0104142722	\$154.99
015750701460	TRACY LYNN MATTHEWS	14298 ESTATES AVE	APPLE VALLEY, MN 5512	PILOT KNOB ESTATES 8TH	0112142987	\$23.30
015750701480	JASON B & CAROL M TSTES WHITE	14304 ESTATES AVE	APPLE VALLEY, MN 5512	PILOT KNOB ESTATES 8TH	0112143043	\$74.11

**Exhibit B**  
**Resolution Number 2025-\_\_**  
**Delinquent Utility Accounts**  
**Assessment Roll # 697**

Property ID #	Name	Address	City/State/Zip	Plat Name	Account #	Amount
015750801440	JEREMIAH JAMES HORN	14370 ESTATES AVE	APPLE VALLEY, MN 5512:	PILOT KNOB ESTATES 9TH ADDITION	0112143704	\$211.01
015765002010	JOSEPH P LUCKEN TRUST	5809 126TH ST W	APPLE VALLEY, MN 5512:	PINECREST	0777058094	\$56.48
015765101140	PHILLIP & AMANDA CARRIE GARCIA	12737 EVELETH PATH	APPLE VALLEY, MN 5512:	PINECREST 2ND ADDITION	0671127375	\$242.46
015765102040	THOMAS GILLEN & DANA & CHRISTENSEN	12660 EVELETH PATH	APPLE VALLEY, MN 5512:	PINECREST 2ND ADDITION	0671126609	\$221.06
015767501070	ALMENA M DEES & RODNEY & SIMS	5609 126TH ST W	APPLE VALLEY, MN 5512:	PINECREST TOWNHOMES	0777056098	\$535.34
015767501100	DEBRA KAY HAECHERL	5581 126TH ST W	APPLE VALLEY, MN 5512:	PINECREST TOWNHOMES	0777055819	\$451.72
015767501200	JONATHAN I GUTIERREZ	5569 126TH ST W	APPLE VALLEY, MN 5512:	PINECREST TOWNHOMES	0777055694	\$332.11
015767501240	KAREN LEMMONS & KATHLEEN TERESE	& 5601 126TH ST W	APPLE VALLEY, MN 5512:	PINECREST TOWNHOMES	0777056015	\$581.00
016160201010	NEIL & RACHEL MATSCH	6110 158TH ST W	APPLE VALLEY, MN 5512:	QUARRY PONDS 3RD	0877265093	\$597.16
016160403110	PAUL D MUELLER & KRISTINE M & MUELLE	15585 FAIRFIELD DR	APPLE VALLEY, MN 5512:	QUARRY PONDS FIFTH ADDITION	0877266958	\$327.43
016340001020	THUAN M NGUYEN & HAU P & HOANG	15754 FINCH AVE	APPLE VALLEY, MN 5512:	REGATTA	0127157541	\$182.30
016340003360	BRADLEY B SOLEM	15694 FINWOOD CT	APPLE VALLEY, MN 5512:	REGATTA	0132156942	\$380.37
016340020120	FRANK H TSTE RECHTZIGEL & GENE A TS	15899 1/2 FJORD AVE	APPLE VALLEY, MN 5512:	REGATTA	0138258999	\$126.90
016340020120	FRANK H TSTE RECHTZIGEL & GENE A TS	15899 FJORD AVE	APPLE VALLEY, MN 5512:	REGATTA	0138158991	\$1,228.91
016340101010	FRANK H TSTE RECHTZIGEL & GENE A TS	6366 1/2 158TH ST W	APPLE VALLEY, MN 5512:	REGATTA 2ND ADDITION	0210163661	\$126.90
016340101010	FRANK H TSTE RECHTZIGEL & GENE A TS	6374 158TH ST W	APPLE VALLEY, MN 5512:	REGATTA 2ND ADDITION	0210063747	\$1,755.15
016340101030	FRANK H TSTE RECHTZIGEL & GENE A TS	6382 1/2 158TH ST W	APPLE VALLEY, MN 5512:	REGATTA 2ND ADDITION	0210163828	\$126.90
016340101030	FRANK H TSTE RECHTZIGEL & GENE A TS	6390 158TH ST W	APPLE VALLEY, MN 5512:	REGATTA 2ND ADDITION	0210063903	\$1,344.59
016340129200	CHERYL L COOPER	15578 FINCH AVE	APPLE VALLEY, MN 5512:	REGATTA 2ND ADDITION	0127155784	\$397.76
016340207020	MARY J WELSH	15763 FLAN CT	APPLE VALLEY, MN 5512:	REGATTA 3RD ADDITION	0163157637	\$244.78
016344101040	NDRI M & CARLEE M DIBY	15711 FAIR HILL WAY	APPLE VALLEY, MN 5512:	REGENTS POINT 2ND	0877265473	\$612.09
016460001020	RONALD A & LYLA H VOSS	14259 DRAKE PATH	APPLE VALLEY, MN 5512:	ROLLING RIDGE	0610142592	\$1,007.00
016460004070	ALISON MARIE LANG	14405 DRUMLIN CT	APPLE VALLEY, MN 5512:	ROLLING RIDGE	0611144050	\$369.21
016620001070	DAVID R & KAY L BRUNI	7197 131ST CIR W	APPLE VALLEY, MN 5512:	SALEM WOODS ADDITION	0788071979	\$22.69
016650004090	ANDREW J EVERT	7220 UPPER 139TH ST W	APPLE VALLEY, MN 5512:	SCOTT HIGHLANDS	0838072209	\$279.96
016650004230	STEWART GOODMAN	13968 GLAZIER CT	APPLE VALLEY, MN 5512:	SCOTT HIGHLANDS	0772139683	\$383.16
016650102200	SHAUN MICHAEL CLOVER & MELISSA EVO	14136 GERMANE AVE	APPLE VALLEY, MN 5512:	SCOTT HIGHLANDS 2ND	0757141365	\$279.96
016650102310	CHRISTOPHER DALE MCCARGAR	14113 GLAZIER AVE	APPLE VALLEY, MN 5512:	SCOTT HIGHLANDS 2ND	0769141130	\$504.59
016650206070	RUE PROPERTIES LLC	7040 UPPER 143RD CT W	APPLE VALLEY, MN 5512:	SCOTT HIGHLANDS 3RD	0847070400	\$312.60
016650207020	TOUPIN PROPERTIES LLC	7039 142ND ST W	APPLE VALLEY, MN 5512:	SCOTT HIGHLANDS 3RD	0844070395	\$395.97
016650303010	JULIE K ZUELOW	14347 GARLAND AVE	APPLE VALLEY, MN 5512:	SCOTT HIGHLANDS 4TH	0745143473	\$385.11
016650303240	DAVID & JODEE JONES	14332 GARRETT AVE	APPLE VALLEY, MN 5512:	SCOTT HIGHLANDS 4TH	0748143322	\$563.51
016650306060	ZOE VEDETTE GARRISON	7118 145TH ST W	APPLE VALLEY, MN 5512:	SCOTT HIGHLANDS 4TH	0859071189	\$366.43
016650307020	VILMA MARTINEZ	7102 146TH ST W	APPLE VALLEY, MN 5512:	SCOTT HIGHLANDS 4TH	0862071028	\$315.69
016670004140	EDWIN SANCHEZ CASTILLO	14393 EUROPA AVE	APPLE VALLEY, MN 5512:	SCOTTSBRIAR 1ST	0634143931	\$484.76
016670005050	NAIMO A FARAH & MUSTAFA A & AHMED	5690 142ND ST W	APPLE VALLEY, MN 5512:	SCOTTSBRIAR 1ST	0844056907	\$466.79
016670005070	RICHARD CONOVER & DEBARAH & CONO	5716 142ND ST W	APPLE VALLEY, MN 5512:	SCOTTSBRIAR 1ST	0844057160	\$425.45
016670005100	ABU HASAN	5754 142ND ST W	APPLE VALLEY, MN 5512:	SCOTTSBRIAR 1ST	0844057541	\$466.26
016670005210	JESSICA L CARRILLO & VICTOR H CARRILL	5773 143RD ST W	APPLE VALLEY, MN 5512:	SCOTTSBRIAR 1ST	0850057732	\$367.95
016670008030	JEFFREY & KRISTIN GENSER	5718 144TH ST W	APPLE VALLEY, MN 5512:	SCOTTSBRIAR 1ST	0857057180	\$433.87
016670101090	WILLIE LUMSON	14431 EXLEY LN	APPLE VALLEY, MN 5512:	SCOTTSBRIAR 2ND	0626144319	\$525.77
016670103140	ROSALINDA MARIE BOERBOOM & SCOTT	14449 EVEREST AVE	APPLE VALLEY, MN 5512:	SCOTTSBRIAR 2ND	0673144493	\$437.95
016670104080	LYNNE ELIZABETH WELLS & WILLIAM HOL	5884 144TH ST W	APPLE VALLEY, MN 5512:	SCOTTSBRIAR 2ND	0857058840	\$303.61
010130077032	MATTHEW KLUCK & REBECCA & KLUCK	12989 DIAMOND PATH	APPLE VALLEY, MN 5512:	SECTION 13 TWN 115 RANGE 20	0877267738	\$209.52
017250001010	DAVID KERBER & MACKENZIE & KERBER	13907 DUBLIN RD	APPLE VALLEY, MN 5512:	STONEWOOD 1ST ADDITION	0641139070	\$430.82
017310001030	RACHEL MATZ & ZACHARY & MATZ	13854 DULUTH DR	APPLE VALLEY, MN 5512:	SUMMERFIELD	0647138548	\$433.97
017310002050	STEPHEN C BAKKEN & LAURIE K & OLSON	13891 DULUTH DR	APPLE VALLEY, MN 5512:	SUMMERFIELD	0647138910	\$156.54
017585003030	SUSAN CHAVIE	12989 HIALEAH PATH	APPLE VALLEY, MN 5512:	THE HIGHLANDS	0524129893	\$205.26
017585003070	ROBERT C & JANE E RUSH	12925 HIALEAH CT	APPLE VALLEY, MN 5512:	THE HIGHLANDS	0524129257	\$635.14
017595001180	MARC A MILLS & JENNIFER R & MILLS	7775 134TH ST W	APPLE VALLEY, MN 5512:	THE OAKS OF APPLE VALLEY	0583077751	\$239.49
017595203110	BIANCA CARR	13640 DULUTH DR	APPLE VALLEY, MN 5512:	THE OAKS OF APPLE VALLEY II	0647136401	\$584.89
017595601070	KEVIN J & CHRIS KUZNAR	13503 GOSSAMER CT	APPLE VALLEY, MN 5512:	THE OAKS OF APPLE VALLEY IV	0550135038	\$648.78
017640001030	CHARLES R & JANELLE SNYDER	13306 GLENHAVEN CT	APPLE VALLEY, MN 5512:	TIMBER RIDGE TOWNHOMES	0449133061	\$208.26
017690001220	CHRISTINA A DAVIES	15111 DUTCHESS CT	APPLE VALLEY, MN 5512:	TOUSIGNANTS PRAIRIE CROSSING	0068151115	\$753.84
017690005260	SCOTT A HOUFER	15292 DUPONT PATH	APPLE VALLEY, MN 5512:	TOUSIGNANTS PRAIRIE CROSSING	0120152929	\$326.59
017700002030	SHAHAM HUSSAIN & NAOMI & ROWES	7509 WHITNEY DR	APPLE VALLEY, MN 5512:	TOWNHOUSE 4TH ADDN	0100075090	\$454.15
017700003060	MITCHELL A MILLNER	7597 WHITNEY DR	APPLE VALLEY, MN 5512:	TOWNHOUSE 4TH ADDN	0100075975	\$344.98
017700004060	DAVI P HERNANDEZ & JANET M CROSS &	7585 WHITNEY DR	APPLE VALLEY, MN 5512:	TOWNHOUSE 4TH ADDN	0100075850	\$552.38
017700010010	MICHELLE SMITH	7713 WHITNEY DR	APPLE VALLEY, MN 5512:	TOWNHOUSE 4TH ADDN	0100077138	\$423.91
017700012030	REBECCA KAUFMANN	7779 WHITNEY DR	APPLE VALLEY, MN 5512:	TOWNHOUSE 4TH ADDN	0100077799	\$433.23
018130102110	PAMELA ANNE LINDSETH	14140 HEYWOOD PATH	APPLE VALLEY, MN 5512:	VALLEY MEADOWS 2ND ADD	0366141402	\$194.50
018132001220	LINDSEY MERRICK-RUTLEDGE	12839 GLEN WAY	APPLE VALLEY, MN 5512:	VALLEY OAKS TOWNHOMES	0434128399	\$200.00
018132001290	NASRA J AHMED & MUSTAFA & HABIIB	12830 GLEN CT	APPLE VALLEY, MN 5512:	VALLEY OAKS TOWNHOMES	0321128304	\$688.81
018140001150	CENEN SANCHEZ TORRES	14605 GARRETT AVE	APPLE VALLEY, MN 5512:	VALLEY SOUTH	0748146051	\$299.27
018140002040	YIBABE ABEBA	7362 146TH WAY W	APPLE VALLEY, MN 5512:	VALLEY SOUTH	0867073623	\$198.27
018140002070	ERIN M & CYNTHIA ORTIZ-MURPHY	7320 146TH WAY W	APPLE VALLEY, MN 5512:	VALLEY SOUTH	0867073201	\$476.00
018140002120	ZELALEM KINDE & ZERFIE & FERED	7335 UPPER 146TH ST W	APPLE VALLEY, MN 5512:	VALLEY SOUTH	0864073352	\$452.92
018145401030	TWIN FARMS INVESTMENTS LLC	14809 LOWER ENDICOTT WA	APPLE VALLEY, MN 5512:	VALLEY WAY VILLAGE 5TH ADDITION	0197148099	\$462.06
018145601270	SAMANTHA RANDLE	14727 ENDICOTT WAY	APPLE VALLEY, MN 5512:	VALLEY WAY VILLAGE 7TH ADDITION	0194147276	\$381.34
018145701090	GREGORY JANDIK	14809 ENDICOTT WAY	APPLE VALLEY, MN 5512:	VALLEY WAY VILLAGE 8TH ADDITION	0194148092	\$123.22
018325004090	JESS W & DIANE SMITH	13710 FAIR OAK CT	APPLE VALLEY, MN 5512:	WATERFORD VILLAGE	0695137103	\$670.14
018419002010	MICHAEL PATTERSON LARKIN	13745 HEYWOOD CT	APPLE VALLEY, MN 5512:	WILDWOOD	0366137459	\$316.22
018419402050	TRACY MARIE PHERNETTON & DAIR	JES 8336 UPPER 138TH CT W	APPLE VALLEY, MN 5512:	WILDWOOD 5TH ADDITION	0374083364	\$469.81
018472501030	DOMINIQUE K AGANMAYO & MICHAEL O	& 12970 GARNER LN	APPLE VALLEY, MN 5512:	WOODSIDE ESTATES	0746129703	\$425.54
018528001020	RYAN L & TARA A NELSON	13935 FLEETWOOD AVE	APPLE VALLEY, MN 5512:	WYNDEMERE ADDITION	0719139358	\$547.99

\$147,311.26



ITEM:  
COUNCIL MEETING DATE:  
SECTION:

7.  
May 8, 2025  
Calendar of Upcoming Events

<b>Description:</b> Approve Calendar of Upcoming Events	
<b>Staff Contact:</b> Stephanie Marschall, Deputy City Clerk	<b>Department / Division:</b> City Clerk's Office

**ACTION REQUESTED:**

Approve the calendar of upcoming events as listed in the summary below, and noting each event listed is hereby deemed a Special Meeting of the City Council.

**SUMMARY:**

Wed./May 7	7 p.m.	Municipal Center	Planning Commission Meeting
Thur./May 8	5 p.m.	Diamond Path Park	Arbor Day Tree Planting Ceremony
Thur./May 8	5:30 p.m.	Municipal Center	Informal City Council Meeting
Thur./May 8	7 p.m.	Municipal Center	Regular City Council Meeting*
Wed./May 14	9 a.m.	Municipal Center	Firefighters Relief Association Board Meeting
Wed./May 14	7 p.m.	Municipal Center	Traffic Safety Advisory Committee Meeting
Wed./May 21	7 p.m.	Municipal Center	Planning Commission Meeting
Thur./May 22	11 a.m.-1 p.m.	Valleywood	State of the City Address
<del>Thur./May 22</del>	<del>6:00 p.m.</del>	<del>Municipal Center</del>	<del>Economic Development Authority Meeting</del> <b>CANCELLED</b>
Thur./May 22	6:15-6:40 p.m.	Westview Elementary School	Hayes Athletic Complex Groundbreaking Ceremony
Thur./May 22	7 p.m.	Municipal Center	Regular City Council Meeting*
Mon./May 26		City Offices Closed	Memorial Day Holiday
Mon./May 26	8 a.m.	Lebanon Cemetery	Memorial Day Sunrise Service
Mon./May 26	10 a.m.	American Legion	Memorial Day Ceremony
Wed./May 28	4:30-6:30 p.m.	AV Chamber of Commerce	Chamber Business After Hours / Ribbon Cutting Ceremony
Tue./June 3	4:30-6:30 p.m.	Apple Valley Senior Center	CR 42 Improvements Open House (Redwood Dr. to 147th St.)
Wed./June 4	8-9 a.m.	Las Tortillas, Rosemount	Chamber Coffee Connection
Wed./June 4	7 p.m.	Municipal Center	Planning Commission Meeting



Thur./June 5	6 p.m.	Municipal Center	Informal Parks & Recreation Advisory Committee Meeting
Thur./June 5	7 p.m.	Municipal Center	Regular Parks & Recreation Advisory Committee Meeting
Sat./June 7	2 p.m.	Bliss Homes	Ribbon Cutting Ceremony

**BACKGROUND:**

Each event is hereby deemed a Special Meeting of the City Council, the purpose being informational or social gathering. Only events marked with an asterisk (\*) will any action of the Council take place.

**BUDGET IMPACT:**

N/A